

- LIST OF POSSIBLE ENCROACHMENTS**
- The following list of possible encroachments is only the opinion of this surveyor; should not be interpreted as a legal opinion and should not be interpreted as a complete listing.
- A) Possible encroachments are indicated on survey with boxed letters as listed below.
 - A.) Storm sewer near the northwest corner of the subject property.
 - B.) Chain link fence near the northwest corner of the subject property.
 - C.) Possible underground electric line (shown hereon per plan) without benefit of an easement northerly of the 4570 building.
 - D.) Driveway to the golf course outside of the easement in the southwestern corner of the 7600 building property.
 - E.) Storm sewer running off of the property near the driveway to the golf course.
 - F.) Underground electric line outside of the easement near the southwest corner of the subject property.
 - G.) Concrete wall lying within easement on the west side of the 4600 building.
 - H.) Enclosed walkway over easement between 4570 and 4550 buildings.

- LEGEND**
- AC Denotes air conditioner
 - BE Denotes building entrance
 - BTC Denotes bituminous curb top
 - CB Denotes catch basin
 - CBX Denotes control box
 - CIP Denotes cast iron pipe
 - CMP Denotes corrugated metal pipe
 - COL Denotes building column
 - DG Denotes drain grate
 - DIP Denotes ductile iron pipe
 - EM Denotes electric meter
 - EMH Denotes electric manhole
 - FACP Denotes filter cap
 - FF Denotes finished floor
 - FH Denotes fire hookup
 - FP Denotes flag pole
 - GAS V Denotes gas valve
 - GM Denotes gas meter
 - GP Denotes guard post
 - HSR Denotes handicap ramp
 - HCS Denotes handicap sign
 - HH Denotes hand hole
 - HYD Denotes fire hydrant
 - LP Denotes light pole
 - MB Denotes mail box
 - MH Denotes manhole
 - MOWELL Denotes monitoring well
 - OD Denotes overhead door
 - OE Denotes overhead electric line
 - (P) Denotes per plan/not field verified
 - PEP Denotes polyethylene pipe
 - PP Denotes power pole
 - PVC Denotes plastic pipe
 - RCP Denotes reinforced concrete pipe
 - SAN Denotes sanitary manhole
 - SAN S Denotes sanitary sewer
 - SANC Denotes sanitary cleanout
 - ST S Denotes storm sewer
 - TB Denotes telephone box
 - TCS Denotes traffic control sign
 - TL Denotes traffic light
 - TMH Denotes telephone manhole
 - TRANS Denotes electric transformer box
 - UCC Denotes underground communication line
 - USE Denotes underground electric line
 - V Denotes vent
 - VP Denotes vent pipe
 - VCP Denotes vitrified clay pipe
 - W Denotes water line
 - WV Denotes water valve
 - ARB Denotes Arborvitae
 - BLOM Denotes Black Cherry tree
 - BDX Denotes Boxelder tree
 - CED Denotes Cedar tree
 - COT Denotes Cottonwood tree
 - CRAB Denotes Crabapple tree
 - HACK Denotes Hackberry tree
 - LIND Denotes Linden tree
 - LOC Denotes Locust tree
 - MPL Denotes Maple tree
 - PIH Denotes Pine tree
 - PINR Denotes Red Pine tree
 - SPCC Denotes Colorado Grand Spruce tree
 - WIL Denotes Willow tree
 - ♿ Denotes handicap parking space
 - Denotes found iron monument marked with PLS No. 17256, unless otherwise noted
 - Denotes found scribed "X", unless otherwise noted
 - [] Denotes bearings or distances per document

DESCRIPTION OF PROPERTY SURVEYED

(Per First American Title Insurance Company Commitment No. NCS-529453-CH2, commitment date August 26, 2012, Revision Information: September 17, 2012)

Parcel A (Certificate of Title No. 1329506):
 Tracts A, B, C, D and E, Registered Land Survey No. 1218, Hennepin County, Minnesota.

Parcel B:
 Non-exclusive easements over parts of Tracts F and G, Registered Land Survey No. 1218, as contained in the Easement Agreement, dated November 9, 2008, recorded December 12, 2008, in the office of the Hennepin County Registrar of Titles as Doc. No. 4338212.

PLAT RECORDING INFORMATION

Registered Land Survey No. 1218 was filed of record on May 22, 1967, as Document No. 874868.

TITLE COMMITMENT

First American Title Insurance Company Commitment No. NCS-529453-CH2, commitment date August 26, 2012, Revision Information: September 17, 2012, was relied upon as to matters of record.

Schedule B Exceptions:

① Exceptions are indicated on survey with circled numbers where applicable.

- 16.) The following appears as a recital on the Certificate of Title for the Land: Subject to snow fence easements over that portion of the premises described in CR Book 358 of Miscellaneous Records, page 16, and in CR Book 366 of Miscellaneous Records, page 121. (not specifically defined, not shown on survey) (See General Notes #4)
- 17.) Easement for power line purposes in favor of Northern States Power Company, as contained in the Underground Easement, dated March 20, 1968, recorded March 22, 1968, as Doc. No. 904324. (shown on survey)
- 18.) Easement for ingress and egress purposes, as contained in the Quit Claim Deed, dated August 19, 1968, recorded January 2, 1969, as Doc. No. 931813. (shown on survey)
- 19.) Easement for power line purposes in favor of Northern States Power Company, as contained in the Underground Easement, dated July 25, 1969, recorded July 29, 1969, as Doc. No. 948779. (shown on survey)
- 20.) Terms and conditions, including an easement for ingress and egress purposes, as contained in the Easement Agreement, dated September 24, 1992, recorded May 17, 1993, as Doc. No. 2375224. (shown on survey)
- 21.) Affidavit Regarding Underground Tanks, recorded March 13, 1998, as Doc. No. 2896409. (shown on survey) (See General Notes #5)
- 22.) Easements for road right of way, signal, utility and walkway purposes, in favor of the City of Edina, as contained in the Easement, dated July 26, 2002, recorded September 6, 2002, as Doc. No. 3598236. (shown on survey)
- 23.) Terms and conditions, including easements for parking, access, and utility purposes, as contained in the Easement Agreement, dated November 9, 2008, recorded November 12, 2008, as Doc. No. 4338212. (blanket in nature over 4530 and 4510 buildings, not shown on survey) (See General Notes #6)
- 24.) Conditions contained in Resolution No. 2009-19 by the City of Edina, recorded April 27, 2009, as Doc. No. 4637656.

- GENERAL NOTES**
- 1.) Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site. Ownership information is subject to revision upon receipt of a title search by a title insurance company.
 - 2.) Survey coordinate and bearing basis: Hennepin County coordinates
 - 3.) CR Book 358 Miscellaneous Records, page 16 does not appear to affect the subject property. CR Book 366 of Miscellaneous Records, page 121 describes "the right to construct and maintain temporary snow fences upon sold lands and upon the lands adjacent thereto". The land described in said document lies 1500' feet westerly of Tract A.
 - 4.) Location of underground tanks per Doc. No. 2896409 are shown in their approximate location as shown in said Doc. No. 2896409.
 - 5.) Property is subject to terms, conditions, covenants, restrictions, obligations, provisions, and non-exclusive easements for building, parking and access as contained and described in the Easement Agreement, Doc. No. 4338212, which includes an easement permitting the existing location of the building known as 4530 West 77th Street on Tract C, Registered Land Survey No. 1218. Exhibit A attached to said document is illegible and, therefore, not located hereon.
 - 6.) Physical features shown hereon are as they appeared on May 25, 2012.

- UTILITY NOTES**
- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, looking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
 - 2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
 - 3.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for pre-construction location of utilities prior to any excavation.

FLOOD ZONE NOTE

- 1.) The subject property appears to lie within Other Areas Zone X (areas determined to be outside the 0.2% annual chance floodplain), and Other Flood Areas Zone X (areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot, or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual flood) per the National Flood Insurance Program, Flood Insurance Rate Map Community Panel No. 2701600451E and 2701600452E, dated September 2, 2004.

- ZONING NOTES**
- 1.) Zoning and setback information shown hereon is per information provided by First American Title Insurance Company on September 17, 2012.
 The subject property is zoned MDD-6 (Mixed Development District)
 - 2.) The setbacks for zone MDD-6 are:
 Building: Front Street = 35 feet
 Side Street = 35 feet
 Interior Side Yard = 20 feet
 Rear Yard = 35 feet
 Restrictions (i.e., building setbacks, height and bulk restrictions, etc.) shown hereon are based on information provided and are subject to interpretation. We cannot certify to a restriction on the basis of an interpretation or the opinion of another party as stated in note under "Table A" of "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys".
 - 3.) Surface parking: 1224 Regular
 22 Handicap
 1246 Total
 Please see individual buildings for underground parking counts.

AREAS

Areas:
 Gross = 744,518 square feet or 17.092 acres
 Net (excludes right of way) = 743,778 square feet or 17.075 acres

PLANNING DEPARTMENT
 JAN 22 2014
 CITY OF EDINA

SURVEYOR'S CERTIFICATION

To SFI Pentagon Park LLC, Pentagon North, LLC and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(b), 7(c), 7(b)(1), 8, 9, 11(b) and 13 of Table A thereof. The field work was completed on May 24, 2012.

