

SITE PLAN BASED ON SURVEY INFORMATION DATED SEPTEMBER 19, 2012 PROVIDED BY LDT SURVEYS COMPANY, INC.

LEGAL DESCRIPTION:

Tract C, Registered Land Survey No. 1357, Hennepin County, Minnesota.

SITE DATA:

ZONING: PCD-3 PLANNED COMMERCIAL DISTRICT 3
 PROPOSED USE: RESTAURANT WITH DRIVE-THROUGH
 GROSS LOT AREA: 18,700 SQ. FT. OR 0.43 ACRES
 TOTAL BUILDING FOOTPRINT AREA: (GFA) 1,847 SQ. FT. (Excludes trash enclosure)
 PERCENT BUILDING COVERAGE: 9.9% (% of gross lot area)
 FLOOR AREA RATIO: D.099 (1,847 / 18,700)
 EXISTING IMPERVIOUS AREA: 15,535 SQ. FT. (building, sidewalk, & pavement)
 PERCENT EXISTING IMPERVIOUS AREA: 83.1% (15,535 / 18,700)
 PROPOSED IMPERVIOUS AREA: 14,838 SQ. FT. (building, private sidewalk, & pavement)
 PERCENT PROPOSED IMPERVIOUS AREA: 79.4% (14,838 / 18,700)
 PROPOSED LANDSCAPE AREA: 3,862 SQ. FT.
 PERCENT LANDSCAPE AREA: 20.6% (3,862 / 18,700)

PARKING DATA:

PARKING STALLS:
 Provided 9.0 x 18.0 15 Stalls
 Provided Accessible (ADA) 2 Stalls
 Provided Total 17 Stalls
 Required Parking Stalls:
 1/3 of seats plus 1 per max. shift (28 seats / 3) + 8 = 17 Stalls
DRIVETHRU STACK:
 Provided Drivethru Stack Behind Menu: 3 Vehicles
 Required Drivethru Stack Behind Menu: 3 Vehicles

SETBACK:

LOCATION	MINIMUM REQUIREMENTS	BUILDING	PARKING
FRONT		35'	20'
SIDE		35'	10'
REAR		35'	15'

SITE PLAN NOTES:

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND SPECIFICATIONS FOR LOCATION OF EXITS, RAMPS, CONCRETE APRONS AND STOOPS.
- TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING. MATCH EXISTING GRADES.
- ALL CONCRETE SIDEWALKS ADJACENT TO BUILDING SHALL BE SEPARATED WITH A 1" EXPANSION JOINT.
- CONTRACTOR SHALL VERIFY ALL CONDUIT REQUIREMENTS FOR LIGHTING, IRRIGATION, MENU BOARD, COMMUNICATION PEDESTAL, ETC WITH OWNER PRIOR TO PAVING.
- CONTRACTOR SHALL VERIFY LOCATION OF THE MENU BOARD AND COMMUNICATION PEDESTAL WITH OWNER PRIOR TO PLACEMENT.
- ACCESSIBLE ROUTE SHALL BE PROVIDED FROM ACCESSIBLE STALLS TO BUILDING ENTRANCE (SEE ADAAG REQUIREMENTS). POLE MOUNT APPROVED SIGNS CENTERED ON STALLS. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY ON STALL.
- CONSTRUCT ACCESSIBLE PEDESTRIAN RAMP PER ADAAG AND MNDOT STANDARDS. PROVIDE CONTRASTING DETECTABLE WARNING STRIP.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH FIRE MARSHAL FOR POSTING OF FIRE LANES, CURB MARKING AND SIGNAGE IF NEEDED.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES THAT INTERFERE WITH NEW WORK AS SHOWN.
- ALL LANDSCAPE AREAS ARE TO BE IRRIGATED.
- ALL NEW UTILITIES MUST BE UNDERGROUND.
- SIDEWALKS SHALL BE CONSTRUCTED WITH CROSS SLOPE OF 1.5% WITH ADJUSTMENT +/- 0.5%. SIDEWALKS WILL BE INSPECTED AFTER CONSTRUCTION. ANY SIDEWALK EXCEEDING 2.0% CROSS SLOPE WILL NEED TO BE REPLACED AT CONTRACTORS EXPENSE.

GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY THE PERMITTING AUTHORITIES.
- WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATION SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE TACO BELL CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND PIPING, VALVING, ETC.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, LICENSED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AND PAVEMENT AREAS HAVE BEEN COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE LOCATIONS OF THE UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- ALL EXISTING DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY TACO BELL CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

WCL Associates, Inc.

Architecture Interiors

4931 West 35th Street
 Suite 200
 St. Louis Park, Minnesota
 55416
 T. 952.541-9999
 F. 952.541-9554
 www.wcl.com



Taco Bell

3210 SOUTHDAL CIRCLE
 EDINA, MN 55435

PRELIMINARY NOT FOR CONSTRUCTION

Developed by:
Border Foods
 965 Decatur Ave North
 Golden Valley MN 55427
 New Address as of April 4, 2014
 5425 Boone Ave N.
 New Hope, MN 55428

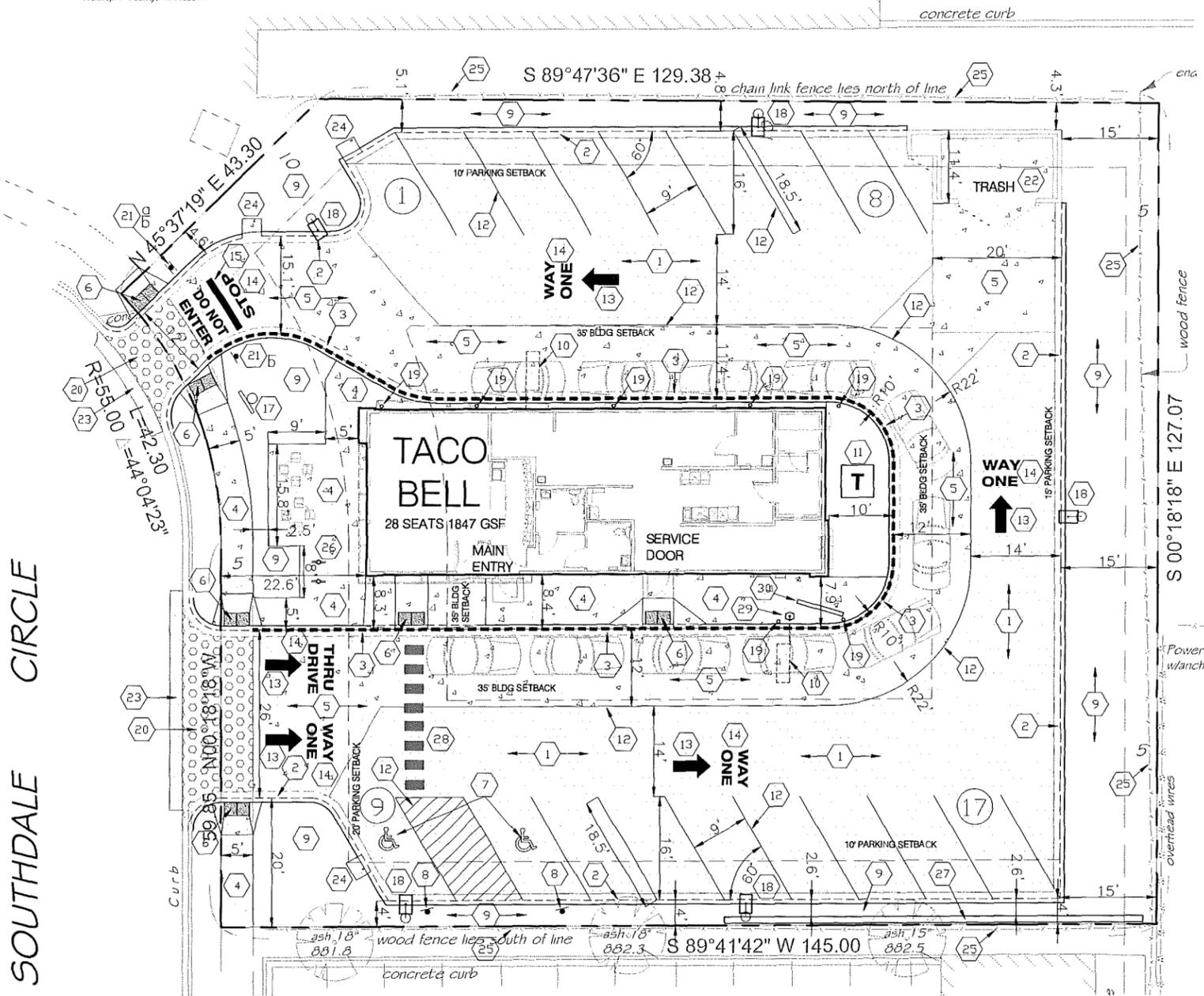
Consultant
 SITE CONSTRUCTION PLANS PREPARED BY:
CIVIL ENGINEERING SITE DESIGN
 118 East Broadway St
 PO Box 369
 Monticello, MN 55352
 Phone: 763-314-0929
 www.civilesd.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Minnesota.
 Printed Name: **SCOTT DAHLKE**
 Signature: *Scott Dahlke*
 Date: 03/07/14 License #: 24348

Print History	Date
SITE PLAN REVIEW	03.07.2014

New Building
 Ni-28, 28 Seats: 1,847 SF
SITE PLAN

Project: 2013.06.08
 Order Confirmation Board: INSTALLED BY SIGN COMPANY. FOUNDATION BY GENERAL CONTRACTOR. VERIFY SIZE WITH OWNER'S ARCHITECT. SEE ARCHITECT PLANS FOR DETAILS.
 Checked: SD
 CSD Project # 00475
C1.0
 TACO BELL EDINA, MN



SITE LEGEND:

- HEAVY DUTY BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE DRIVEWAY APRON
- B612 CURB AND GUTTER STANDARD
- B612 CURB AND GUTTER TIP-OUT
- EXISTING CURB AND GUTTER
- PARKING COUNT
- TRAFFIC DIRECTION ARROWS

KEY NOTES:

- BITUMINOUS PAVEMENT AS SPECIFIED BELOW. (PARKING LOT ONLY)
 ASPHALT PAVING SECTION
 HEAVY DUTY
 MNDOT SPECIFICATIONS
 BIT. WEAR COURSE 2"
 BIT. BASE COURSE 2"
 AGGREGATE BASE (CL 5) 7"
 COMPACTION DENSITY BETWEEN 95% AND 100% OF THE MARSHALL DENSITY. 100% FOR AGGREGATE BASE.
 SOIL ENGINEER RECOMMENDATIONS SUPERSEDE ABOVE LISTED SPECS.
- B612 (6") CONCRETE CURB & GUTTER. MNDOT 2461 MIX 3Y22A SUPPFORM PLACEMENT OR MNDOT 2461 MIX 3Y32A MANUAL PLACEMENT.
- B612 (6") CONCRETE DUTYFLOW CURB & GUTTER. (TIP-OUT FLOWLINE). MNDOT 2461 MIX 3Y22A SUPPFORM PLACEMENT OR MNDOT 2461 MIX 3Y32A MANUAL PLACEMENT.
- CONCRETE SIDEWALK, WIDTH VARIES. 4" CONCRETE SIDEWALK W/6"x6"-#1B/1D W.W.M. (CONST. JTS @ 6' O.C.) OVER 4" CLASS 5 AGGREGATE BASE. MNDOT 2461 MIX 3Y22A SUPPFORM PLACEMENT OR MNDOT 2461 MIX 3Y32A MANUAL PLACEMENT. SDLS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECIFICATIONS.
- 6" CONCRETE PAVEMENT W/6"x6"-#1D/1D W.W.M. (CONST. JTS @ 12' O.C.) OVER 4" CLASS 5 AGGREGATE BASE. MNDOT 2461 MIX 3Y22A SUPPFORM PLACEMENT OR MNDOT 2461 MIX 3Y32A MANUAL PLACEMENT. SOILS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECS.
- PED RAMP TO COMPLY WITH AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. REFERENCE MNDOT STANDARD PLAN 5-297.250.
- PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY—WHITE LATEX PAINT.
- ACCESSIBLE PARKING SIGN (MNDOT #'S R7-8A AND R7-8B). CENTER SIGN ON PARKING STALL. LOCATION PER GENERAL CONTRACTOR. MOUNT ON 6" CONCRETE BOLLARD. SEE DETAIL SHEET.
- GREEN AREA. SEE LANDSCAPE PLAN.
- SENSDR LOOP. INSTALLED BY SIGN COMPANY. CONFIRM WITH ARCHITECTURAL PLANS.
- TRANSFORMER PAD BY GENERAL CONTRACTOR. INSTALL PER UTILITY COMPANY SPECIFICATIONS.
- PAINT 4" WIDE SOLID STRIPE - WHITE.
- PAINT TRAFFIC ARROWS - WHITE.
- PAINT 24" HIGH LETTERS - WHITE.
- PAINT 24" WIDE SOLID STRIPE - WHITE.
- NOT USED.
- EXISTING PYLON POLE WITH ELEVATED SIGN CABINET TO REMAIN IN PLACE.
- LIGHT PDL. REFER TO LIGHTING AND PHOTOMETRIC PLAN FOR LIGHT LOCATIONS AND SPECIFICATIONS. FOUNDATIONS BY GENERAL CONTRACTOR. VERIFY FOUNDATION SIZE WITH OWNER'S ARCHITECT.
- GUARD POST BOLLARD. SEE DETAIL SHEET.
- CONCRETE DRIVEWAY APRON PER CITY STANDARDS. USE "B" CONCRETE.
- INSTALL SIGNS. MOUNTED ON 6" CONCRETE BOLLARD. SIGNS TO BE PLACED BACK TO BACK ON SAME BOLLARD. GENERAL CONTRACTOR TO COORDINATE LOCATION.
 a) 'STOP' SIGN
 b) 'DO NOT ENTER' SIGN
- TRASH ENCLOSURE. SEE ARCHITECT PLANS FOR DETAILS.
- SAWCUT AND REMOVE EXISTING BITUMINOUS AT DRIVEWAY APRON AT MIN. 2.0' WIDTH FROM LIP EDGE OF REPLACEMENT DRIVEWAY APRON. PATCH WITH HEAVY DUTY BITUMINOUS PAVEMENT. MATCH EXISTING PAVEMENT ELEVATIONS AND CROSS SLOPE.
- CURB OPENING 3 FEET WIDE WITH CONCRETE SPILLWAY (3'x2'). FORM FLDLINE AT CENTER OF SPILLWAY. SPILLWAY CONCRETE SECTION TO BE INTEGRAL WITH CONCRETE CURB AND GUTTER.
- EXISTING FENCE TO REMAIN IN PLACE.
- BIKE RACK. SEE PROJECT SPECIFICATIONS.
- LANDSCAPE RETAINING WALL 1.0' TALL. SEE ELEVATIONS ON SHEET C4.D. CONFIRM RETAINING WALL MATERIALS AND COLOR WITH OWNER AND ARCHITECT.
- PAINT 12" WIDE SOLID CROSSWALK STRIPING - WHITE.
- ORDER CONFIRMATION BOARD. INSTALLED BY SIGN COMPANY. FOUNDATION BY GENERAL CONTRACTOR. VERIFY SIZE WITH OWNER'S ARCHITECT. SEE ARCHITECT PLANS FOR DETAILS.
- MENU BOARD. INSTALLED BY SIGN COMPANY. FOUNDATION BY GENERAL CONTRACTOR. VERIFY SIZE WITH OWNER'S ARCHITECT. SEE ARCHITECT PLANS FOR DETAILS.