Dated this 17th day of September, 2012

SUNDE LAND SURVEYING, LLC.
 Leonard F. Carlson, P.L.S. Minn. Lic. No. 44890

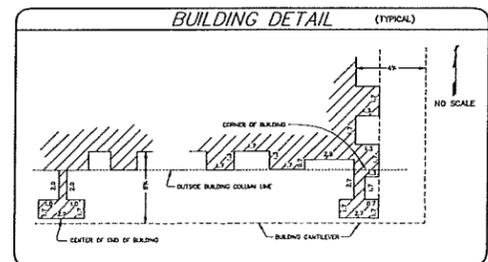
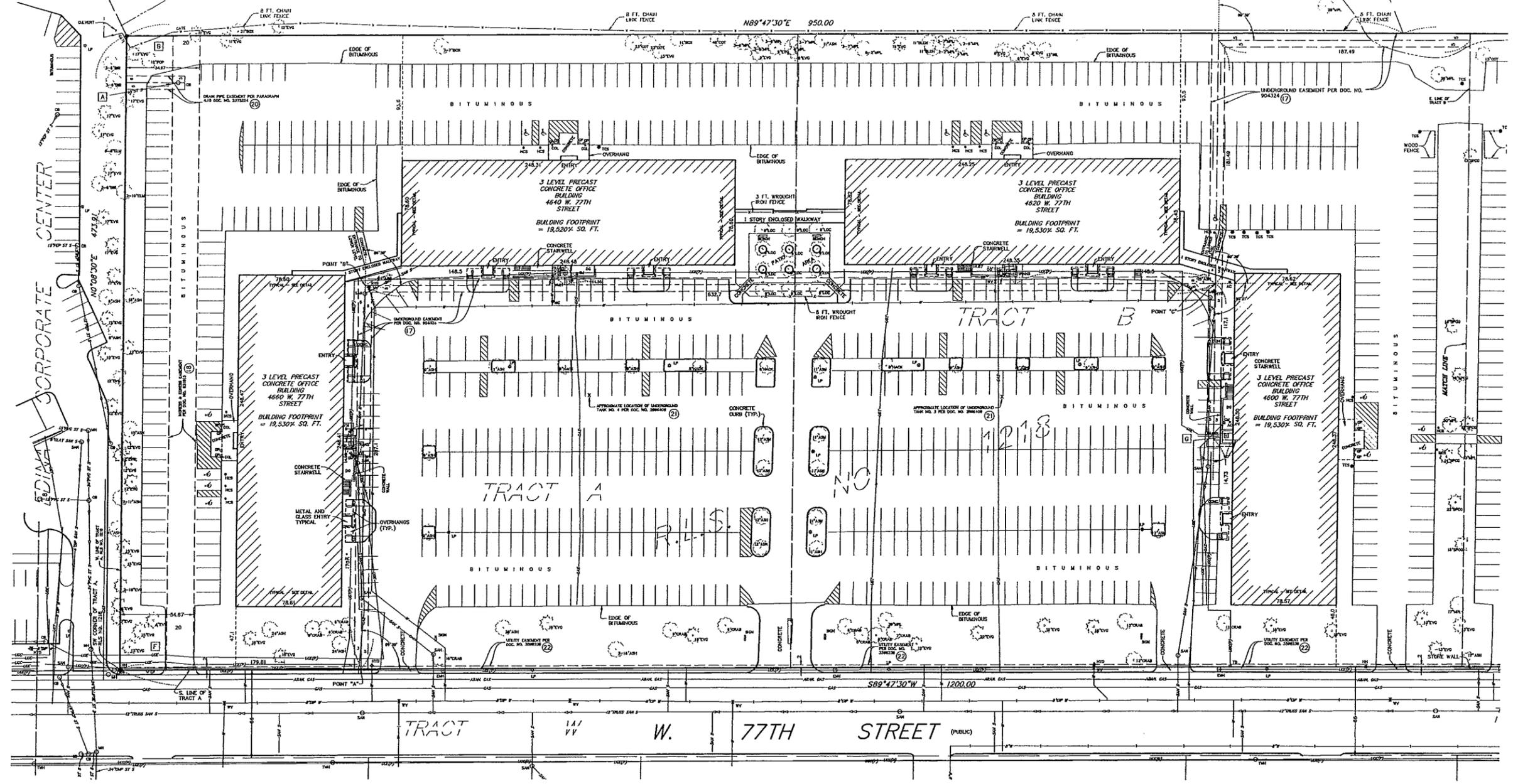
Client name change	SMT	09/19/2012
Certification name change, title commitment	SMT	09/17/2012
Per comments	SMT	06/21/2012
Update and recertify STAR portion	SMT	05/25/2012
Update and recertify	SMT	05/23/2012
Change certification names	SMT	03/24/2010
Update and recertify portions of property	SMT	03/12/2010
Update with topography and utilities	SMT	05/29/2007
ALTA update over portions of property	TSS	11/14/2006
ALTA update over portions of property	TSS	11/09/2006
Per comments		10/07/2003
Update and recertify		09/30/2003
Re. Lawyers Title Insurance Commitment		12/01/1999
Add names		11/19/1999
Revised per client		11/15/1999
Update and recertify		10/11/1999
Add information & names to certification		01/22/1998
Update and recertify		12/23/1997
Update and recertify		08/29/1990
Revision	By	KLR
Survey originally dated July 25, 1990		

Drawing Title:
ALTA/ACSM LAND TITLE SURVEY FOR:
Pentagon North, LLC
 PENTAGON OFFICE PARK

SUNDE LAND SURVEYING
 9001 East Hennepin Avenue (10th & 11th)
 Minneapolis, Minnesota 55425-1455
 952-861-7430 (Fax: 952-868-9330)
 www.sunde.com

Project: 08-311-1022 D/P/E: 8/22/12 Ref: 412/78 Date: 09/25/2012
 Township: 28 Range: 24 Section: 11
 File: 8831022000R3.dwg Sheet: 1 of 3

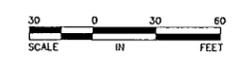
EDINA CORPORATE CENTER



PLANNING DEPARTMENT
 JAN 22 2014
 CITY OF EDINA



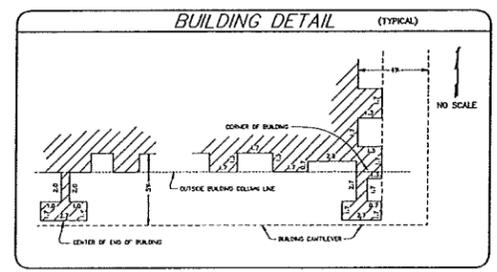
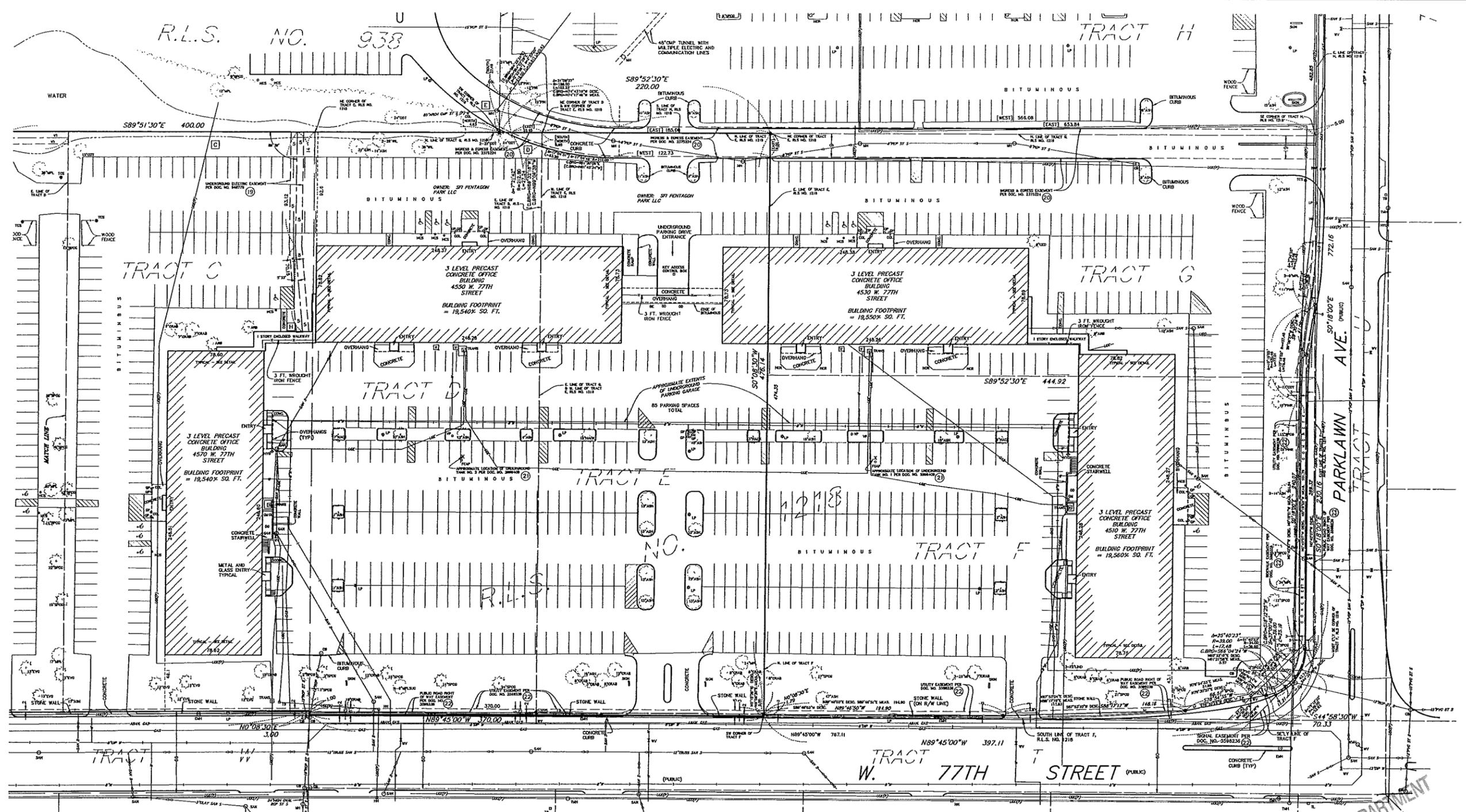
Dated this 19th day of September, 2012
 Certified by Leonard F. Carlson
 Leonard F. Carlson, P.L.S. Min. Lic. No. 44890



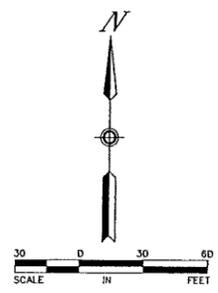
SUNDE LAND SURVEYING
 5001 East Hennepin Avenue (2nd) • Suite 119
 Brooklyn, Minnesota 55427-3433
 952-681-2424 Fax: 952-680-9228
 www.sunde.com

R.L.S. NO. 938

TRACT H



Dated this 19th day of September, 2012
 Certified by: *Leonard F. Carlson*
 Leonard F. Carlson, P.L.S. Minn. Lic. No. 44890



PLANNING DEPARTMENT
 JAN 22 2014
 CITY OF EDINA

STEP 1

March 31, 2014

PRELIMINARY APPROVAL

- Land Use
- Densities
- Building Height

STEP 2

Timeline = Market Driven

FINAL APPROVAL

- Infrastructures
- Architectural Massing & Articulation
- Building Materials
- Setbacks
- Landscape
- Planning & Art
- Site Specific

PLANNING DEPARTMENT
JAN 22 2014
CITY OF EDINA

EXHIBIT 1

DAMON **FARBER** ASSOCIATES
BOB CLOSE STUDIO, LLC

PUD PROCESS DIAGRAM
EDINA, MN - JANUARY 22, 2014

PENTAGON PARK





EXHIBIT 2
DAMON **FARBER** ASSOCIATES
BOB CLOSE STUDIO, LLC

PLANNING DEPARTMENT
JAN 22 2014
CITY OF EDINA

AREA CONTEXT
EDINA, MN - JANUARY 22, 2014

PENTAGON PARK





EXHIBIT 3
DAMON **FARBER** ASSOCIATES
BOB CLOSE STUDIO, LLC

EXISTING CONDITIONS
EDINA, MN - JANUARY 22, 2014

PENTAGON PARK



PLANNING DEPARTMENT
JAN 29 2014



EXHIBIT 4

DAMON **FARBER** ASSOCIATES
BOB CLOSE STUDIO, LLC

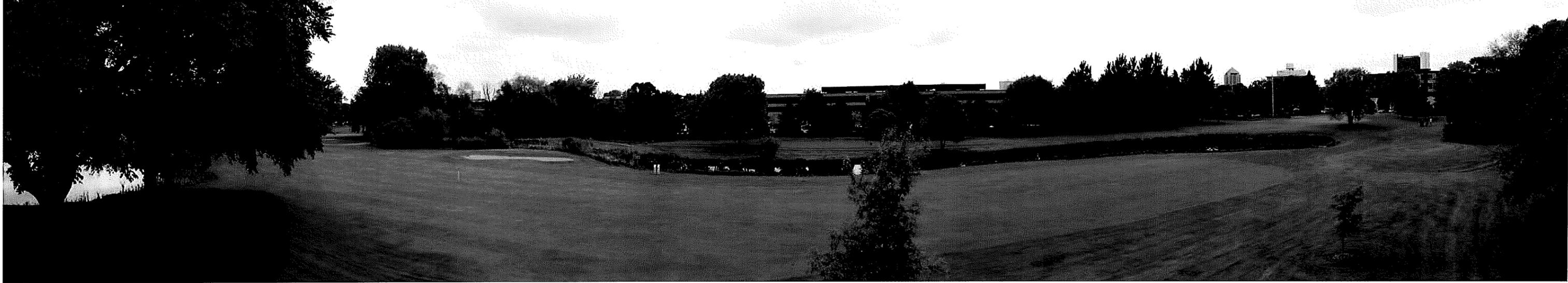
EXISTING CONDITIONS

EDINA, MN - JANUARY 22, 2014

PENTAGON PARK



1 LOOKING SE TOWARDS PENTAGON PARK FROM FRED RICHARDS GOLF COURSE



2 LOOKING SOUTH TOWARDS PENTAGON PARK FROM FRED RICHARDS GOLF COURSE



3 LOOKING SW TOWARDS PENTAGON PARK FROM FRED RICHARDS GOLF COURSE, FAR EAST SIDE OF PROPERTY



IMAGE LOCATIONS



EXHIBIT 5

DAMON **FARBER** ASSOCIATES
BOB CLOSE STUDIO, LLC

EXISTING CONDITIONS
EDINA, MN - JANUARY 22, 2014

PENTAGON PARK



WEST PROPERTY BOUNDARY



EXISTING PEDESTRIAN SPACE



EXISTING SEAM - NE CORNER OF PROPERTY



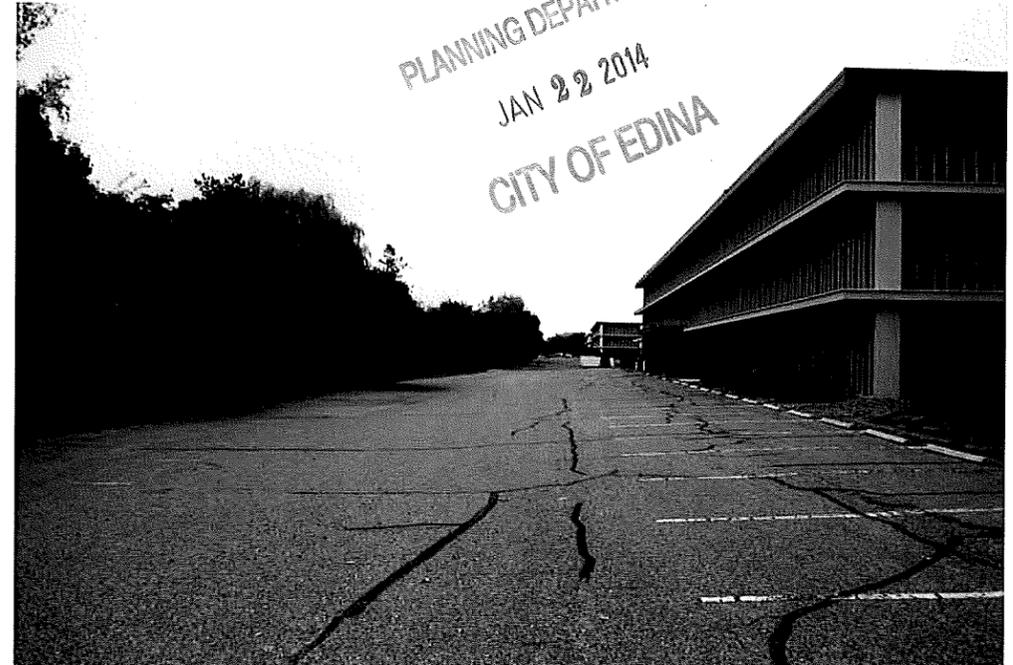
77TH STREET LOOKING EAST TOWARD PENTAGON PARK



EXISTING PARKING LOT



EXISTING SEAM - NORTH SIDE OF PROPERTY



PLANNING DEPARTMENT
JAN 22 2014
CITY OF EDINA

EXHIBIT 6

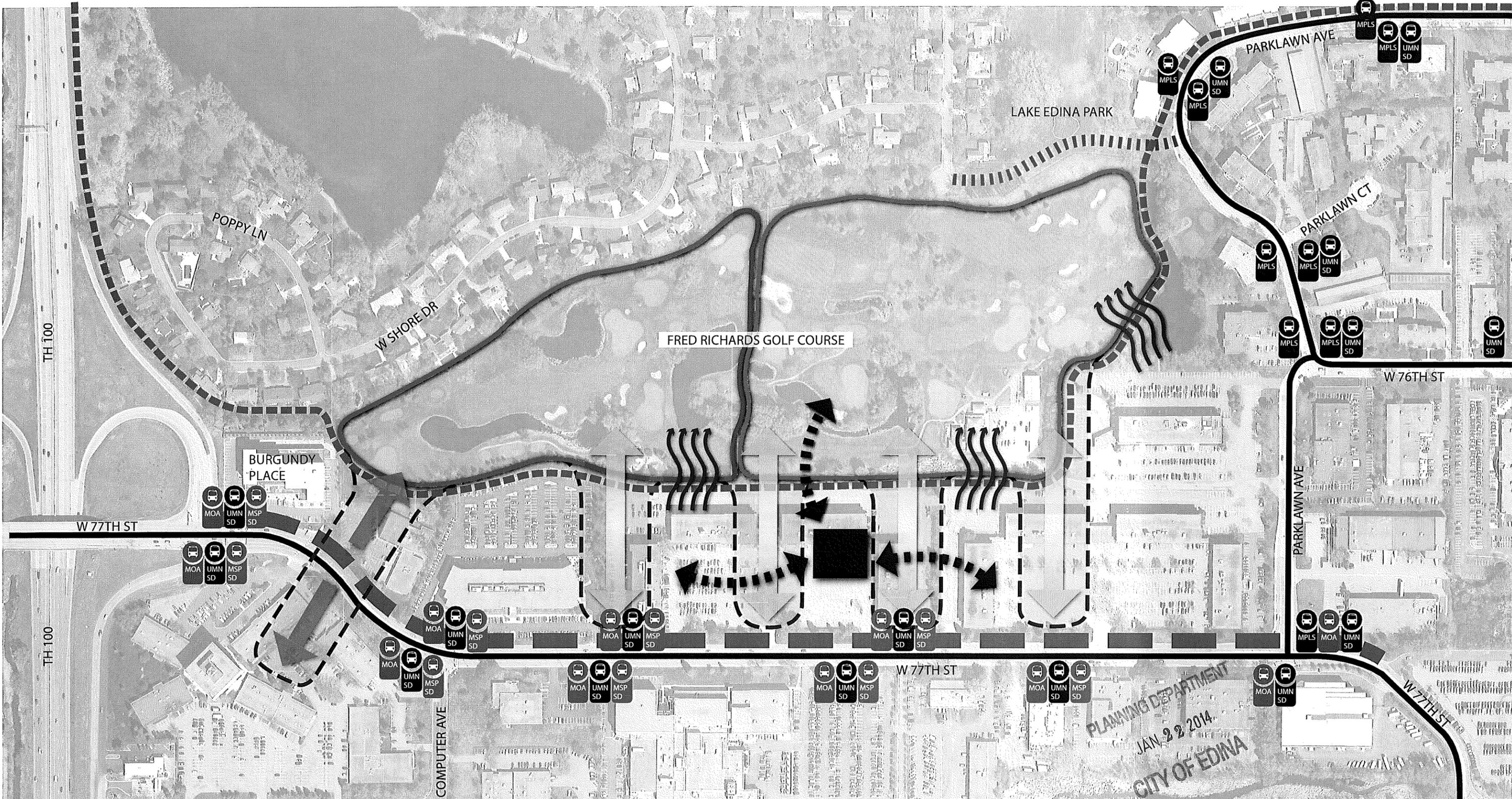
DAMON **FARBER** ASSOCIATES
BOB CLOSE STUDIO, LLC

EXISTING CONDITIONS

EDINA, MN - JANUARY 22, 2014

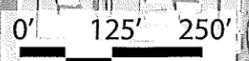
PENTAGON PARK





PLANNING DEPARTMENT
 JAN 22 2014
 CITY OF EDINA

INTEGRATED STORMWATER	IMPROVE PARK ACCESS	PASSIVE RECREATION	BUS STOPS	578 - EXPRESS - EDINA - SOUTHDALE - MPLS
REGIONAL TRAIL	CONNECT TO GREEN SPACE	ACTIVE RECREATION	587 - EXPRESS - EDINA - VALLEY VIEW RD - MPLS	540 - EXPRESS - RICHFIELD - 77TH - MOA
SHARED PARKING	PEDESTRIAN FRIENDLY 77TH	BUS TRANSIT	NEW TRAIL LINK	

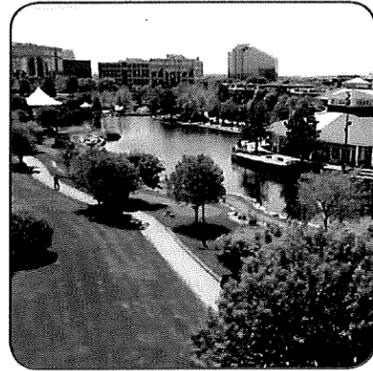




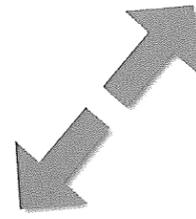
GREEN STREETS



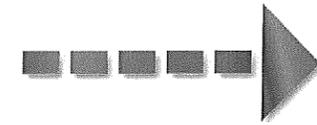
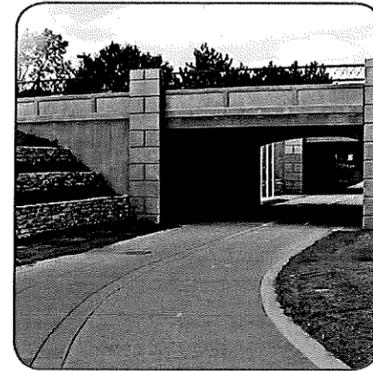
INTEGRATED STORMWATER