INDEX OF CIVIL SITE DRAWINGS:

- C1.0 SITE PLAN
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 GRADING AND DRAINAGE PLAN
- C5.0 UTILITIES PLAN
- C6.0 STORM WATER AND EROSION CONTROL PLAN
- C7.0 STANDARD DETAILS

PROPERTY OWNER:

BORDER FOODS, INC.
 CONTACT: BARB SCHNEIDER
 965 DECATUR AVENUE NORTH
 GOLDEN VALLEY, MN 55427
 PH (763) 489-2970
 FX (763) 489-2971

ARCHITECT:

WCL ASSOCIATES, INC.
 CONTACT: DEAN MADSON
 4931 W. 35TH ST, STE 200
 ST. LOUIS PARK, MN 55416
 PH (952) 541-9969
 FX (952) 541-9554

CIVIL ENGINEER:

CIVIL ENGINEERING SITE DESIGN, LLC
 CONTACT: SCOTT DAHLKE
 118 EAST BROADWAY ST., PO BOX 566
 MONTICELLO, MN 55362
 PH (763) 314-0929
 www.civilesd.com



Taco Bell

3210 SOUTHDAL CIRCLE
EDINA, MN 55435

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Developed by:
Border Foods
965 Decatur Ave North
Golden Valley MN 55427
New Address as of April
4, 2014
5425 Boone Ave N.
New Hope, MN 55428

Consultant
SITE CONSTRUCTION PLANS PREPARED BY:
CIVIL ENGINEERING
SITE DESIGN
118 East Broadway St.
PO Box 558
Mankato, MN 55302
Phone: 763-334-0929
www.civiland.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Minnesota.

Printed Name: **SCOTT DAHLKE**

Signature: *Scott Dahlke*

Date: 03/07/14 License #: 24348

Print History
SITE PLAN REVIEW Date 03.07.2014

New Building
Ni-28, 28 Seats: 1,847 SF
UTILITIES PLAN

Project 2013.06.08

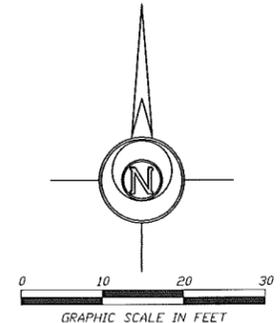
Drawn 50

Checked 50

CESD Project # 00475

C5.0

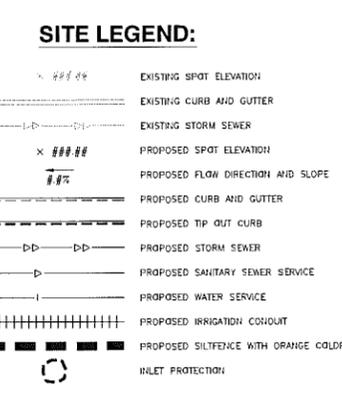
TACO BELL EDINA, MN



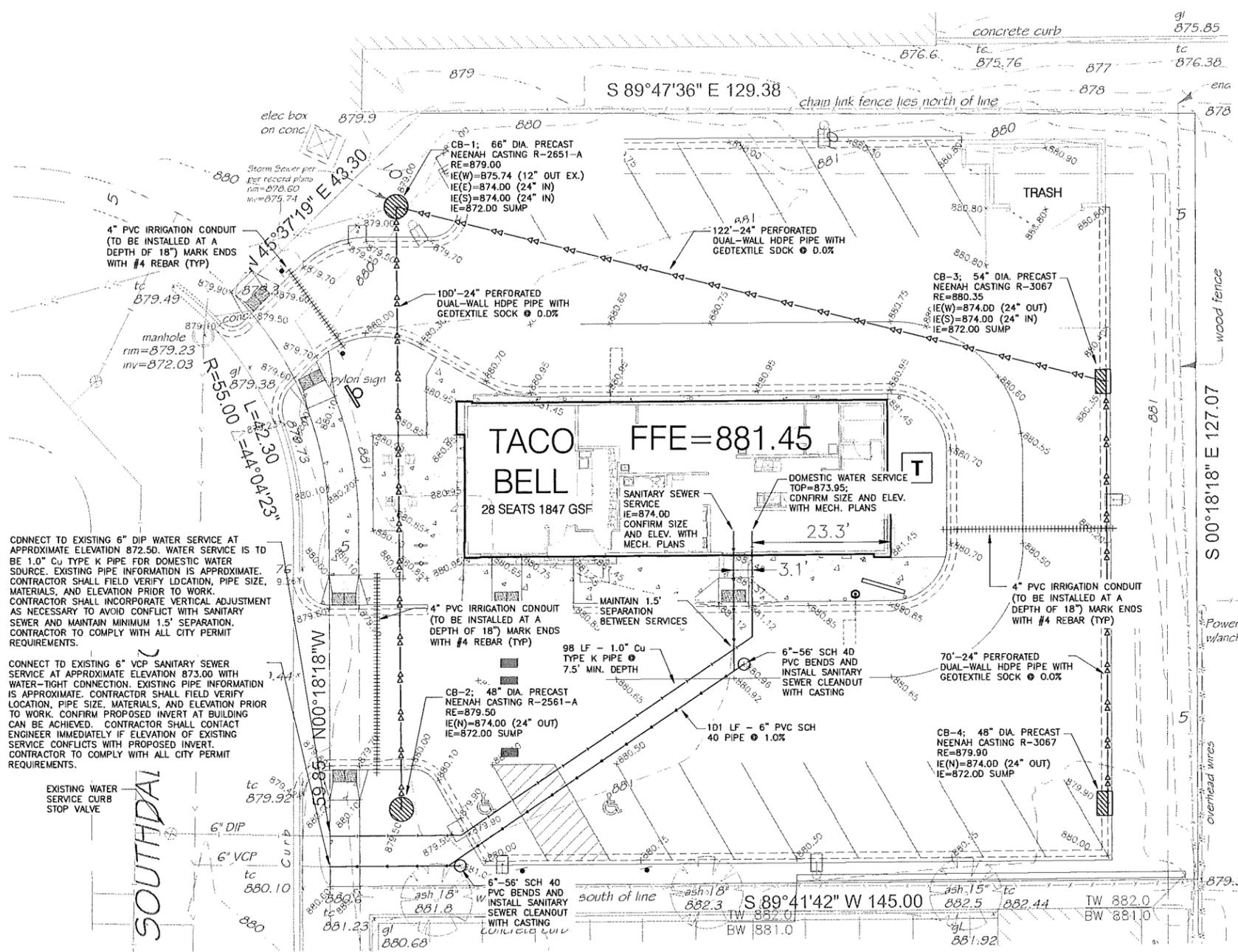
SITE PLAN BASED ON SURVEY INFORMATION DATED SEPTEMBER 19, 2012 PROVIDED BY LOT SURVEYS COMPANY, INC.

BENCHMARK:
Top nut of hydrant located on Southdale Circle at 62 feet southwest of southwest property corner. Elevation = 883.40 feet

LEGAL DESCRIPTION:
Tract C, Registered Land Survey No. 1357, Hennepin County, Minnesota.



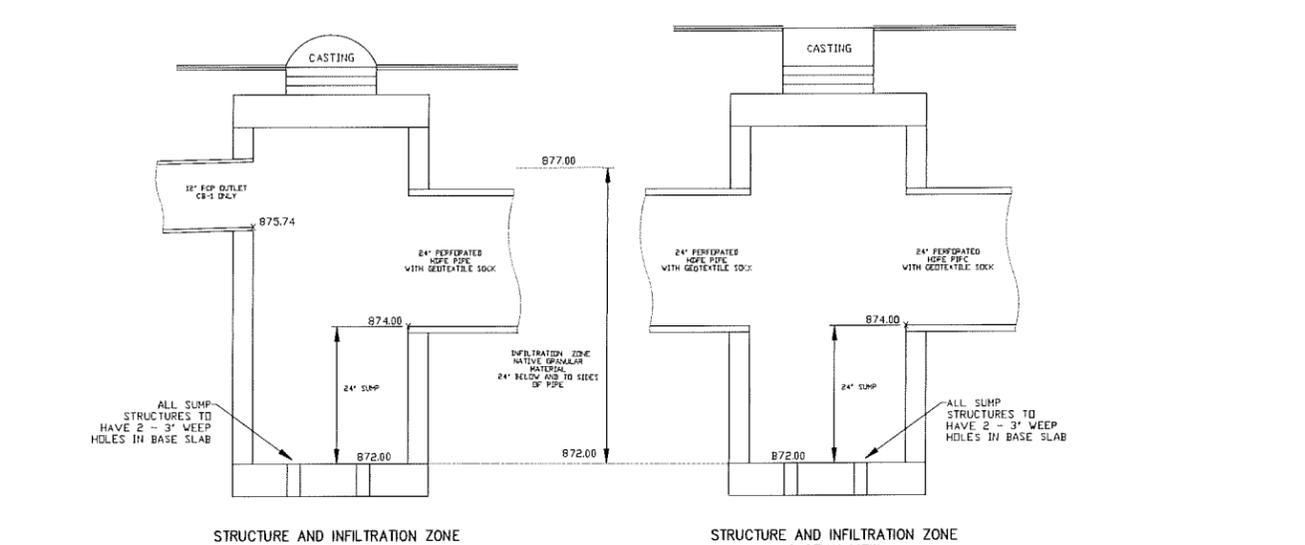
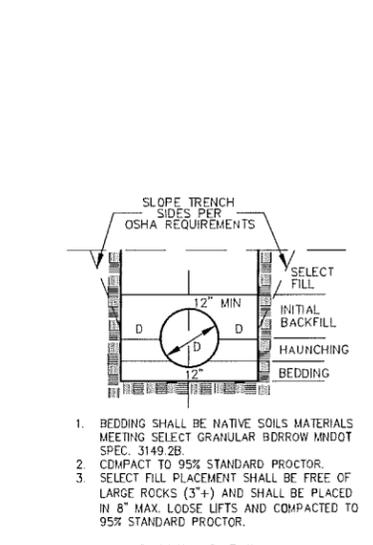
- GENERAL UTILITY NOTES:**
- Specifications applicable for this project: Current standard specifications for the City of Edina, MN and all Minnesota Department of Health and MPCA requirements except where modified by these contract documents.
 - OSHA requirements shall be followed for all work on this project.
 - The Contractor shall notify "Gopher State One Call" 48 hours prior to any excavation (651-454-0002 or 1-800-252-1166 out state).
 - The Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction (storm sewer, sanitary sewer, water, natural gas, telephone, electric, etc.), and immediately notify the Engineer of any conflicts.
 - The Contractor shall protect all existing utilities and facilities to allow proper functioning during and after construction. Any required supporting structures shall be supplied by the Contractor as work incidental to the contract.
 - The contractor shall immediately notify the Engineer of any conflicts between existing utilities, and the proposed construction. The Engineer will coordinate with the Utility Company in question to determine the need for relocation of the existing utility.
 - Existing conditions such as sand in manholes or valve boxes shall be identified by the Contractor and these shall be reported to the Engineer prior to excavation by the Contractor. Once construction has begun, all damage to underground utilities will be assumed to have been caused by the Contractor, any repairs necessary shall be performed by the Contractor at the Contractor's expense.
 - Final Plat shall govern for easements and lot lines.
 - The Contractor shall coordinate with the local jurisdiction to obtain permits and meter for water source. All associated costs shall be incidental to the Contract, including disposal of test water into City's sanitary sewer system. The Contractor shall not operate gate valves or hydrants on the City's water supply system.
 - The Contractor shall notify the City Engineer and the Project Engineer 48 hours prior to starting work or as required by the local jurisdiction or be subject to being shut down.
 - The Contractor shall keep access roads clear of soil or other debris, and perform daily street cleaning as required by the NPDES permit or as required by the City. Positive drainage, controlled with erosion control and erosion prevention measures as required by the NPDES permit shall be performed. Inlet protection shall be installed within 48 hours after inlet construction. Unless specified on the plans or as a bid item on the Bid Form, any temporary culverts, ditches, filter fabric, etc. necessary to accomplish this shall be performed as incidental to the Contract.
 - The Contractor shall preserve and protect the markers and monuments set for the subdivision of the land.
 - The Contractor shall schedule the soils engineer to facilitate certification of all controlled fills in a timely fashion. Density tests shall meet the following:
 - Density tests shall be taken on all trenches at locations as determined by the Engineer or his representative.
 - Within the upper 3' of streets, private drives and parking lots, Contractor shall utilize approved soils that are within 1% optimum moisture content as defined by the Standard Proctor Test-ASTM: D-698 with 100% Standard Proctor Density and not exceeding compaction by more than 1%. Below the upper 3', compaction shall meet 95%. Grading tolerances shall be 0.1'.
 - The Owner shall pay for all testing of soils compaction. Any areas which fail to meet the above standards shall be corrected and re-tested by the Owner's testing agent at the Contractor's expense.
 - Water service shall be installed with a minimum of 7.5 feet of cover.
 - Contractor shall provide temporary traffic control in compliance with MN/DOT "Temporary Traffic Control Zone Layouts Field Manual" dated 2011 for construction adjacent to travel ways.
 - Contractor shall be responsible for verification of the depth of existing stubs listed on this plan prior to the ordering of any fittings, structures, castings, etc. Engineer and the Owner shall not be responsible for any discrepancies found as depths are estimated.
 - City inspection is required for the sanitary sewer and water service connections.
 - Contractor to comply with all regulatory agency permit conditions for permits obtained by owner and for permits obtained by general contractor.
 - All work performed and materials used for construction of utilities must conform to the City of Richfield Standard Specifications and Details.
 - Contractor may utilize SDR 35 as an equivalent material for sanitary sewer service.
 - Confirm proposed sanitary service and water main service locations and elevations with mechanical plans.
 - Refer to electrical and lighting plans for conduit size and location for menu board and light poles.