PEDESTRIAN FRIENDLY 77TH



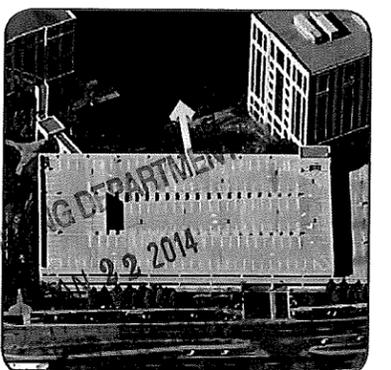
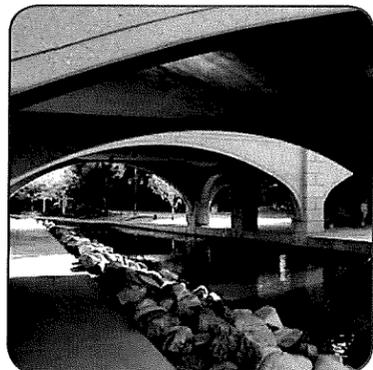
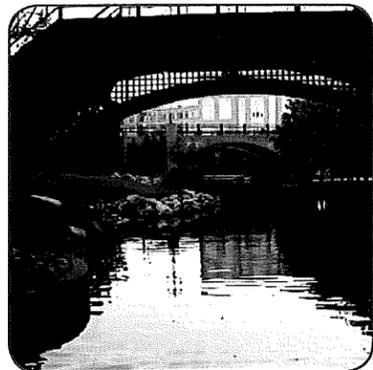
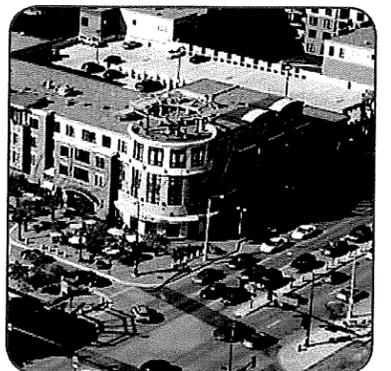
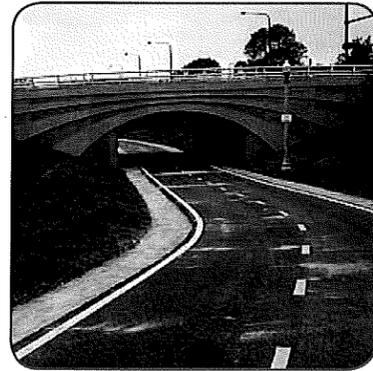
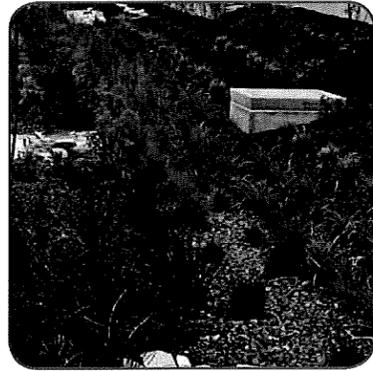
CONNECT WEST TO EAST

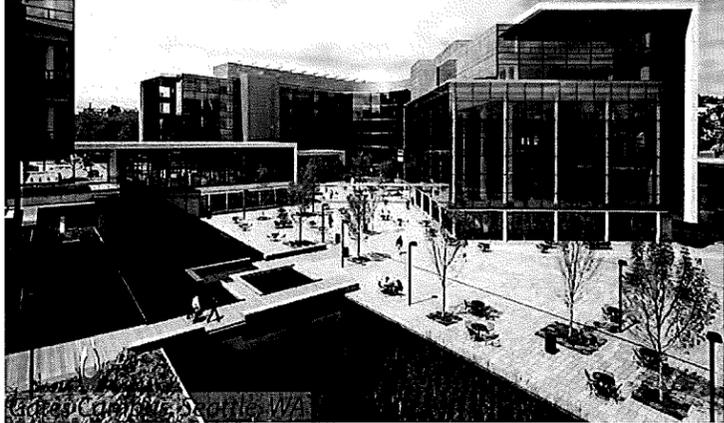
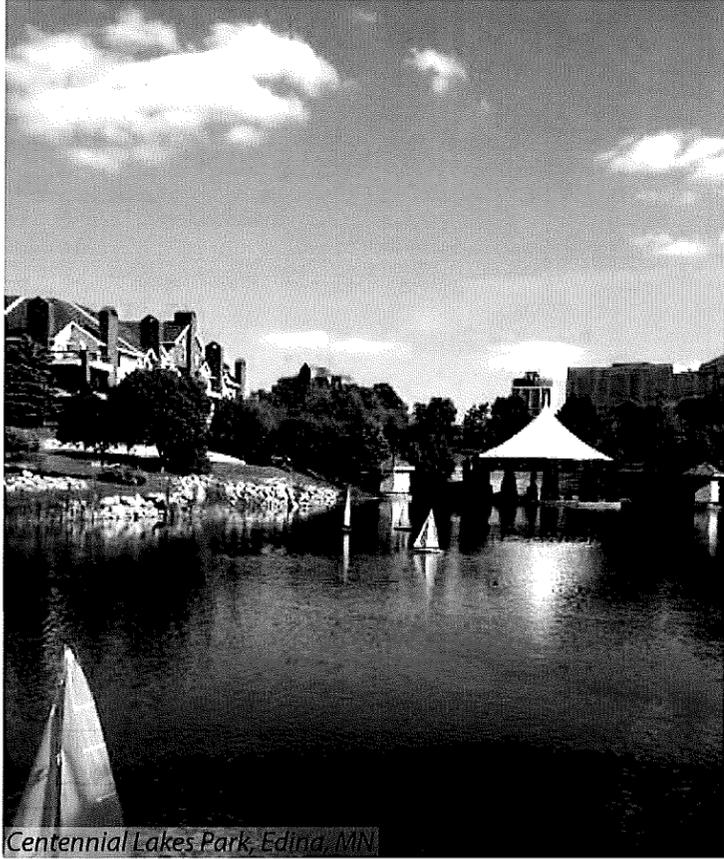
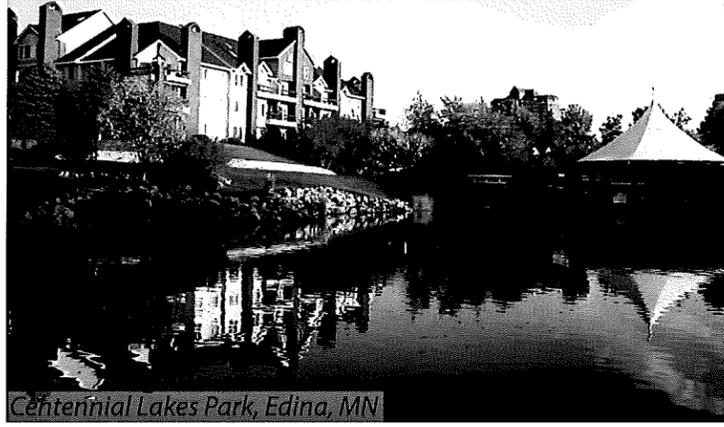
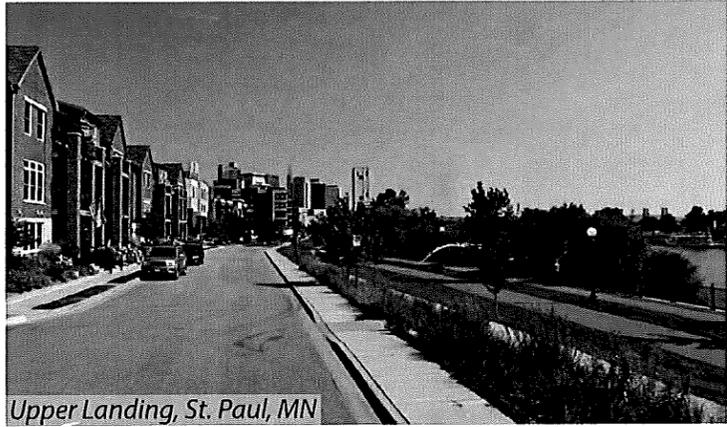
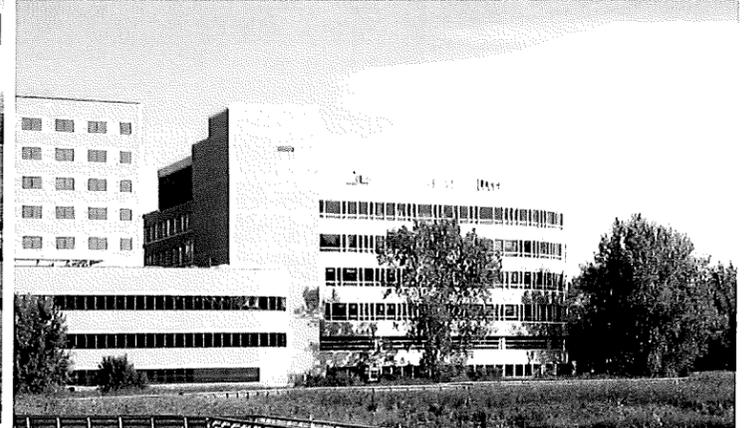
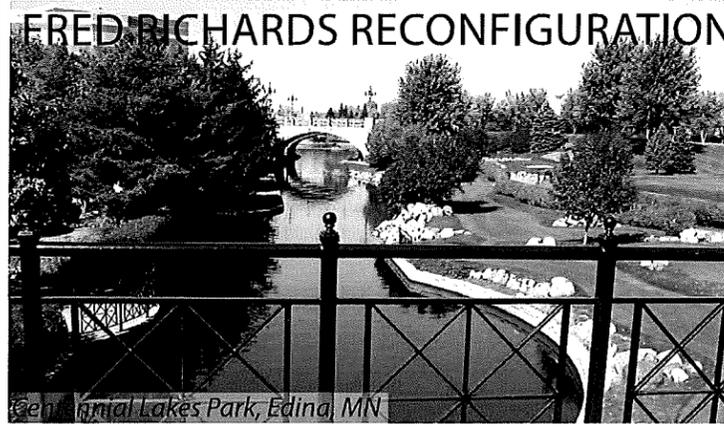
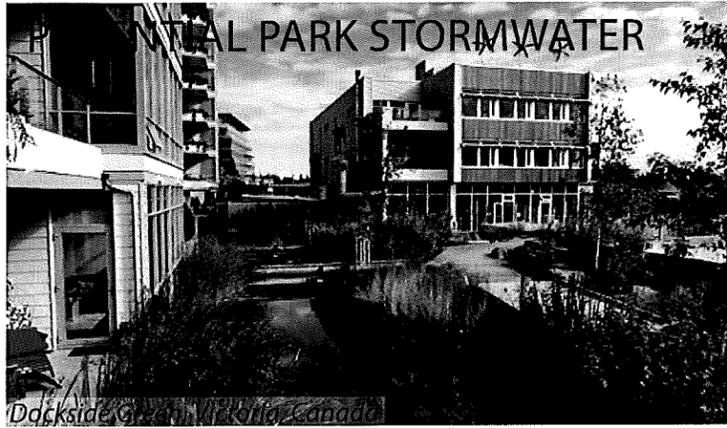