CONNECT TO EXISTING 6" DIP WATER SERVICE AT APPROXIMATE ELEVATION 872.50. WATER SERVICE IS TO BE 1.0" Cu TYPE K PIPE FOR DOMESTIC WATER SOURCE. EXISTING PIPE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATION, PIPE SIZE, MATERIALS, AND ELEVATION PRIOR TO WORK. CONTRACTOR SHALL INCORPORATE VERTICAL ADJUSTMENT AS NECESSARY TO AVOID CONFLICT WITH SANITARY SEWER AND MAINTAIN MINIMUM 1.5' SEPARATION. CONTRACTOR TO COMPLY WITH ALL CITY PERMIT REQUIREMENTS.

CONNECT TO EXISTING 6" VCP SANITARY SEWER SERVICE AT APPROXIMATE ELEVATION 873.00 WITH WATER-TIGHT CONNECTION. EXISTING PIPE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATION, PIPE SIZE, MATERIALS, AND ELEVATION PRIOR TO WORK. CONFIRM PROPOSED INVERT AT BUILDING CAN BE ACHIEVED. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY IF ELEVATION OF EXISTING SERVICE CONFLICTS WITH PROPOSED INVERT. CONTRACTOR TO COMPLY WITH ALL CITY PERMIT REQUIREMENTS.

EXISTING WATER SERVICE CURB STOP VALVE



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C7.0	STANDARD DETAILS

EROSION CONTROL NOTES

- All devices necessary to control erosion and sediment (i.e. perimeter silt fence, rock construction entrances, swales, ponds, berms, etc.) shall be installed prior to any other construction operations.
- Temporary erosion control silt stabilization shall be completed within 72 hours of disturbed areas that are to remain fallow and in an unfinished temporary condition. Temporary stabilization to be completed in compliance with MnDOT 2575 specifications.
- After completion of final grading, exposed soils must be permanently stabilized within 72 hours. Stabilization shall consist of disc-anchored seed & mulch or sod as allowed by City, or as proposed on a City approved landscape plan for the project.
- The site must be kept in a well drained condition at all times. The contractor shall be responsible for temporary ditches, or other means necessary to ensure proper drainage. The building pad must be provided with a positive outflow. This work shall be incidental to the grading contract.
- Entering/exiting the site shall occur only at rock construction entrance to reduce tracking of dirt onto paved streets. Sediment tracked onto streets during working hours must be reclaimed via street scraping and sweeping at the end of each working day.

POLLUTION PREVENTION NOTES

- Solid waste: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction debris and other wastes must be disposed of properly off-site and must comply with MPCA requirements.
- Hazardous materials: oils, gasoline, paint, and any hazardous substance must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal must be in compliance with MPCA regulations.
- External washing of trucks or other construction vehicles is not allowed on site. No engine degreasing is allowed on site. No concrete washouts are allowed on site.

GENERAL GRADING NOTES:

- Specifications applicable for this project: Current standard specifications for the City of Edina; the latest Minnesota Department of Transportation Specifications for Highway Construction; and all NPDES requirements except where modified by these documents.
- OSHA requirements shall be followed for all work on this project.
- The Contractor shall notify "Gopher State One Call" 48 hours prior to any excavation (1-800-252-1166.)
- The Grading Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction, and immediately notify the Engineer of any conflicts.
- Final Plat shall govern for easements and lot dimensions.
- Any erosion control items necessary to protect adjacent properties shall be constructed prior to the start of excavation or grading work.
- Erosion control maintenance shall be performed by the Grading Contractor, and removed as per the Contract Documents or as directed by the Owner, followed by all necessary restoration of disturbed area.
- The Grading contractor shall provide positive drainage on the site at all times. Grading tolerances shall be 0.10' for hard surface areas. Grading tolerances for the remainder of the site shall be 0.25'.
- The Grading Contractor shall keep public streets, parking lots, and travel ways clear of soil and debris. Daily cleaning at the construction entrance shall be performed, especially at the end of each day's work.

VEGETATION GROUND COVER SCHEDULE

- Permanent turf ground cover shall include all disturbed areas be covered with a minimum 4" topsoil and sanded or seeded as allowed by City, or as proposed on City approved landscape plan for the project.
- Temporary ground cover shall be MnDOT seed mix 150 shall be applied at 100 lbs/ac. MnDOT Type 1 mulch shall be applied at 2 tons/ac and disc anchored in areas not covered by sod or erosion blanket.
- Fertilizer shall be MnDOT Type 1 10-10-20 and applied at 200 lbs/ac. Disc fertilizer into top 3" of soil. Specification reference is MnDOT 2575.
- Dormant seed mix shall be used after November 1 or when temperatures do not exceed 40° F, using same rates specified above. No seed shall be placed in a snow or ice greater than 2" in depth.
- Any seeded areas that do not become established with vegetation shall be reseeded at Contractor's expense.
- Erosion blanket shall be installed in seed areas with ground surface slopes of 5H:1V or steeper.

EROSION CONTROL INSTALLATION SCHEDULE

- Silt fence shall be installed or restored prior to any construction. Silt fence shall be located as shown to intercept runoff. The area located beyond the perimeter silt fence shall not be disturbed during construction.
- Rack Construction Entrance shall be installed prior to grading operations.
- All storm sewer inlets shall have inlet protection inserts installed. Inserts shall be "Road rain-Top Slab" or "Road Drain-Curb & Gutter" inlet protection devices as manufactured by WIMCO (or approved equal) and installed per manufacturer's recommendations.
- All erosion control installations shall remain in place and be maintained in good condition by the contractor until the site has been re-vegetated, at which time it shall be removed by the contractor. For proposed paved surface areas, the contractor may remove necessary silt fencing to construct roadway, while maintaining adequate erosion control in adjacent areas.
- Sufficient topsoil shall be stockpiled to allow for the replacement of 4" topsoil for disturbed areas to be re-vegetated.
- The contractor shall schedule site grading, utility installation and site construction so that the general site can be mulched and sanded or re-seeded as soon as possible soon after disturbance. Areas that will not be subject to construction traffic shall be seed and mulched or sanded within 72 hours of final grading.

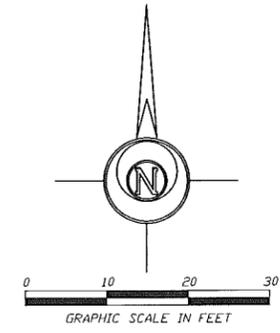
EROSION CONTROL MAINTENANCE SCHEDULE

- Erosion control measures shall be inspected by the contractor's representative and maintained by the contractor every Friday and within 24 hours after any rainfall event larger than 1/2" until the project is completed. Maintenance requirements are as follows: silt fence - 1/3 height of fence or damaged, remove sediment and/or repair fence within 24 hours; rack entrance - refresh as necessary to conform to detail; inlet protection inserts - remove sediment after each rain event; clean or replace filter when clogged; surface water - drain and stabilize, within 72 hours of discovery; street sweeping - remove all sediment tracked onto paved surfaces within 24 hours or as directed by City Engineer.
- Replacement - Fabric shall be replaced promptly when it decomposes or becomes ineffective before the barrier is no longer necessary.
- Any sediment remaining in place after silt fence is no longer required shall be dressed to conform with the existing grade, prepared, and seeded with appropriate seed mix, as directed by the engineer.
- Removal of the silt fence - Silt fences shall be removed when they have served their useful purpose, but not before the upward sloping area has been permanently stabilized. If the upward sloping area is to be exposed longer than six (6) months, that area shall be covered with temporary vegetation when first exposed.

RESPONSIBLE PARTY

Contact information for the responsible party for erosion control is:

GENERAL CONTRACTOR TO BE DETERMINED



SITE PLAN BASED ON SURVEY INFORMATION DATED SEPTEMBER 19, 2012 PROVIDED BY LOT SURVEYS COMPANY, INC.

BENCHMARK:

Top nut of hydrant located on Southdale Circle at 62 feet southwest of southwest property corner. Elevation = 883.40 feet

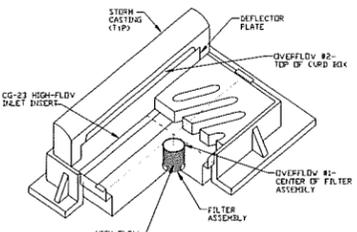
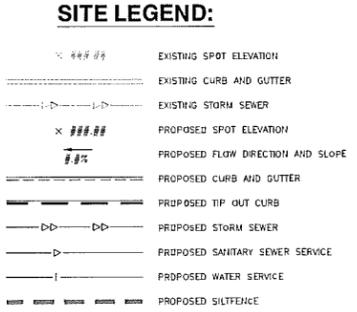
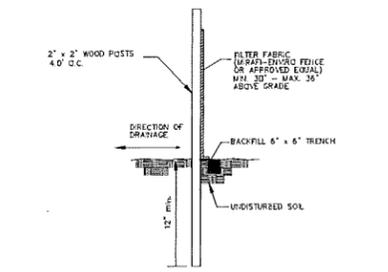
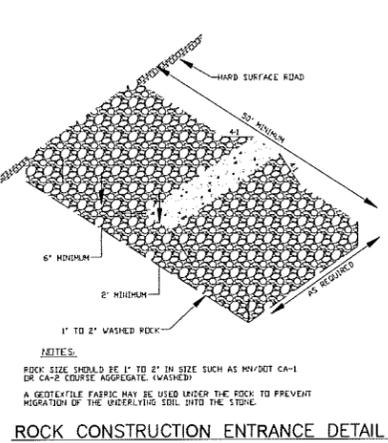
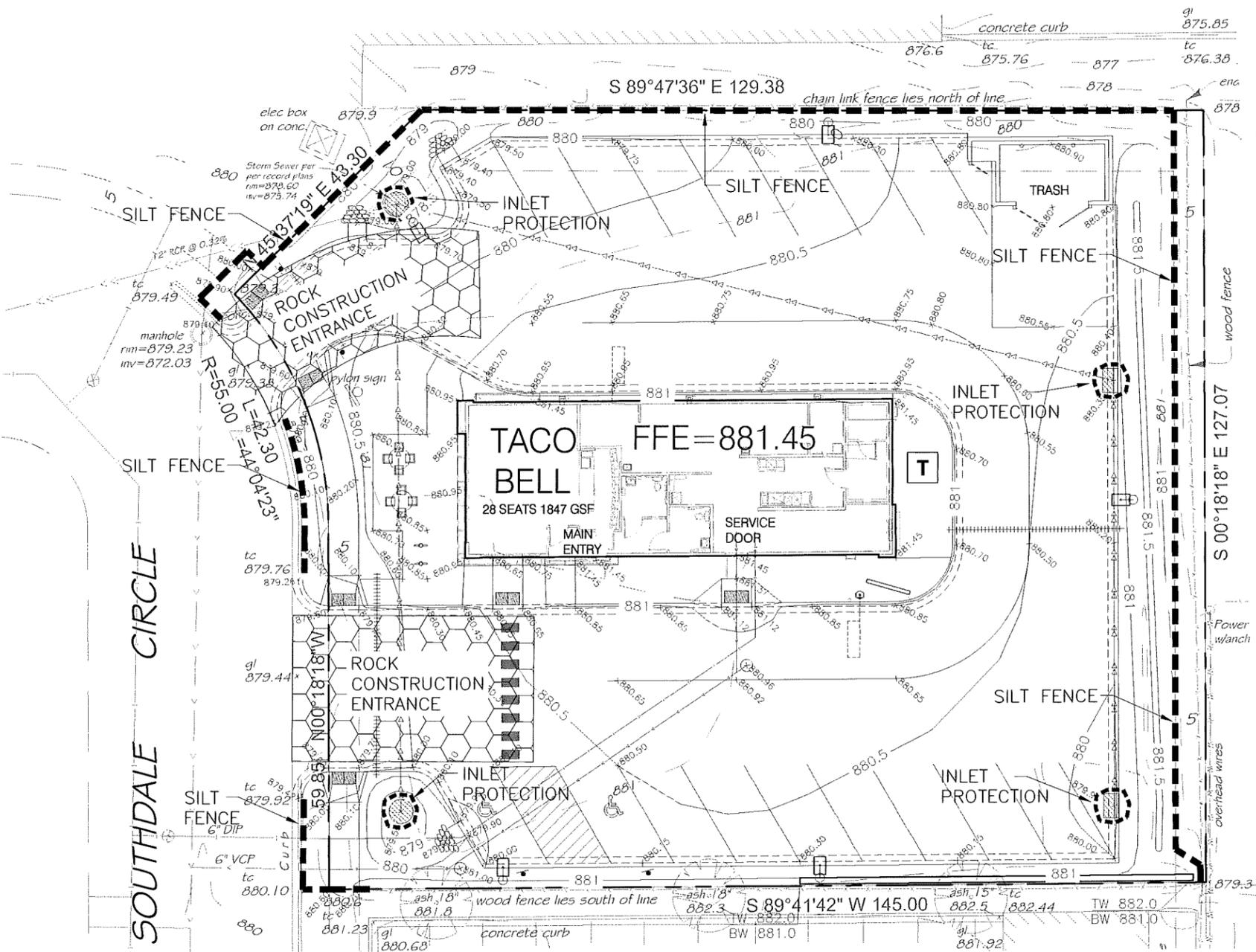
LEGAL DESCRIPTION:

Tract C, Registered Land Survey No. 1357, Hennepin County, Minnesota.