MULTIMODAL CONNECTIONS



SHARED PARKING





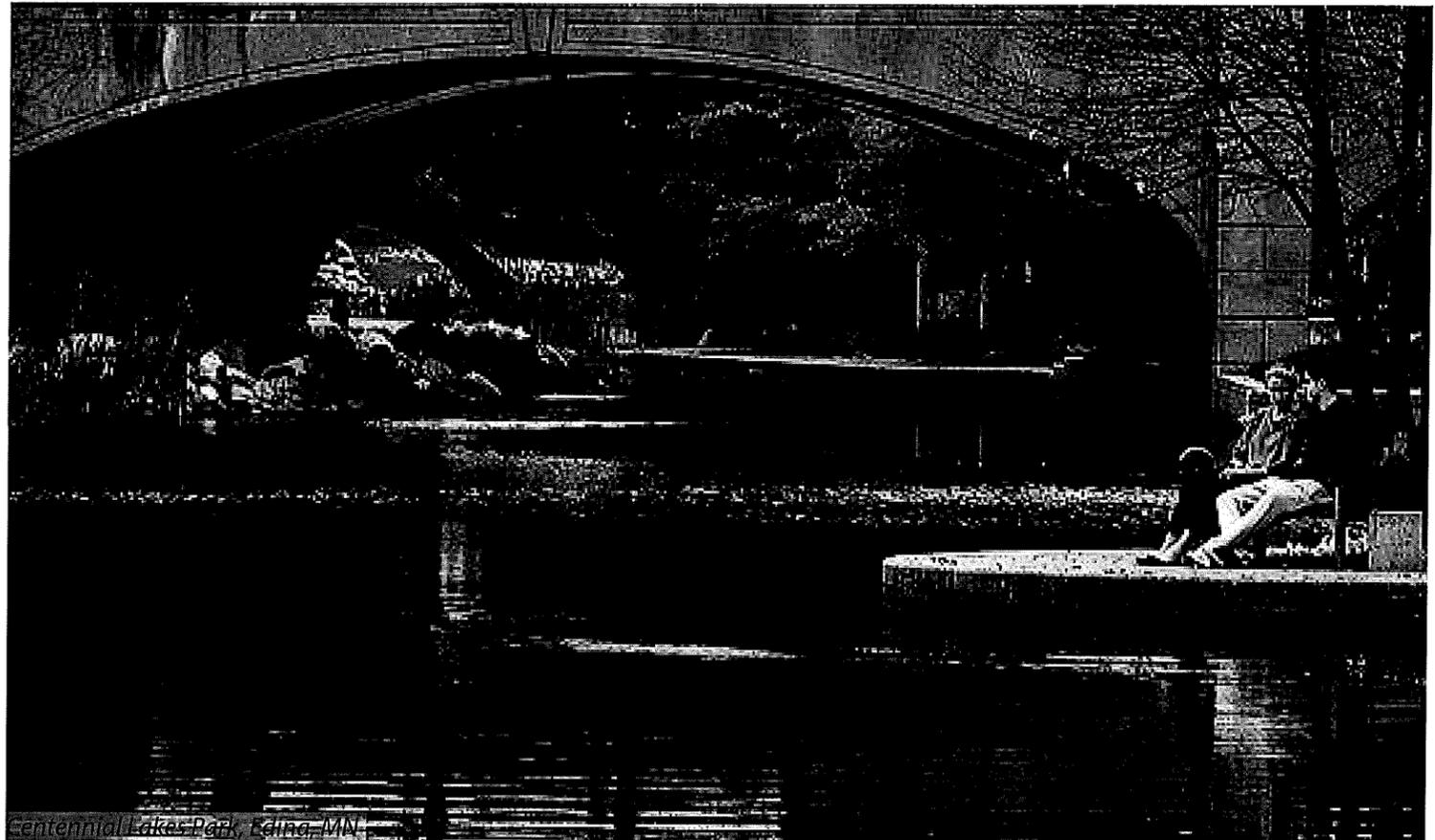
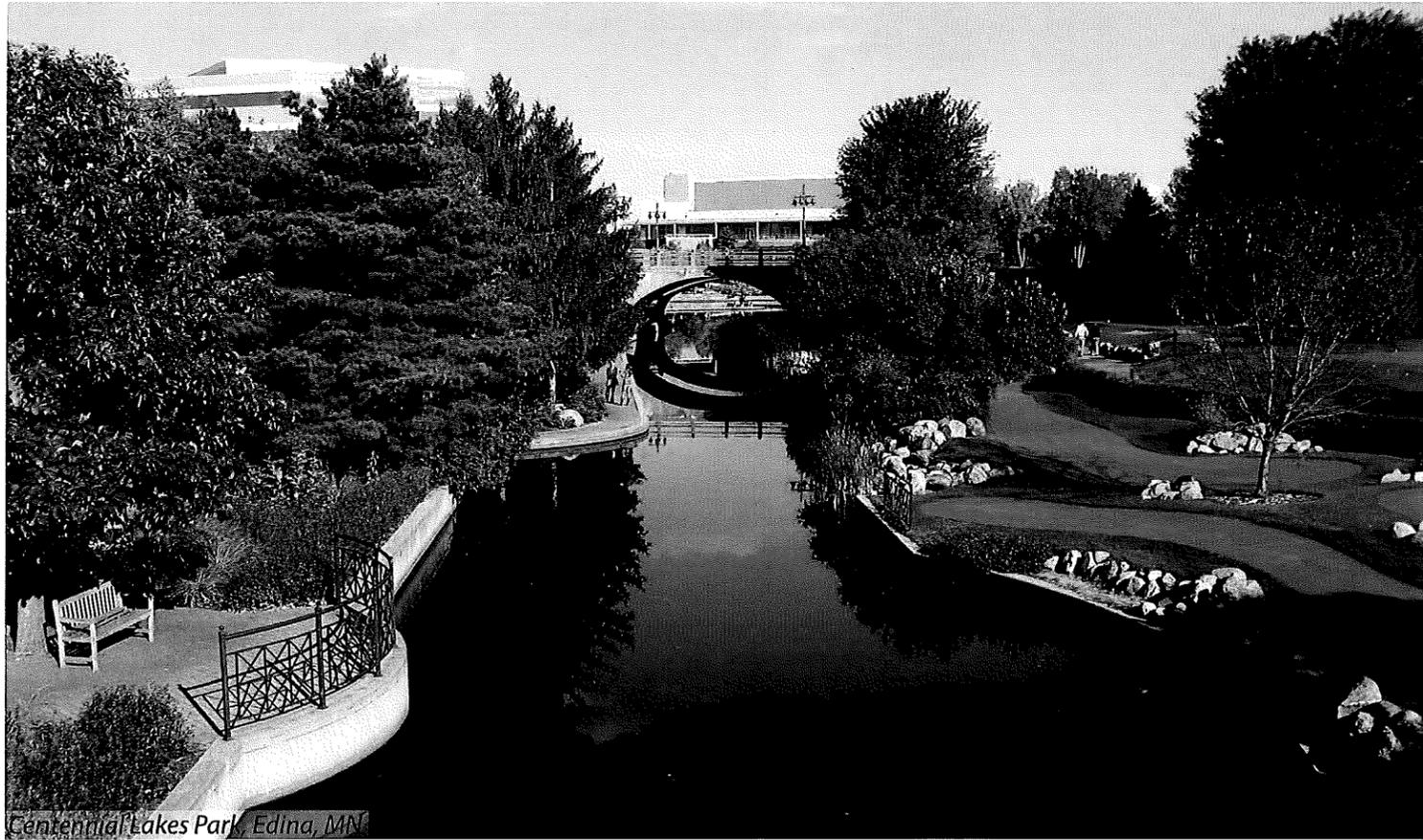


EXHIBIT 10

DAMON **FARBER** ASSOCIATES
BOB CLOSE STUDIO, LLC

77TH AVENUE BRIDGE
EDINA, MN - JANUARY 22, 2014

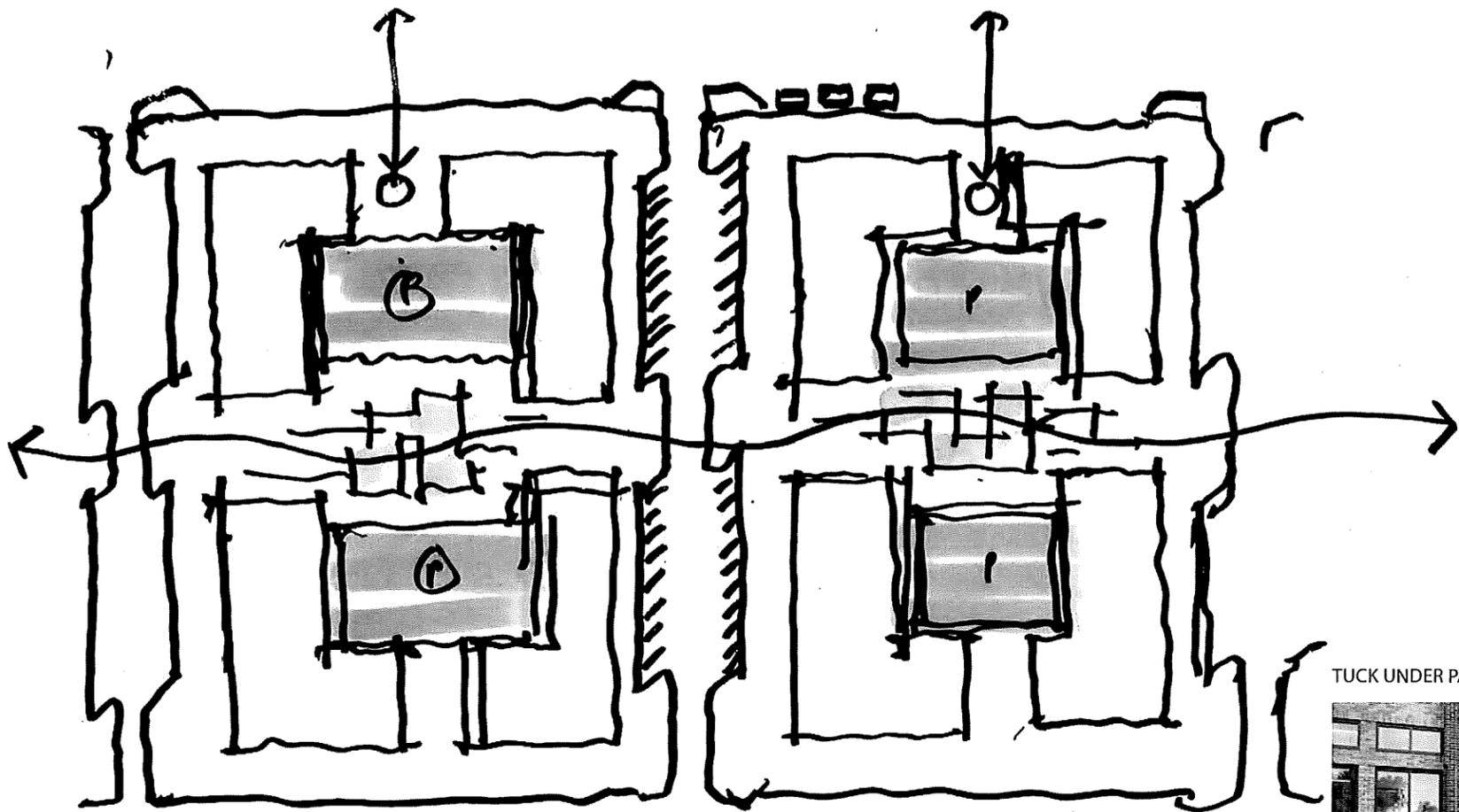
PENTAGON PARK



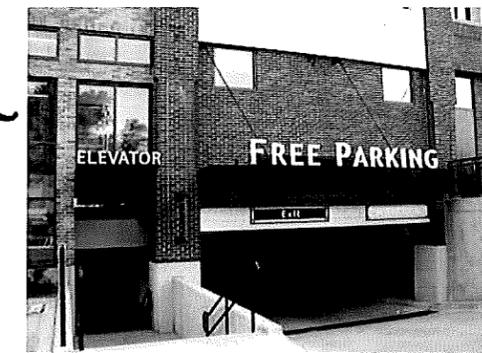
THREE PRONGED APPROACH TO PARKING:

1. Below-grade (1 level)
2. "Embedded" deck (maintain great addresses at perimeter)
3. Street Parking
 - Parallel
 - Diagonal
 - Parking Bays

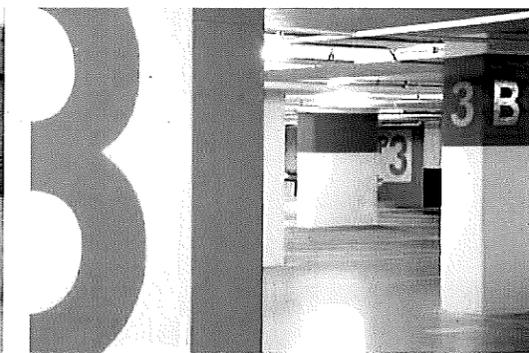
PLANNING DEPARTMENT
 JAN 22 2014
 CITY OF EDINA



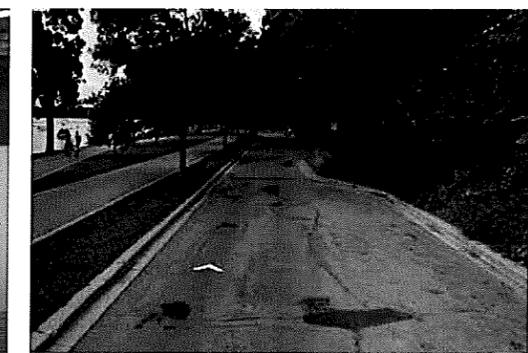
TUCK UNDER PARKING



TUCK UNDER PARKING



STREET PARKING - PARKING BAYS AT FRED RICHARDS



STREET PARKING - DIAGONAL



STREET PARKING - DIAGONAL



STREET PARKING - PARALLEL



STREET PARKING - PARALLEL



STREET PARKING - PARALLEL

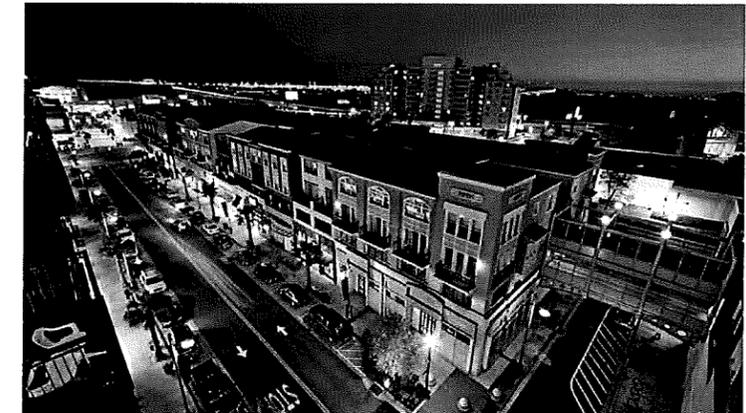


EXHIBIT 11

DAMON **FARBER** ASSOCIATES
 BOB CLOSE STUDIO, LLC

PARKING STRATEGIES
 EDINA, MN - JANUARY 22, 2014

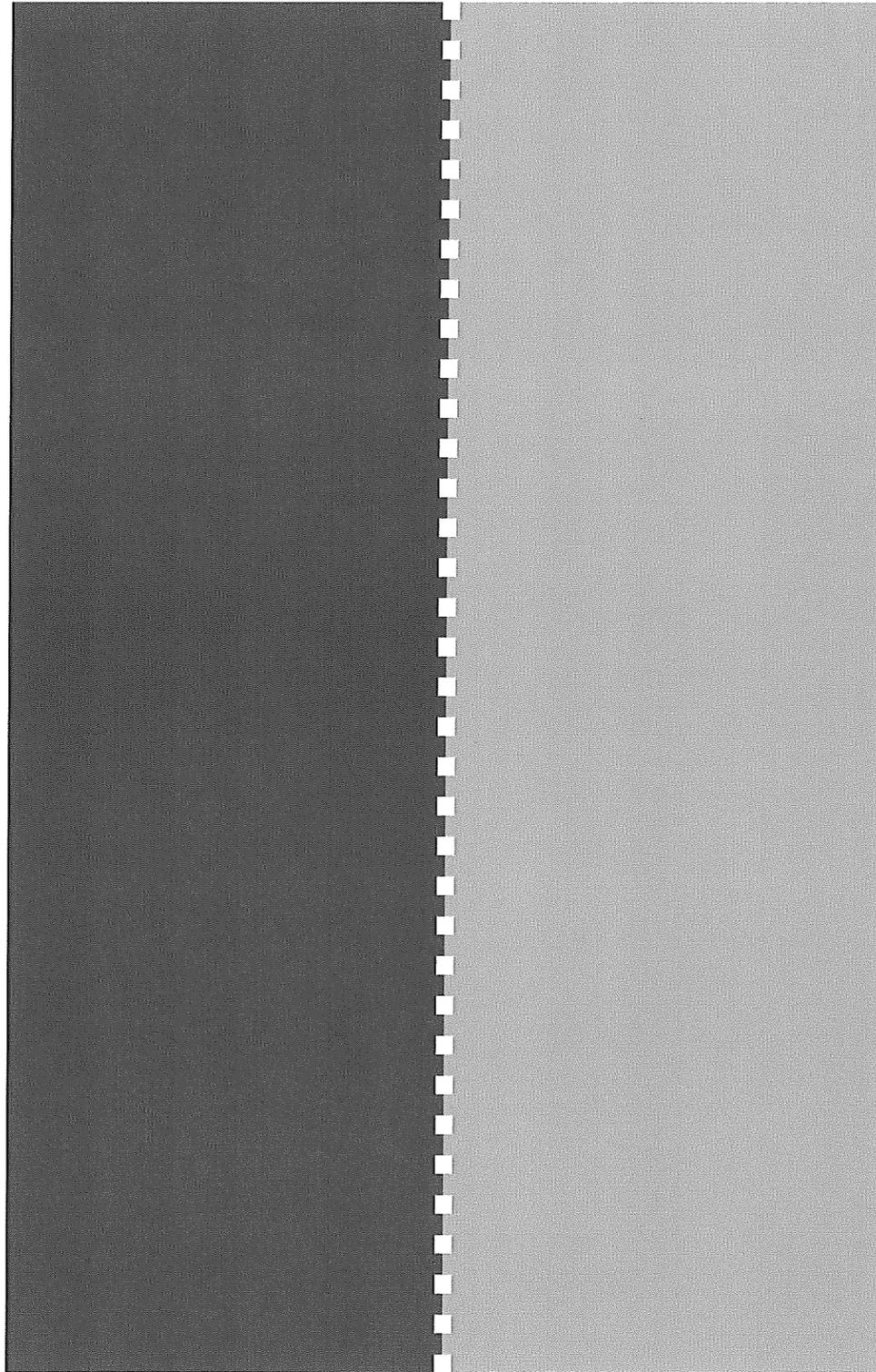
PENTAGON PARK



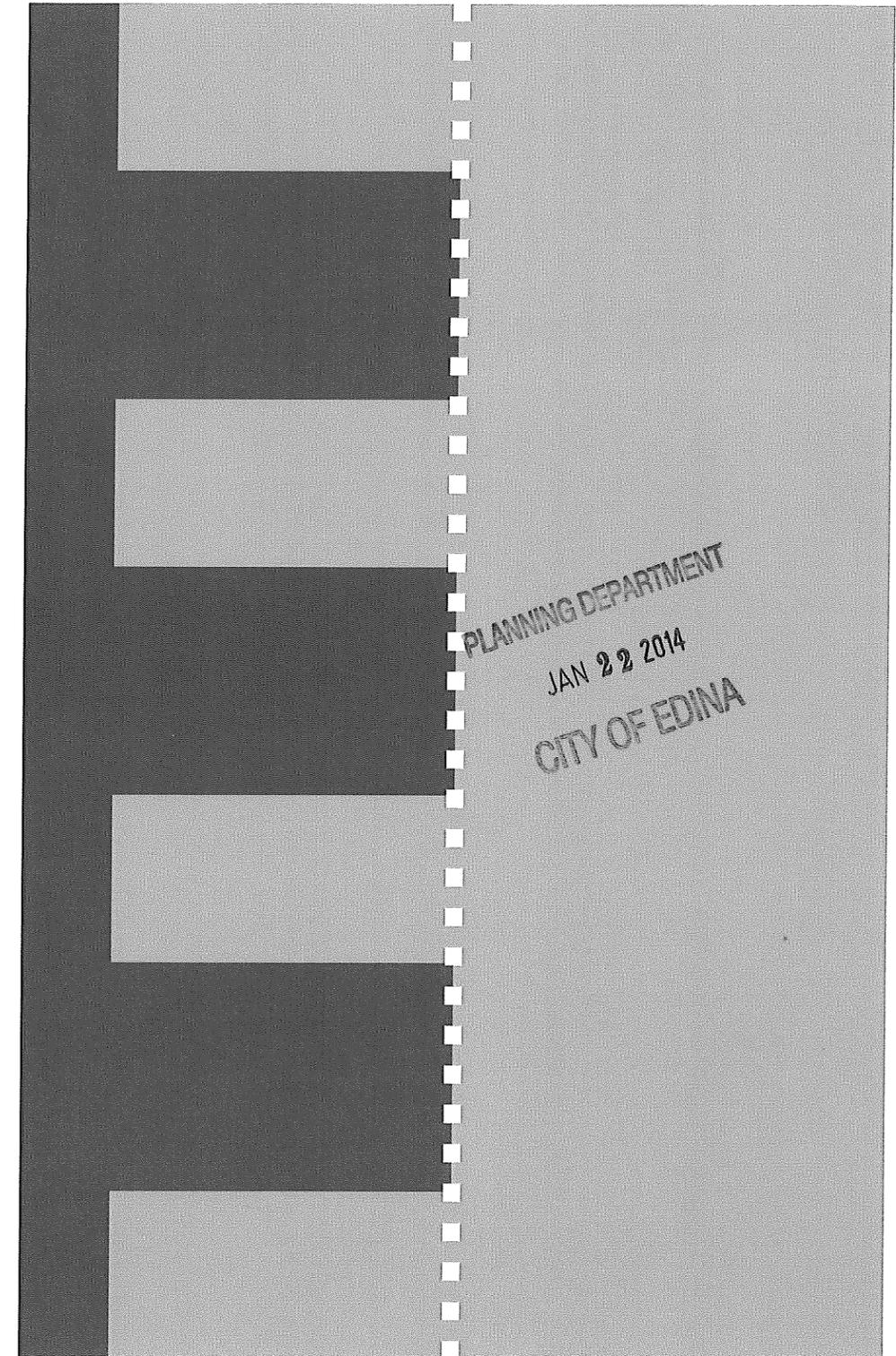
EXISTING



EXISTING RELATIONSHIP



GOAL



PLANNING DEPARTMENT
JAN 22 2014
CITY OF EDINA



Key Statistics

Land Use

South Parcel: Hotel - 375 - 425 Rooms
 Office - 500,000 GSF
 Retail - 25,000 GSF
 North Parcel: Office - 900,000 GSF
 Retail - 15,000 GSF
 Walsh Tile: Retail/Medical/Office - 20,000 GSF