WCL Associates, Inc.
Architecture Interiors
 4931 West 25th Street
 Suite 200
 St. Louis Park, Minnesota 55416
 T. 952.541.9989
 F. 952.541.9554
 www.wcl.com

Taco Bell
 3210 SOUTHDAL CIRCLE
 EDINA, MN 55435

PRELIMINARY NOT FOR CONSTRUCTION



INDEX OF CIVIL SITE DRAWINGS:

- C1.0 SITE PLAN
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 GRADING AND DRAINAGE PLAN
- C5.0 UTILITIES PLAN
- C6.0 STORM WATER AND EROSION CONTROL PLAN
- C7.0 STANDARD DETAILS

Developed by:
Border Foods
 965 Decatur Ave North
 Golden Valley MN 55427
 New Address as of April 4, 2014
 5425 Boone Ave N.
 New Hope, MN 55428

Consultant
 SITE CONSTRUCTION PLANS PREPARED BY:
CIVIL ENGINEERING SITE DESIGN
 111 East Broadway St.
 PO Box 516
 Mendota, MN 55362
 Phone: 763-314-0929
 www.civiled.com
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Minnesota.
 Printed Name: **SCOTT DAHLKE**
 Signature: *Scott Dahlke*
 Date: 03/07/14 License #: 24348

Print History	Date
SITE PLAN REVIEW	03.07.2014

New Building
 Ni-28, 28 Seats, 1,847 SF
STORM WATER AND EROSION CONTROL PLAN
 Project 2013.06.08
 Drawn 50
 Checked 5D
 CESD Project # 00475
C6.0
 TACO BELL EDINA, MN



PRELIMINARY
NOT FOR
CONSTRUCTION

Developed by:
Border Foods
965 Decatur Ave North
Golden Valley MN 55427
New Address as of April
4, 2014
5425 Boone Ave N.
New Hope, MN 55428

Consultant
SITE CONSTRUCTION PLANS PREPARED BY
**CIVIL ENGINEERING
SITE DESIGN**
118 East Broadway St
PO Box 558
Mendota, MN 55362
Phone: 763-314-0249
www.ci.tad.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Minnesota.

Printed Name: **SCOTT DAHLKE**

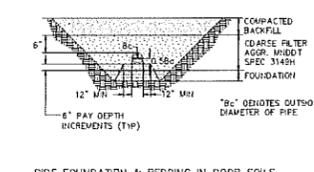
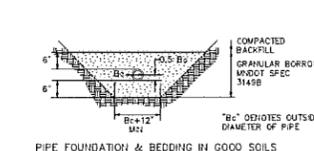
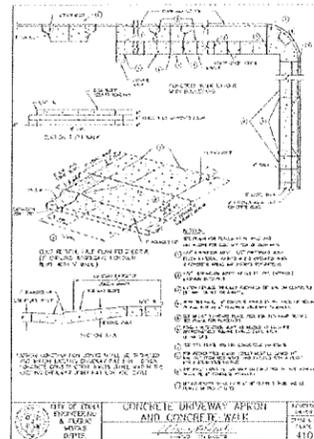
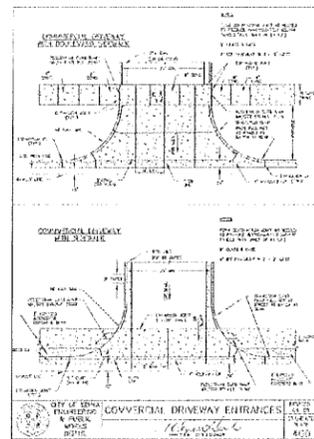
Signature: *Scott Dahlke*

Date: 03/07/14 License #: 24348

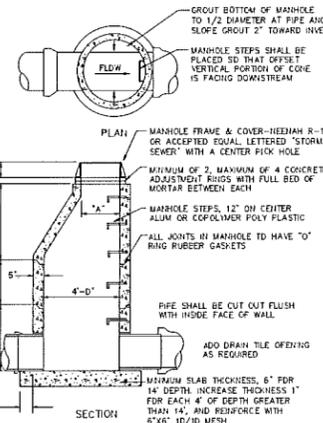
Print History	Date
SITE PLAN REVIEW	03/07/2014

New Building
Ni-28, 28 Seats: 1,847 SF
**STANDARD
DETAILS**

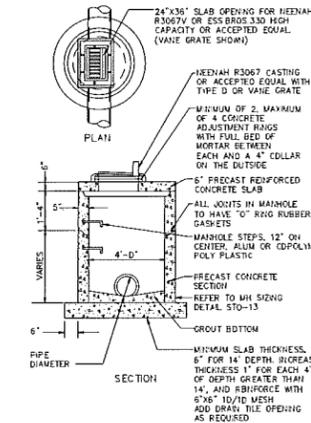
Project 2013.06.08
Drawn SD
Checked SD
CESD Project # 00475
C7.0
TACO BELL EDINA, MN



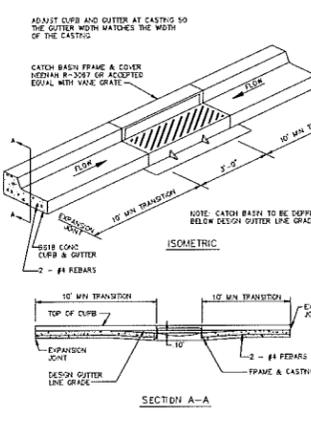
BEDDING METHODS FOR PVC



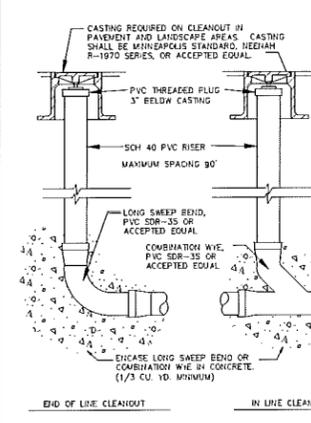
STORM SEWER MANHOLE



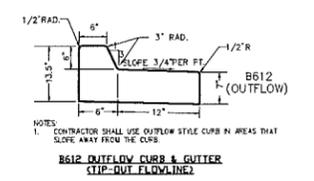
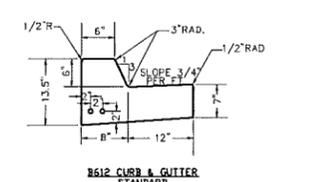
CATCH BASIN MANHOLE



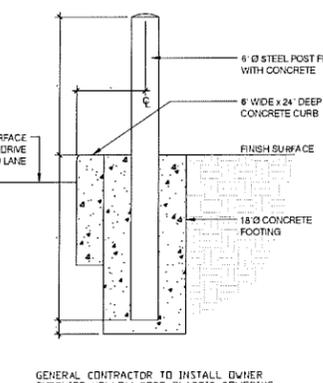
CURB AND GUTTER CONSTRUCTION AT CATCH BASIN



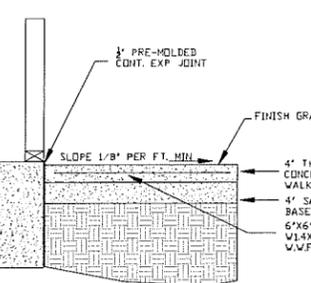
SERVICE LINE CLEANOUTS



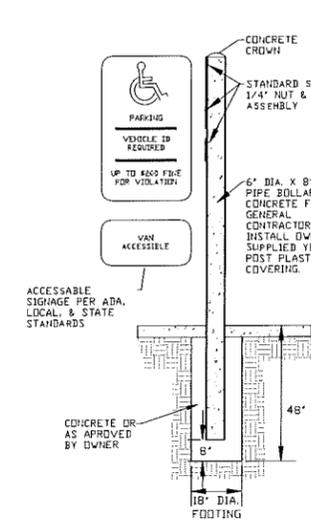
CONCRETE CURB AND GUTTER DETAILS



GUARD POST BOLLARD DETAIL
(STANDARD DETAIL FROM TACO BELL)



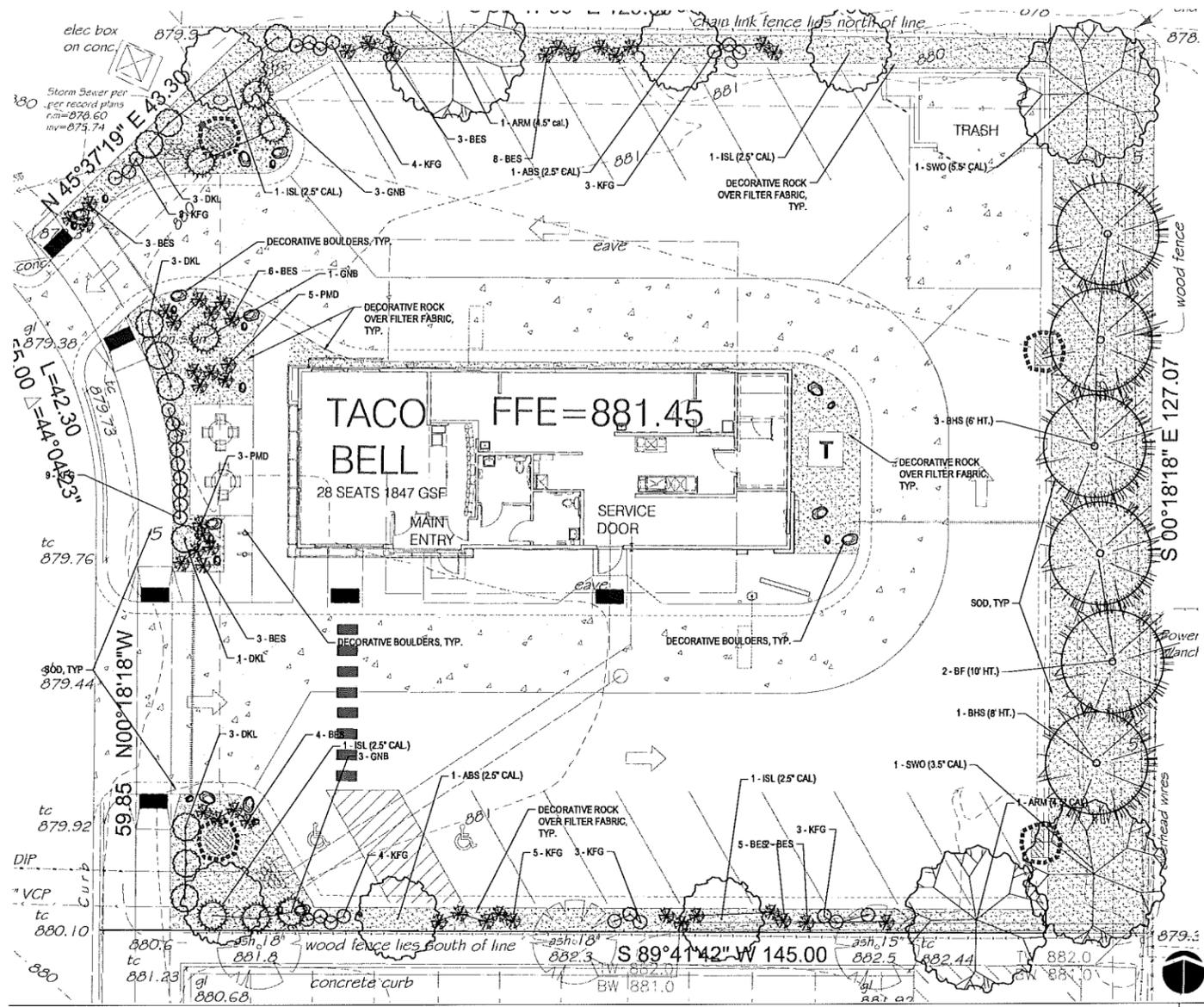
SIDEWALK DETAIL AT BUILDING
(STANDARD DETAIL FROM TACO BELL)



BOLLARD SIGN POST DETAIL

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PLANT SCHEDULE - ENTIRE SITE

SYM	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	COMMENTS
ARM	2	DECIDUOUS TREES				
SWO	2	AUTUMN RADIANCE RED MAPLE	<i>Acer rubrum 'Autumn Radiance'</i>	2.5'	B&B	STRAIGHT LEADER, FULL FORM
		SWAMP WHITE DAK	<i>Quercus bicolor</i>	2.5'	B&B	STRAIGHT LEADER, FULL FORM
BF	2	EVERGREEN TREES				
BHS	4	BALSAM FIR	<i>Pinus strobus</i>	6' Ht.	B&B	STRAIGHT LEADER, FULL FORM
		BLACK HILLS SPRUCE	<i>Picea g'suca 'Densata'</i>	6' Ht.	B&B	STRAIGHT LEADER, FULL FORM
ABS	2	ORNAMENTAL				
ISL	4	AUTUMN BRILLIANCE SERVICEBERRY	<i>Amelanchier x grandifolia 'Autumn Brilliance'</i>	1-1/2' cal	B&B	
		IVORY SILK LILAC	<i>Syringa reticulata 'Ivory Silk'</i>	1-1/2' cal	B&B	
GNB	7	SHRUBS				
DKL	10	PARDON ME DAYLILLY	<i>Hemerocallis 'Pardon Me'</i>	#2	CONT.	
		DWARF KOREAN LILAC	<i>Syringa meyeri 'Palbin'</i>	#2	CONT.	
PMD	8	PERENNIALS				
BES	34	GOLDEN NUGGET BARBERRY	<i>Berberis thunbergii 'Moriers'</i>	#2	CONT.	
		BLACK EYED SUSAN	<i>Rudbeckia fulgida 'Goldsturm'</i>	#2	CONT.	
KFG	34	GRASSES				
		KARL FOERSTER GRASS	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	#2	CONT.	