Structured Parking

A 1,400 STALLS
 B 1,400 STALLS
 C 800 STALLS
 D 800 STALLS
 E 800 STALLS
 F 1,200 STALLS

TH 100

LAKE EDINA PARK

FRED RICHARDS GOLF COURSE

PARKLAWN AVE
 PARKLAWN CT

W 76TH ST

BURGUNDY PLACE

WALSH TITLE

BARR ENGINEERING

VIKING DR

COMPUTER AVE

W 77TH ST

- Regional Trail
- - - Trail Connection
- ▬ Parkway
- ▬ 77th
- ▬ Supporting Streets
- ▬ Green Streets
- ▬ Internal Streets
- ▬ Parking
- Building
- ▬ Water
- ▬ Open Space
- ▬ Underpass
- ▨ Transit Shelter
- Monuments

PLANNING DEPARTMENT
 JAN 22 2014
 CITY OF EDINA

0' 250' 500'

EXHIBIT 13

DAMON **FARBER** ASSOCIATES
 BOB CLOSE STUDIO, LLC

PRELIMINARY PLANNING COMMISSION **OPTION 1**
 EDINA, MN - JANUARY 22, 2014

PENTAGON PARK



Key Statistics

Land Use

South Parcel: Hotel - 375 - 425 Rooms
 Office - 500,000 GSF
 Retail - 25,000 GSF
 North Parcel: Office - 900,000 GSF
 Retail - 15,000 GSF
 Walsh Tile: Retail/Medical/Office - 20,000 GSF

Structured Parking

A 1,400 STALLS
 B 1,400 STALLS
 C 800 STALLS
 D 800 STALLS
 E 800 STALLS
 F 1,200 STALLS

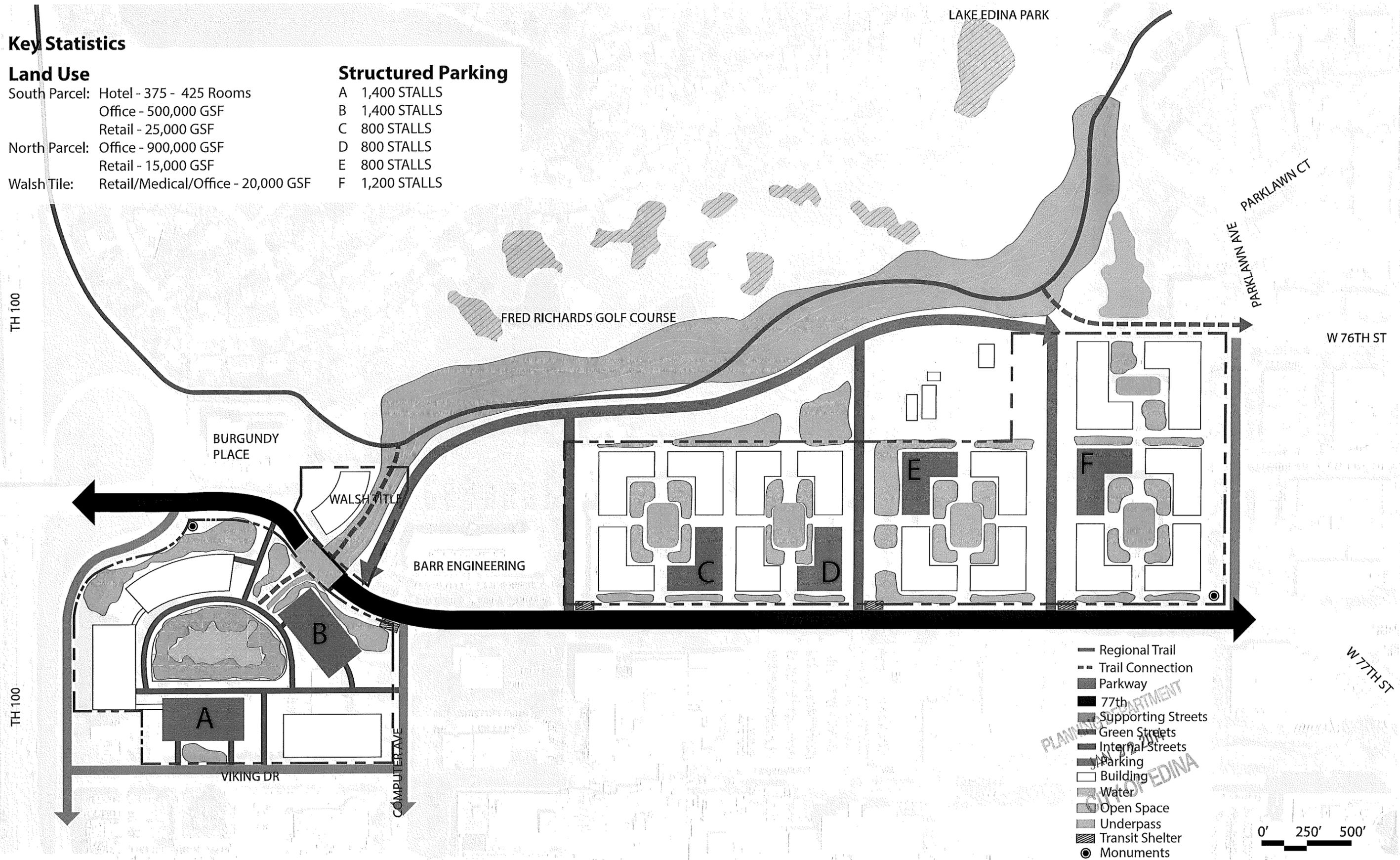


EXHIBIT 14



Key Statistics

Land Use

South Parcel: Hotel - 375 - 425 Rooms
 Office - 500,000 GSF
 Retail - 25,000 GSF

North Parcel: Office - 900,000 GSF
 Retail - 15,000 GSF
 Retail/Medical/Office - 20,000 GSF

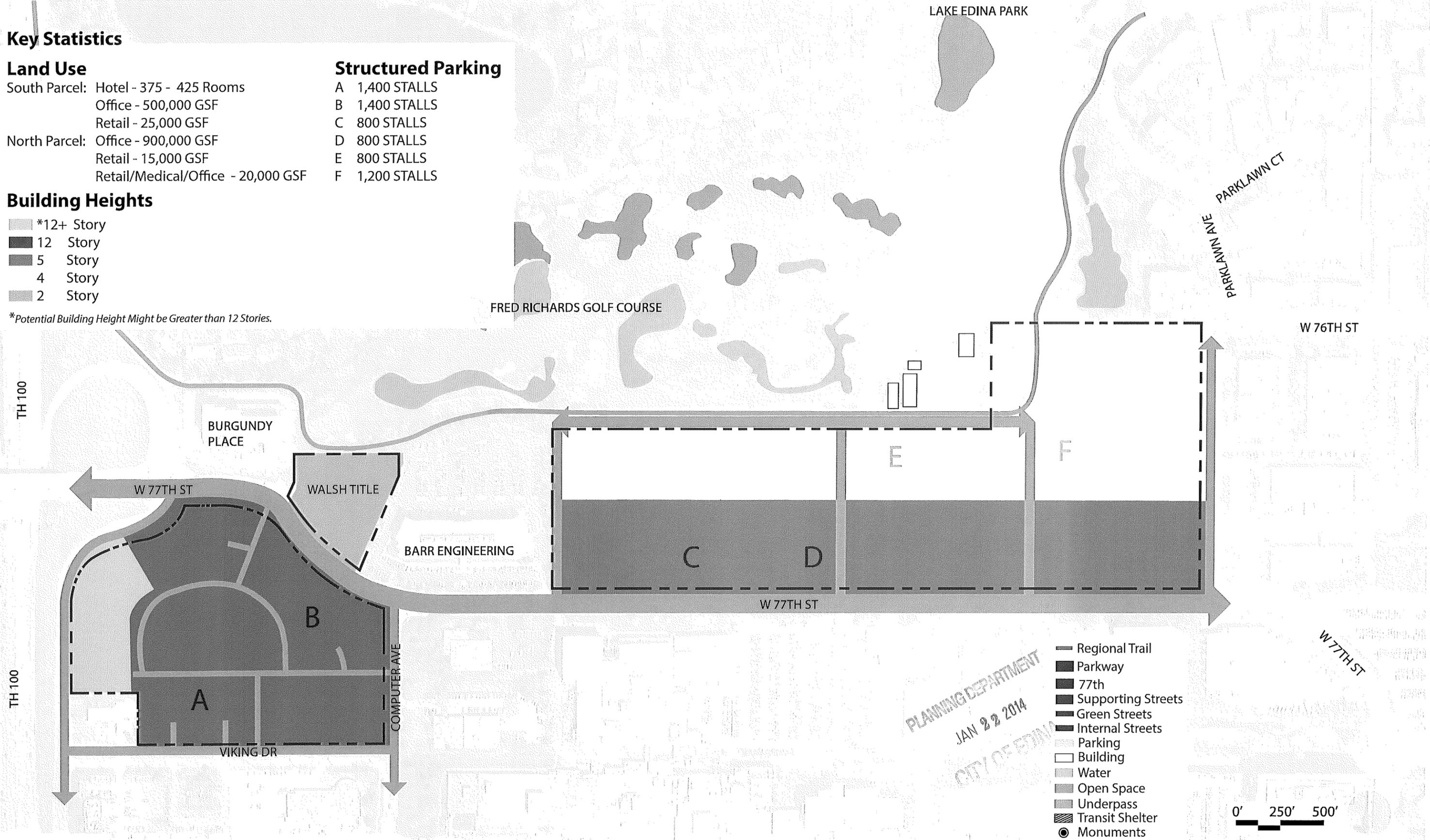
Structured Parking

A 1,400 STALLS
 B 1,400 STALLS
 C 800 STALLS
 D 800 STALLS
 E 800 STALLS
 F 1,200 STALLS

Building Heights

- *12+ Story
- 12 Story
- 5 Story
- 4 Story
- 2 Story

*Potential Building Height Might be Greater than 12 Stories.