LANDSCAPE NOTES

- WHERE SHOWN, SHRUB BEDS SHALL BE MULCHED WITH 4" DEPTH (MIN. AFTER INSTALLATION AND/OR TOPDRESSING OPERATIONS) OF 1-1/2" BUFF LIMESTONE ROCK MULCH OVER WEED BARRIER. OWNER TO APPROVE ROCK SAMPLE PRIOR TO INSTALLATION. POLY-EDGER TO BE VALLEY VIEW BLACK DIAMOND OR APPROVED EQUAL.
- RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLEMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLE PRIOR TO INSTALLATION.
- PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMBNESS OF PLANT MATERIAL FOR DURING OF ACCEPTANCE PERIOD.
- UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR TWO (2) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER LOAM AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES. LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- REPAIR AT NO COST TO THE OWNER IRRIGATION SYSTEM DAMAGED FROM LANDSCAPE CONSTRUCTION ACTIVITIES.
- PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE A FULLY PROGRAMMABLE SYSTEM CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PATHWAY/BACK OF CURB.
- CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

LANDSCAPE REQUIREMENTS

Zoning = PCD-3

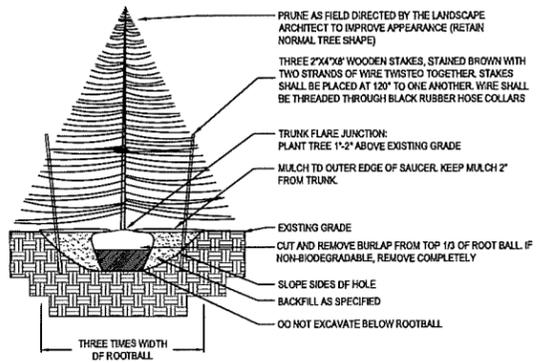
LANDSCAPE CALCULATIONS

REQUIRED:
PERIMETER OF LOT / 40

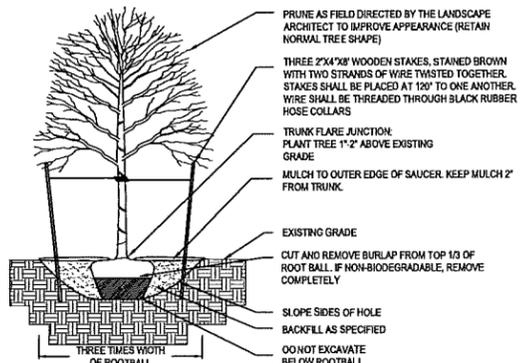
544 / 40 = 13.6 (14)

TYPE	DECIDUOUS	CONIFEROUS	B.H. LESS THAN 24'	REQUIRED NUMBERS	ROUND UP TO NEAREST
ORNAMENTAL	2" DR LESS	5' DR LESS	5%	0.68	1
COMPLEMENTARY	2.5" OR GREATER	6' DR GREATER	60%	8.16	9
ACCENT	3.5" OR GREATER	8' OR GREATER	20%	2.72	3
PRIMARY	4.5" OR GREATER	10' OR GREATER	10%	1.36	2
FULL	5.5" OR GREATER	12' OR GREATER	5%	0.68	1
TOTAL REQUIRED					16

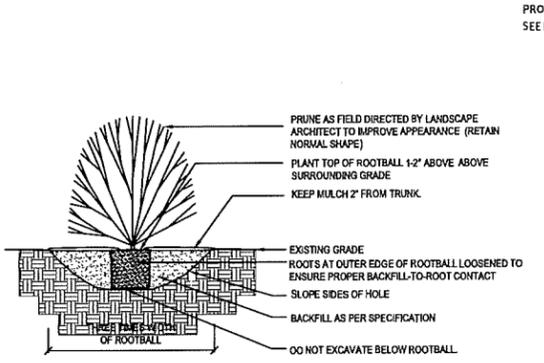
PROPOSED:
SEE PLANT SCHEDULE AND LANDSCAPE PLAN



1 EVERGREEN TREE NTS



2 DECIDUOUS TREE NTS



3 SHRUB NTS

LEGEND

- [Pattern] LIMIT OF ROCK
- [Circle] PROPOSED TREE
- [Group of circles] PROPOSED SHRUBS—SIZE VARIES—SEE SCHEDULE
- [Group of circles] DECORATIVE BOULDERS, 16"-30" DIA.

WCL Associates, Inc.

Architecture Interiors
4931 West 35th Street
Suite 200
St. Louis Park, Minnesota 55416
T. 952.541.9969
F. 952.541.9554
www.wclx.com



Taco Bell

3210 Southdale Circle
EDINA, MN 55435

PRELIMINARY NOT FOR CONSTRUCTION

Developed by:
Border Foods
965 Decatur Ave North
Golden Valley MN 55427
New Address as of April 4, 2014
5425 Boone Ave N.
New Hope, MN 55428

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature: _____
Name: Dave Clark
Registration: 14,883
Project Contact: Dean Madison
Phone Number: 952.541.9969
Print History: _____ Date: 03.07.2014
SITE PLAN REVIEW

New Building
Ni-28, 28 Seats, 1,847 SF
LANDSCAPE PLAN

Project: 2013.06.08
Drawn: DSM
Checked: DC

L-1

TACO BELL EDINA, MN



Taco Bell
3210 Southdale Circle
EDINA, MN 55435

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Developed by:
Border Foods
965 Decatur Ave North
Golden Valley MN 55427
New Address as of April
4, 2014
5425 Boone Ave N.
New Hope, MN 55428

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature: _____
Name: Dave Clark
Registration: 14,883
Project Contact: Dean Madison
Phone Number: 952.541.9989
Print History: _____ Date: _____
SITE PLAN REVIEW: _____ 03.07.2014

New Building
Ni-28, 28 Seats: 1,847 SF
SURVEY

Project: 2013.06.03
Drawn: DSM
Checked: DC
SR1.0
TACO BELL EDINA, MN

RLS 1357

ALTA/ACSM LAND TITLE SURVEY FOR:
BORDER FOODS COMPANIES
965 Decatur Avenue North
Golden Valley, MN 55427

Legal Description

Tract C, Registered Land Survey No. 1357.
Together with a permanent, non-exclusive easement for roadway purposes on, over, upon and across
Outlet B, Southdale-York Addition, as shown in Deed Document No. 1021224.
Hennepin County, Minnesota.

Note Corresponding to Schedule B, Part II

- 1 Items 1 and 2 - not a survey issue or not to our knowledge.
- 2 Item 3 - End of wood fence along east line encroaches over north property line. (ownership of fences along south and north lines not known to us)
- 3 Items 4 thru 9 are not a survey issue or not to our knowledge.
- 4 Item 10 - Drainage and utility easement per plat of Southdale-York Addition as shown hereon.
- 5 Items 11 and 12 are not a survey issue or not to our knowledge.

ALTA/ACSM Land Title Survey

*The undersigned hereby certifies that Manly Development II, LLC a Minnesota limited liability company and Commercial Partners Title, LLC as agent for Stewart/Tels Guaranty Company, with respect to the survey map dated September 19, 2012 entitled "ALTA / ACSM Land Title Survey" by The Gregory Group, Inc. d/b/a Lot Surveys Company, as follows:

- (i) that (a) the map and the survey on which it is based were made in accordance with: "2011 Minimum Standard Data Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and NSPS in 2011, and includes items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b), 8, 9, 11(a), 16, 17, and 18 of Table A thereof; (b) pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in my professional opinion, as a land surveyor in the State of Minnesota, the Relative Positional Accuracy of the survey does not exceed that which is specified therein; and (c) the map and survey on which it is based comply with all applicable laws of the jurisdiction in which the subject property lies.
- (ii) that the survey map is an accurate survey of all of the real property legally described therein;
- (iii) that the survey map was prepared under the direct supervision and control of the undersigned from an actual instrument survey made on the ground of the real property legally described therein;
- (iv) that there are no encroachments either across property lines or zoning of district lines or restriction lines in effect as of the date of the survey, except as shown herein.
- (v) that the survey map properly designates and locates all visible or recorded easements, rights-of-way, party walls and restricted areas as of the date of the survey and areas affected by other matters, if any, listed on the insurance commitment number file number 56264 issued by the Commercial Partners Title, LLC as agent for Stewart Title Guaranty Company, dated August 27, 2012.
- (vi) that legally sufficient ingress and egress to the property surveyed is provided by Southdale Circle upon which the subject property abuts, the same being paved and public streets, or paved and private ways leading to public streets, as to which the property surveyed has an absolute right of use;
- (vii) that no portion of the property surveyed is located in an area designated as a Special Flood Hazard Area by the United States Department of Housing and Urban Development and the property surveyed lies in a Zone "X" an area of minimum flooding.
- (viii) that the property surveyed does not service any adjoining property for drainage, ingress, egress, or any other apparent purpose, except as shown hereon.
- (ix) that the land, as described on the survey map, does not constitute an illegal subdivision of land under state law or local, county or city ordinances;
- (x) that if the land, as described on the survey map, constitutes more than one parcel or lot, there are no gaps, gores or strips;
- (xi) that the land, as described on the survey map consists of 1 tax parcel which is designated on the survey map, none of such land lies within any other tax parcel(s), and no other tax parcel(s) lie within such land; and
- (xii) that the undersigned is a registered land surveyor legally doing survey business and in good standing in the State of Minnesota.

Signed: Gregory R. Paruch
Gregory R. Paruch
Registered Land Surveyor No. 24992
in the State of Minnesota

Dated: September 19, 2012

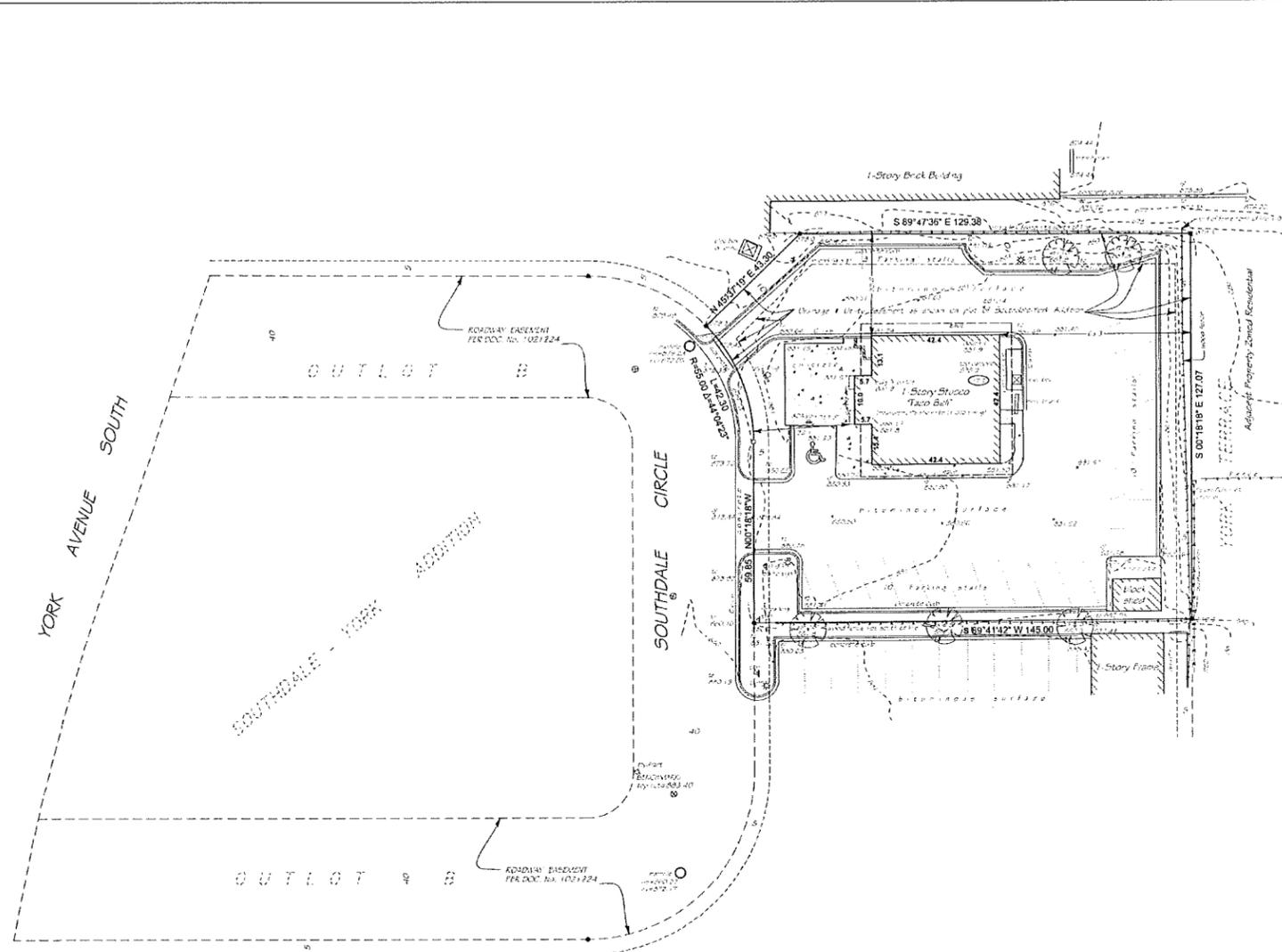
Survey Performed By:
The Gregory Group, Inc. d/b/a
Lot Surveys Company
7601 73rd Avenue North

Date of Survey	1-3-2012
Revisions	

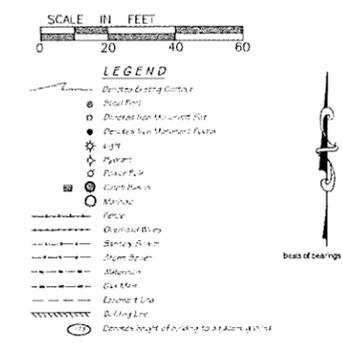
F.B. No. 1064-03 Inv. 80600

FILE

FILE



Legend of Symbols & Abbreviations



MISCELLANEOUS NOTES

- (MN1) Legal description and easements per life commitment from Commercial Partners Title LLC, Commitment No. 35004, dated August 12, 2012.
- (MN2) Property Address: 3210 Southdale Circle, Edina, MN
PID No.: 29-028-24-31-0008
- (MN3) Area of Parcel = 18700 sq ft
- (MN4) There is no observable evidence as of September 19, 2012 of earth moving work, building construction or building additions per Item 16 in certification.
- (MN5) No observable evidence of site use as a solid waste dump, or sanitary landfill per Item 18 of Table A in certification.
- (MN6) There is no observable evidence of cemeteries on site.
- (MN7) There is no observable evidence of right of way changes per Item 17 of Table A in certification.
- (MN8) By graphic platting only, this property was found to be located within Flood Zone "X" of the Flood Insurance Rate Map, Community Plan No. 278AS02364E, which bears an effective date of 9-2-2014 and is not in a Special Flood Hazard Area. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or an application for a variance from the Federal Emergency Management Agency.
- (MN9) Benchmark: Top nail of hydrant located on Southdale Circle as shown. Elevation = 883.40 feet.

Current Zoning Information

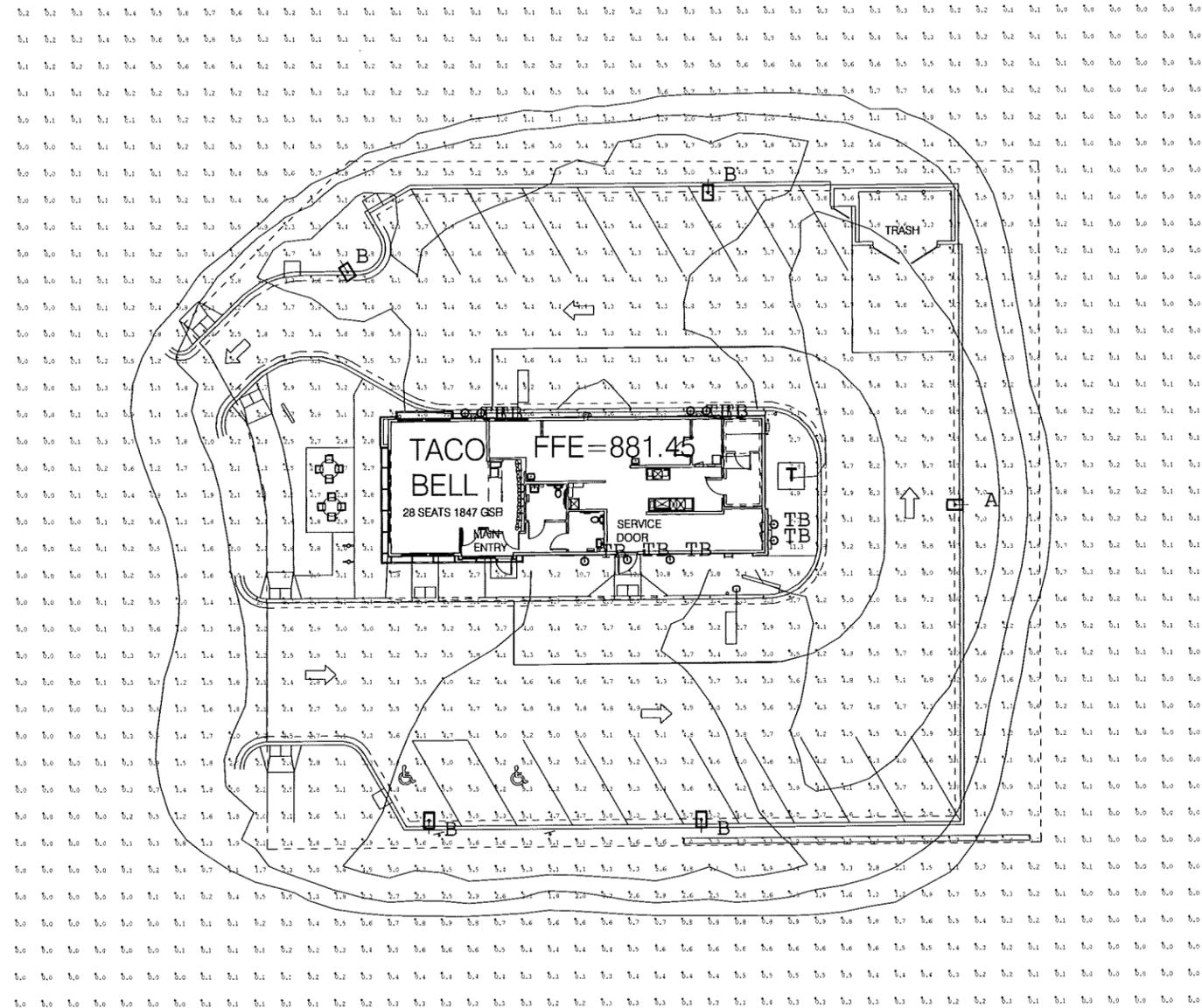
Source of Information: Planning Dept., City of Edina, MN			
Address: 4321 W. 50th Street, Edina, MN 55424			
Phone: 952-927-6261			
Zoning District: PC2-3			
Zoning Definition: Planned Commercial District - J			
Building Setback Requirements for PC2-3 District			
	Observed	Required	Notes
Front Yard Setback	32.1 Feet	35 feet	interior side yard & rear yard
Side Yard Setback	33.6 Feet	25 feet	setbacks apply only when the side or rear lot line is a F.O.D. boundary
Rear Yard Setback	63.3 Feet	35 feet	
Parking Facilities			
	Observed	Required	Notes
Regular Spaces	23	not listed	NA
Handicapped Spaces	1	not listed	
Total Parking Spaces	24	not listed	
Height Restrictions			
	Observed	Max. Allowed	Notes
Maximum Height	17.2	not listed	NA
Bulk Requirements			
	Observed	Required	Notes
Lot Area	18700 Sq. Ft.	not listed	
Coverage Ratio	0%	0%	NA
Other	NA	NA	

Vicinity Map
(Not in Scale)



Dwg File: G:\301306_Border Foods\301306_TacoBell\Edina MN\40_CONSTR\DCS\020_Plan-0_Photometric_20130608.dwg

Plotted: 2/12/2014 1:44:29 PM



TACO BELL
 4801 W. 50TH ST.
 EDINA, MN
 PREPARED BY: JOHN BUJAKE
 ACCUSERV LIGHTING & EQUIPMENT
 877-707-7378
 502-961-0357 FAX
 jbujake@accu-serv.com
 MARCH 4, 2014

Calculation Summary					
Item	Qty	Watt	lm/W	Foot Candles	Foot Candles
TOTAL	2.09	18.6	6.9	N.A.	N.A.
DRIVE-THRU USE SURFACE	4.57	7.9	2.7	1.69	2.93
SPREADING LOT SURFACE	4.17	9.5	2.3	1.91	4.13

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Irradiance Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp lumens	MF	lum. W/ft ²
1	1	A	SHIELD	N.A.	0.900	211
4	4	B	SHIELD	N.A.	0.900	211
9	9	TB	SHIELD	1230	0.900	36

SLIP FIXTURES ARE FULL OUTPUT 211W 4000K LED w/ FLAT LENSES
 POLES ARE 20'-0" HIG AT OVERALL FIXTURE HANGING HEIGHT OF 22'-0" A.F.G.

PHOTOMETRIC PLAN

A

WCL
 Associates, Inc.

Architecture
 Interiors

4911 West 35th Street
 Suite 200
 St. Louis Park, Minnesota
 55416

T: 952.541.9969
 F: 952.541.9554

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Taco
 Bell

3210 Southdale Circle
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PRELIMINARY
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 CONSTRUCTION

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 Golden Valley MN 55427
 New Address as of April
 4, 2014
 5425 Boone Ave N.
 New Hope, MN 55428

I hereby certify that this plan was prepared by me or
 under my direct supervision and that I am a duly
 licensed architect under the laws of the State of
 Minnesota

Signature: _____
 Name: Dave Clark
 Registration: 14883
 Project Contact: Dean Mattson
 Phone Number: 952.541.9969

Print History Date
 SITE PLAN REVIEW 03.07.2014

△ -
 △ -
 △ -
 △ -

New Building
 Ni-28, 28 Seats, 1,847 SF

PHOTOMETRIC PLAN

Project 2013.06.08
 Drawn DSM
 Checked DC

PM1.0

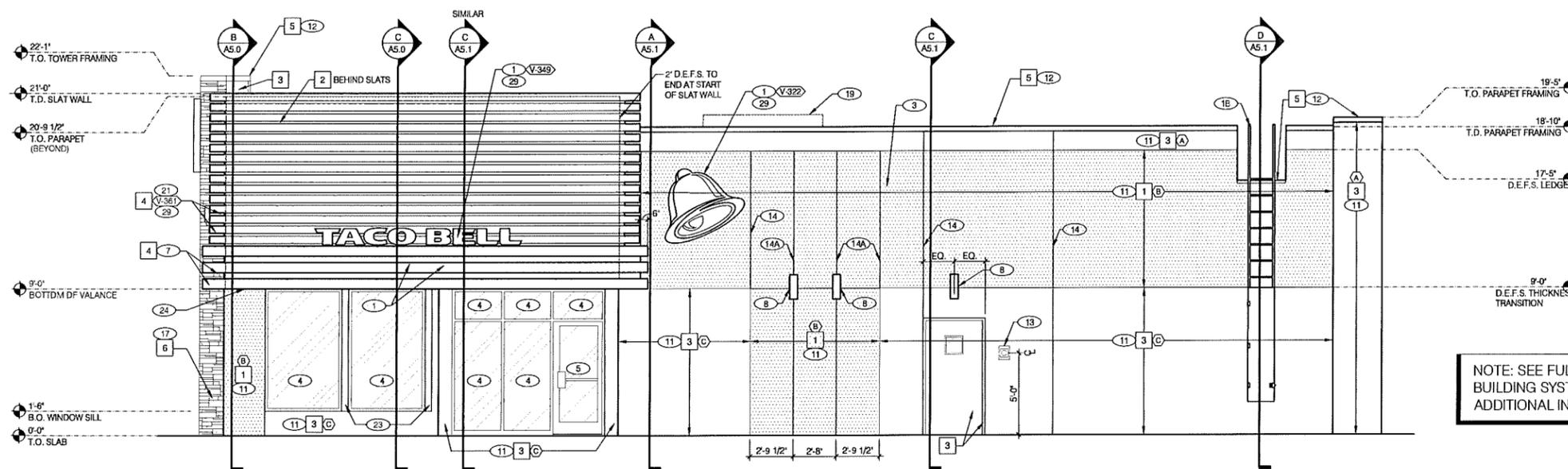
TACO BELL EDINA, MN



Taco
Bell

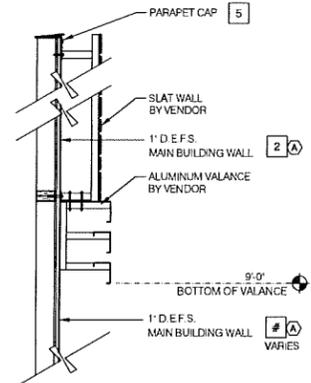
3210 Southdale Circle
EDINA, MN 55435

PRELIMINARY
NOT FOR
CONSTRUCTION

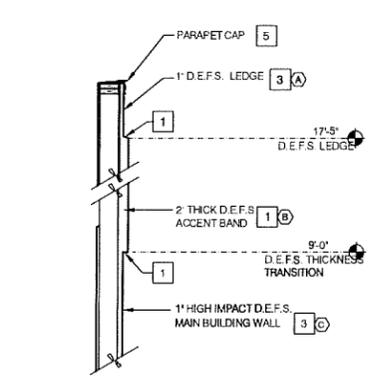


NOTE: SEE FULLERTON
BUILDING SYSTEMS FOR
ADDITIONAL INFORMATION.

SOUTH ELEVATION (MAIN ENTRY) 1/4" = 1'-0" **A**



SLAT WALL COLOR TRANSITION N.T.S. **I**



D.E.F.S. THICKNESS COLOR TRANSITION N.T.S. **G**

MISCELLANEOUS
A SEE SHT A1.1 WINDOW TYPES FOR WINDOW ELEVATIONS
B SEE SCOPE OF WORK FOR RESPONSIBILITIES
C THE PAINT COLORS SHOWN ARE COLOR REFERENCES FOR THE D.E.F.S. SUPPLIER
D D.E.F.S. TEXTURE SHALL BE FINE

SEALERS (REFER TO SPECS):
A SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS
C APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY/TRELIS

LEGEND:
A VENDOR SCOPE INCLUDES SUPPLY AND INSTALLATION OF AWNINGS, CANOPIES, AND SIGNAGE.
B DENOTES 2\"/>

CRITICAL DIMENSIONS:
A REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANOARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

QTY	ITEM DESCRIPTION	ELEC
V-350 1	TACO BELL DRIVE THRU CANOPY	X
V-346 1	TACO BELL BUILDING ACCENT	X
V-361 1	SLAT WALL AND ALUMINUM VALANCE	X

CANOPY AND BLDG. ACCENT SCHED. N.T.S. **E**

(A) BASE THICKNESS - 1\"/>

(B) BASE THICKNESS - 2\"/>

(C) BASE THICKNESS - 1\"/>

QTY	ITEM DESCRIPTION	ELEC
V-349 3	TACO BELL LETTERS 12\"/>	
V-322 3	TACO BELL BELL SIGN 4-10 1/2\"/>	

SIGN SCHEDULE N.T.S. **C**

SYMBOL	AREA	MANUFACTURER	COLOR
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 6122 'CAMEL BACK'
2	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 'CLEMATIS'
3	ACCENT COLOR	SHERWIN WILLIAMS	SW 2823 'ROCKWOOD CLAY'
4	SLAT WALL AND VALANCE COLOR	SHERWIN WILLIAMS	SW 7034 'STATUS BRONZE'
5	PARAPET CAP COLOR	-	PREFINISHED DARK BRONZE
6	SIMULATED MASONRY VENEER	BORAL STONE PRODUCTS	PROSTONE LEDGESTONE VINTAGE WINE PRO-482284
7	STOREFRONT WINDOWS	TBD	DARK BRONZE
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4\"/>

EXTERIOR FINISH SCHEDULE **H**

GENERAL NOTES **F**

- 1 BUILDING SIGN UNDER SEPARATE PERMIT.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 ROOFING AT PARAPET BEYOND.
- 4 STOREFRONT WINDOW SYSTEM. TYPICAL.
- 5 STOREFRONT DOOR.
- 6 SWITCH GEAR TO BE PAINTED TO MATCH BUILDING.
- 7 ARCHITECTURAL ALUMINUM VALANCE BY VENDOR.
- 8 LIGHT SCONCE. ALIGN BOTTOM OF FIXTURES MOUNTING BRACKET WITH CHANGE IN D.E.F.S. THICKNESS.
- 9 CANOPY WITH TURNBUCKLES. SEE SCOPE OF WORK.
- 10 SCUPPER, COLLECTOR, AND OPEN FACE DOWNSPOUT. PAINT TO MATCH ADJACENT WALL.
- 11 D.E.F.S. (TYP).
- 12 PARAPET CAPPING IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM.
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL S/A8 2 SIM.
- 14 D.E.F.S. REVEAL JOINT.
- 14A SEALANT JOINT. SEE FULLERTON PLANS.
- 15 GAS SERVICE.
- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SIMULATED MASONRY VENEER.
- 18 ROOF ACCESS LADDER AND DOOR.
- 19 RTU BEYOND. PAINT TO MATCH BUILDING WALL.
- 20 SWITCHGEAR. PAINT TO MATCH WALL.
- 21 ALUMINUM SLAT WALL BY VENDOR.
- 22 BOLLARD.
- 23 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3.4 & 7/A6.1
- 24 2\"/>

- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SIMULATED MASONRY VENEER.
- 18 ROOF ACCESS LADDER AND DOOR.
- 19 RTU BEYOND. PAINT TO MATCH BUILDING WALL.
- 20 SWITCHGEAR. PAINT TO MATCH WALL.
- 21 ALUMINUM SLAT WALL BY VENDOR.
- 22 BOLLARD.
- 23 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3.4 & 7/A6.1
- 24 2\"/>

PROVIDE 9/16\"/>

KEY NOTES **D**

Developed by:
Border Foods
965 Decatur Ave North
Golden Valley MN 55427
New Address as of April
4, 2014
5425 Boone Ave N.
New Hope, MN 55428

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature: _____
Name: Dave Clark
Registration: 14,883
Project Contact: Dean Madson
Phone Number: 952.541.9999
Print History: _____ Date: _____
SITE PLAN REVIEW: 03.07.2014

New Building
Nt-28, 28 Seats: 1,847 SF
EXTERIOR ELEVATIONS

Project: 2013.06.08
Drawn: DSM
Checked: DC
A4.0

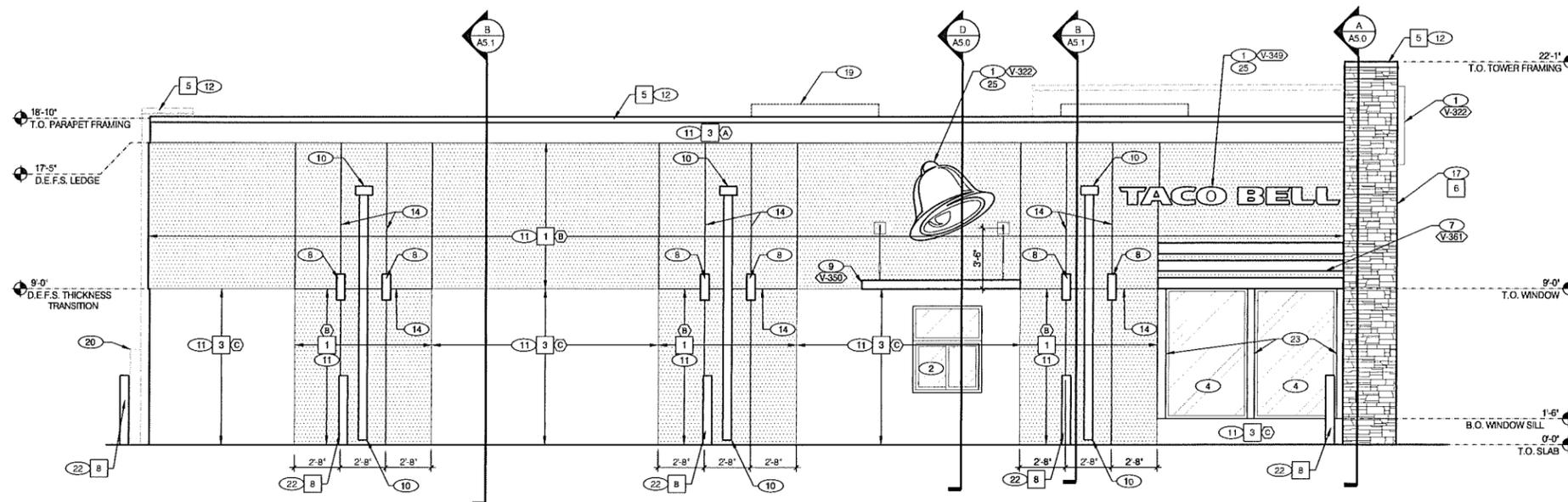
TACO BELL EDINA, MN



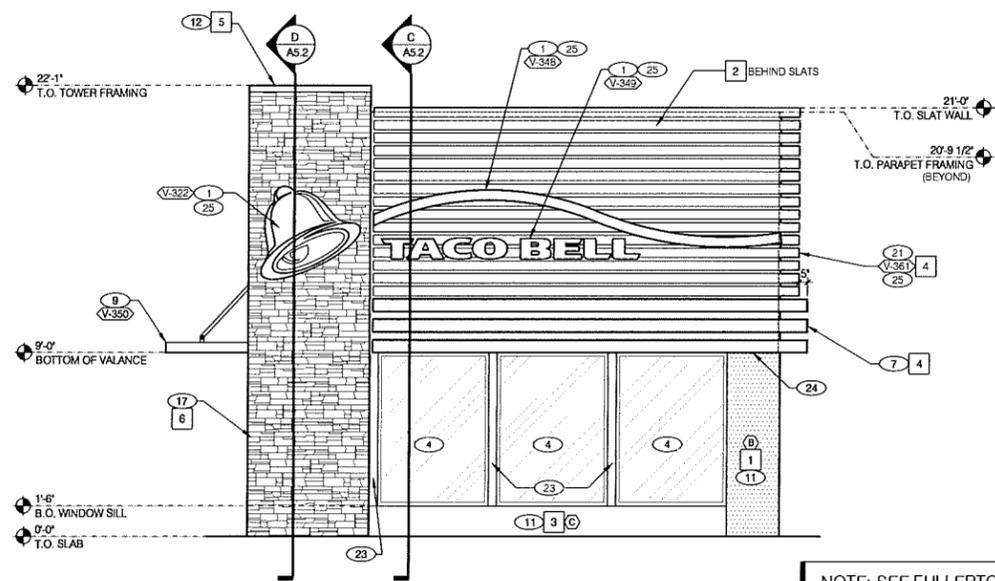
Taco
Bell

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EDINA, MN 55435

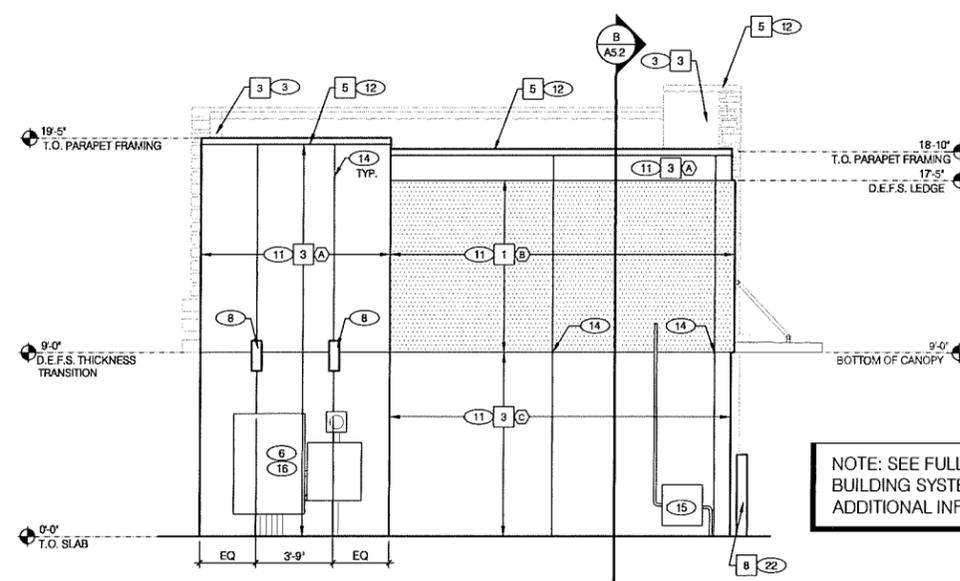
PRELIMINARY
NOT FOR
CONSTRUCTION



NORTH ELEVATION (DRIVE THRU) 1/4" = 1'-0" A



WEST ELEVATION (FRONT) 1/4" = 1'-0" C



EAST ELEVATION (REAR) 1/4" = 1'-0" B

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Registration : 14.883
Project Contact : Dean Madison
Phone Number : 952.541.9969

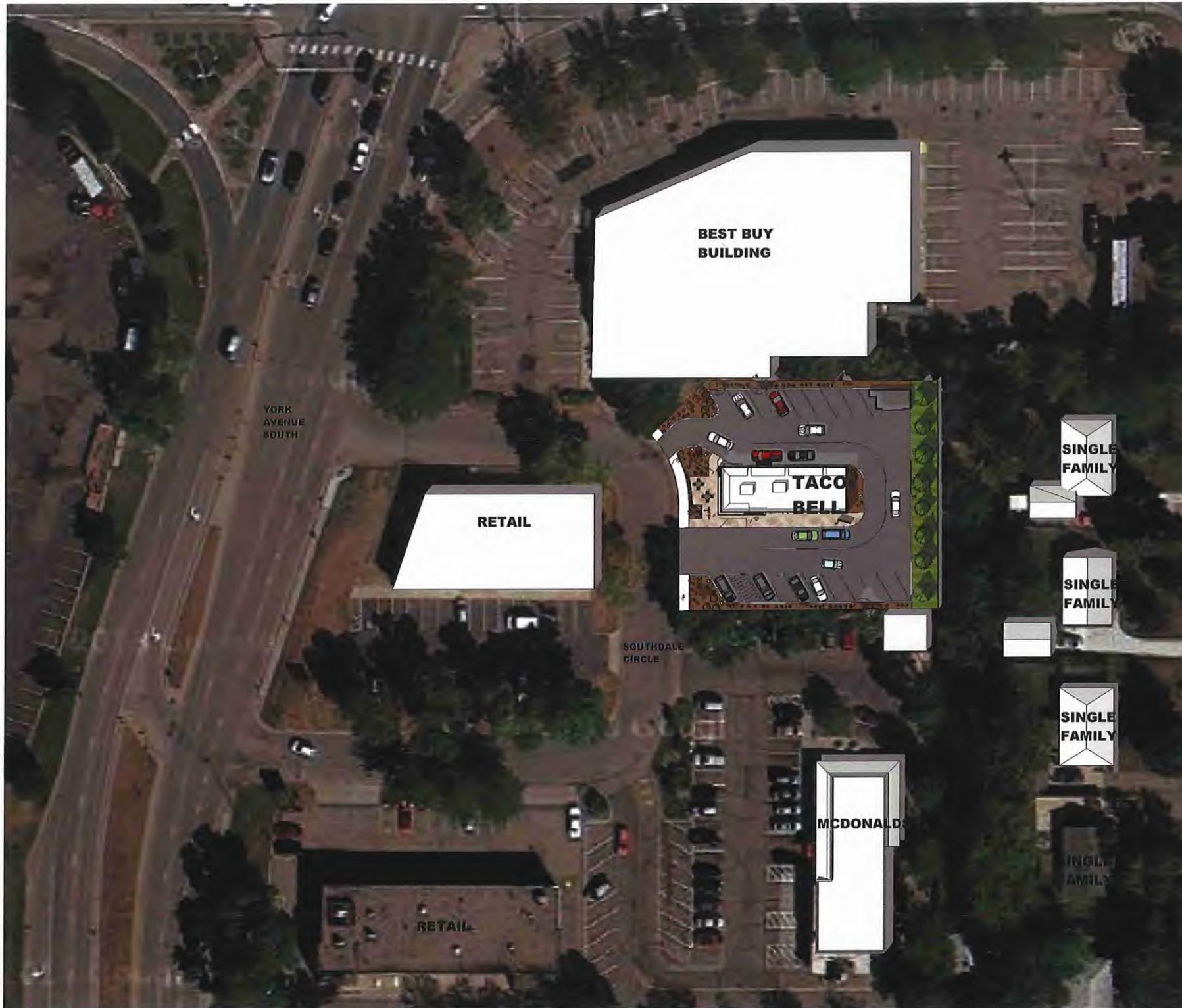
Print History _____ Date _____
SITE PLAN REVIEW 03.07.2014

New Building
Ni-28, 28 Seats: 1,847 SF
EXTERIOR ELEVATIONS

Project 2013.06.08
Drawn DSM
Checked DC

A4.1

TACO BELL EDINA, MN



1 VICINITY MAP
1"=30'-0"



WCL
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Architecture
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4331 West 35th Street
Suite 200
St. Louis Park, Minnesota
55416

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F. 952. 541. 9554

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EDINA, MN 55435

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SIGNATURE: _____

DAVE CLARK

REGISTRATION: 14,883

PRINT HISTORY DATE

SITE PLAN REVIEW 03.07.2014

VICINITY MAP

PROJECT: 2013.06.08
DRAWN: DM
CHECKED: DC

A1

TACO BELL EDINA, MN

**TACO
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REGISTRATION: 14,883

PRINT HISTORY DATE

SITE PLAN REVIEW 03.07.2014

SITE PLAN

PROJECT: 2013.06.08
DRAWN: DM
CHECKED: DC

A2

TACO BELL EDINA, MN



1 SITE PLAN
1/8" = 1'-0"



1 MODEL VIEW
NO SCALE

WCL
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Interiors

4831 West 35th Street
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St. Louis Park, Minnesota
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F. 952.541.9554
www.wcla.com

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PRINT HISTORY DATE

SITE PLAN REVIEW 03.07.2014

MODEL VIEW

PROJECT: 2013.06.08
DRAWN: DM
CHECKED: DC

A3

TACO BELL EDINA, MN



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SITE PLAN REVIEW 03.07.2014

MODEL VIEW

PROJECT: 2013.06.08
DRAWN: DM
CHECKED: DC

A4

TACO BELL EDINA, MN

1 MODEL VIEW
NO SCALE



1 MODEL VIEW
NO SCALE

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Interiors

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55416
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DAVE CLARK

REGISTRATION: _____

14,883

PRINT HISTORY DATE

SITE PLAN REVIEW 03.07.2014

MODEL VIEW

PROJECT: 2013.06.08
DRAWN: DJ
CHECKED: DC

A4

TACO BELL EDINA, MN



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BELL**

3210 SOUTHDAL CIRCLE
EDINA, MN 55435

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DAVE CLARK

REGISTRATION: _____

14,883

PRINT HISTORY DATE

SITE PLAN REVIEW 09.07.2014

MODEL VIEW

PROJECT: 2013.06.08
DRAWN: DM
CHECKED: DC

A6

TACO BELL EDINA, MN

1 MODEL VIEW
NO SCALE



1 MODEL VIEW
NO SCALE

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Associates, Inc.

Architecture
Interiors

4931 West 35th Street
Suite 200
St. Louis Park, Minnesota
55416

T. 952. 541.9969
F. 952. 541.9554
www.wcla.com

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BELL

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EDINA, MN 55435

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DAVE CLARK

REGISTRATION: 14,883

PRINT HISTORY DATE

SITE PLAN REVIEW 03.07.2014

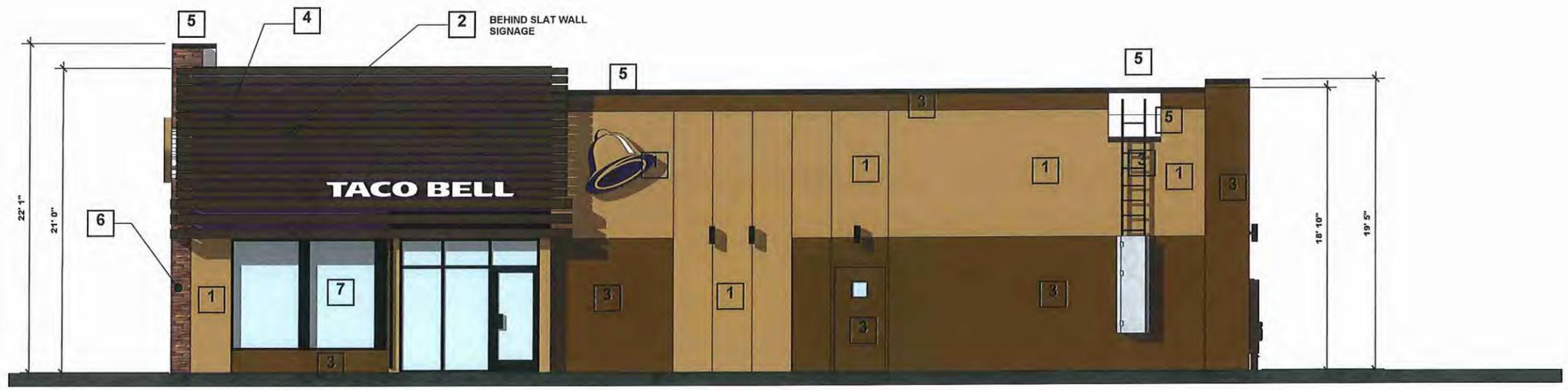
MODEL VIEW

PROJECT: 2013.06.08
DRAWN: DM
CHECKED: DC

A7

TACO BELL EDINA, MN

TACO BELL
3210 SOUTHDALE CIRCLE
EDINA, MN 55435



1 SIDE ENTRY ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

SYMBOL	AREA	MANUFACTURER	COLOR
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 6122 "CAMEL BACK"
2	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 "CLEMATIS"
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6	SIMULATED MASONRY VENEER	BORAL STONE PRODUCTS	PROSTONE LEDGESTONE "VINTAGE WINE" PRO-482284
7	STOREFRONT WINDOWS	TBD	" DARK BRONZE"
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL

EXTERIOR FINISH SCHEDULE H

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NOT FOR
CONSTRUCTION**

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SIGNATURE: _____
DAVE CLARK
REGISTRATION: 14,883

PRINT HISTORY DATE
SITE PLAN REVIEW 03.07.2014

<p>1 DIRECT EXTERIOR FINISH SYSTEM (DEFS)</p> 	<p>2 DIRECT EXTERIOR FINISH SYSTEM (DEFS) BEHIND SLAT WALL SIGNAGE</p> 	<p>3 DIRECT EXTERIOR FINISH SYSTEM (DEFS)</p> 	<p>4 PREFINISHED METAL VALANCE AND SLAT WALL</p> 	<p>5 PREFINISHED METAL PARAPET CAP FLASHING</p> 	<p>6 SIMULATED MASONRY VENEER</p> 	<p>7 PREFINISHED METAL STOREFRONT</p> 
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TACO BELL

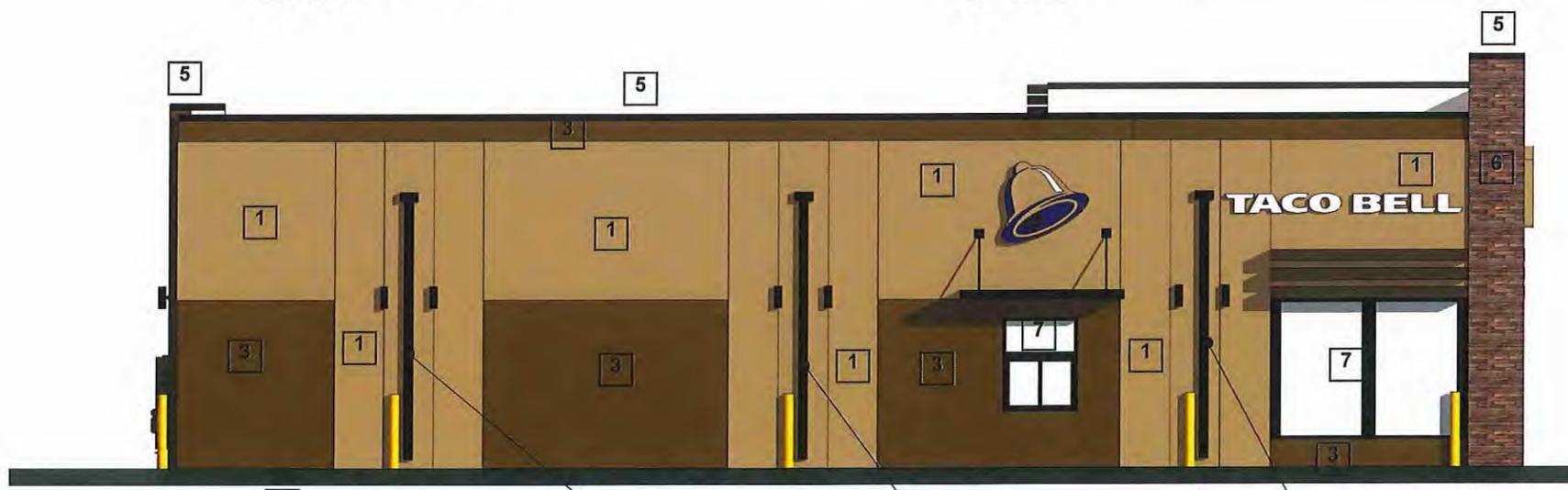
3210 SOUTHDAL E CIRCLE
EDINA, MN 55435

**PRELIMINARY
NOT FOR
CONSTRUCTION**



2 FRONT ELEVATION
1/4" = 1'-0"

3 REAR ELEVATION
1/4" = 1'-0"



4 DRIVE THRU ELEVATION
1/4" = 1'-0"

1 DIRECT EXTERIOR FINISH SYSTEM (DEFS)



2 DIRECT EXTERIOR FINISH SYSTEM (DEFS)



BEHIND SLAT WALL SIGNAGE

3 DIRECT EXTERIOR FINISH SYSTEM (DEFS)



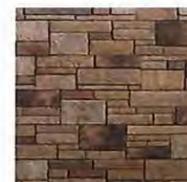
4 PREFINISHED METAL VALANCE AND SLAT WALL



5 PREFINISHED METAL PARAPET CAP FLASHING



6 SIMULATED MASONRY VENEER



7 PREFINISHED METAL STOREFRONT



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SIGNATURE: _____
DAVE CLARK

REGISTRATION: 14,883

PRINT HISTORY: _____ DATE: _____

SITE PLAN REVIEW: _____ 03.07.2014

EXTERIOR ELEVATIONS

PROJECT: 2013.06.08
DRAWN: DM
CHECKED: DC

A9

TACO BELL EDINA, MN

TACO BELL

3210 SOUTHDALE CIRCLE
EDINA, MN 55435



1 FRONT ELEVATION
1/4" = 1'-0"

2 SIDE ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"

4 SIDE ELEVATION
1/4" = 1'-0"

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SIGNATURE: _____
DAVE CLARK
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PRINT HISTORY DATE
SITE PLAN REVIEW 03.07.2014

1 DIRECT EXTERIOR FINISH SYSTEM (DEFS)



2 DIRECT EXTERIOR FINISH SYSTEM (DEFS)
BEHIND SLAT WALL SIGNAGE



3 DIRECT EXTERIOR FINISH SYSTEM (DEFS)



4 PREFINISHED METAL VALANCE AND SLAT WALL



5 PREFINISHED METAL PARAPET CAP FLASHING



6 SIMULATED MASONRY VENEER



7 PREFINISHED METAL STOREFRONT



TRASH ENCLOSURE ELEVATIONS

PROJECT: 2013.06.08
DRAWN: DM
CHECKED: DC
A10
TACO BELL EDINA, MN