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 CITY OF EDINA

EXHIBIT 15

DAMON **FARBER** ASSOCIATES
 BOB CLOSE STUDIO, LLC

BUILDING HEIGHTS
 EDINA, MN - JANUARY 22, 2014

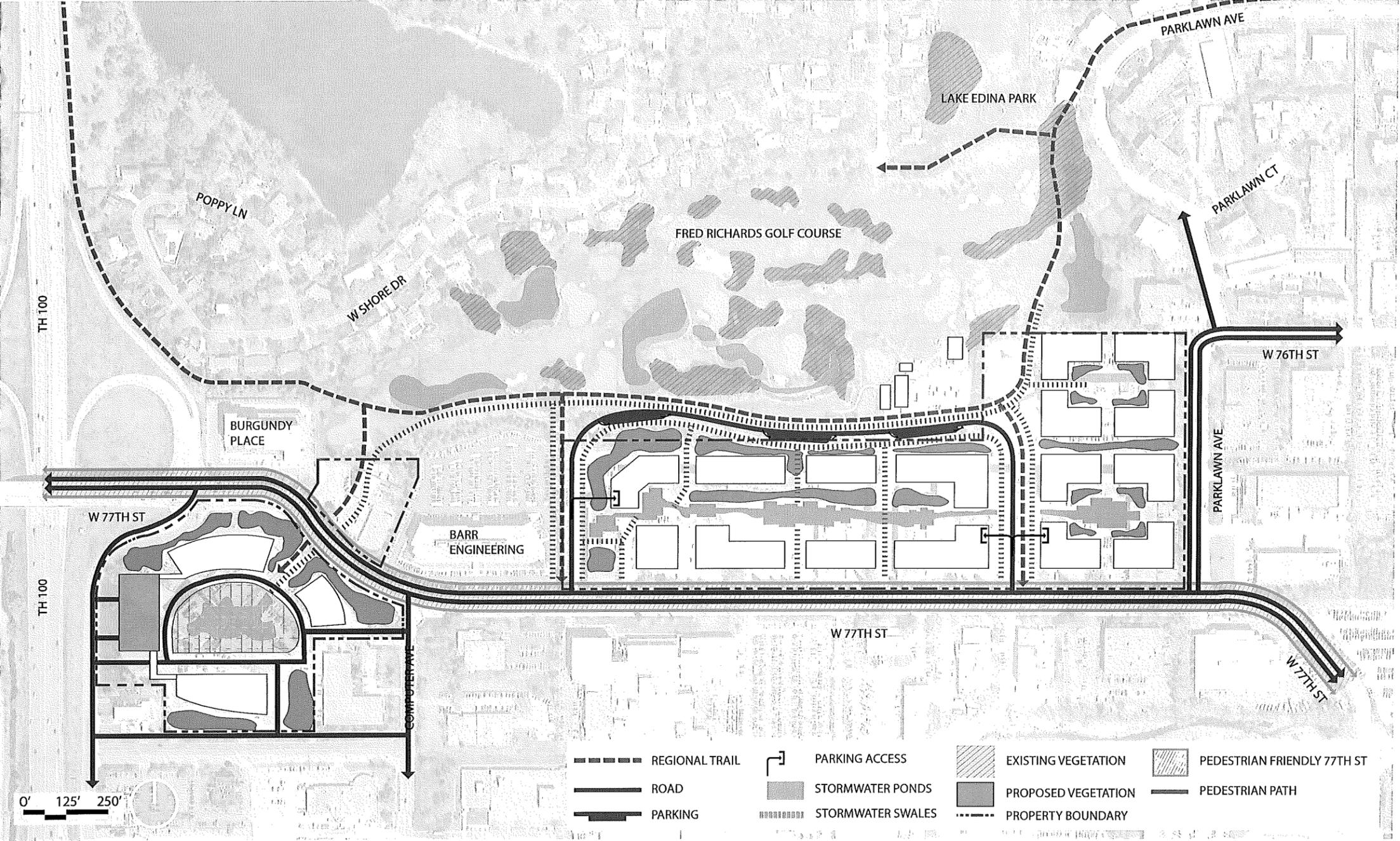
PENTAGON PARK



DOCKSIDE GREEN CONCEPT

- A continuous linear stormwater amenity connects the development parcels
- A two-way parkway with parking bays provides a loop around the development, connecting from W 77th St
- 'Natural vegetation' is planted adjacent to stormwater ponds and buildings
- A regional trail is located north of the site, with three connections from trail to W 77th St
- W 77th St to be pedestrian friendly with trees, stormwater management, and improved sidewalks
- Multiple parking strategies - below-grade, on-street and architecturally integrated with buildings

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BIRDSEYE OF DOCKSIDE GREEN LOCATED IN VICTORIA, BRITISH COLUMBIA



DOCKSIDE GREEN STORMWATER & PEDESTRIAN BRIDGE



LUSH VEGETATION AT DOCKSIDE GREEN



STORMWATER AMENITY INTEGRATES BUILDINGS AND CIRCULATION



EXHIBIT 16

DAMON **FARBER** ASSOCIATES
 BOB CLOSE STUDIO, LLC

DOCKSIDE GREEN CONCEPT DIAGRAM

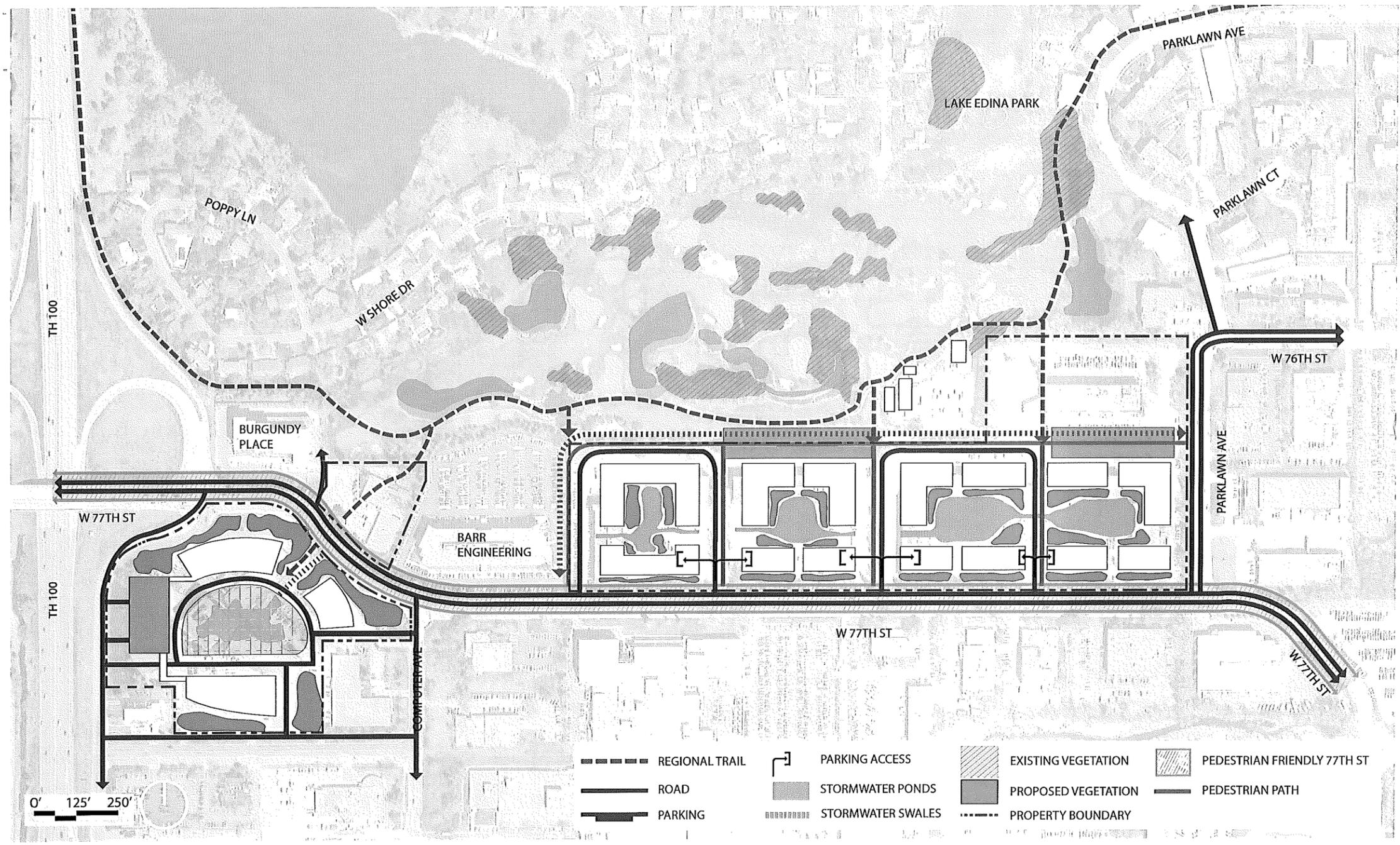
EDINA, MN - JANUARY 22, 2014

PENTAGON PARK



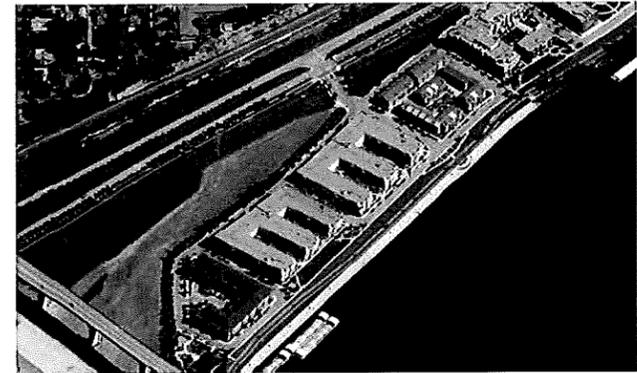
THE UPPER LANDING CONCEPT

- Two road loops off of W 77th St - providing connectivity without through traffic
- Small stormwater ponds are located on the interior of the development buildings
- Public parking is located between the trail and development
- Flexibility in block size (market-driven)
- A regional trail is located north of the site between the park and development
- W 77th St to be pedestrian friendly with trees, stormwater management, and improved sidewalks
- Multiple parking strategies - below-grade, on-street and architecturally integrated with buildings



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AERIAL OF THE UPPER LANDING IN ST PAUL, MN



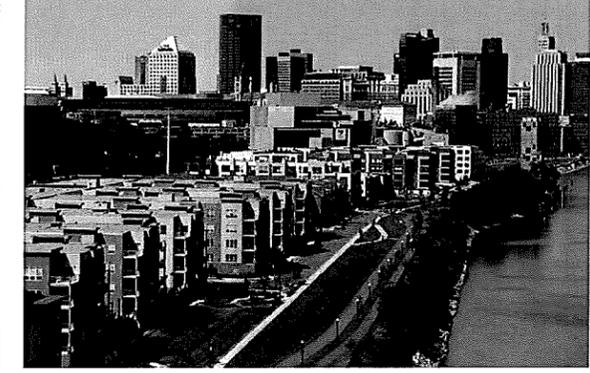
STORMWATER SWALE BETWEEN THE UPPER LANDING AND TRAILS



ROADWAY ADJACENT TO THE UPPER LANDING



LOOP STREETS ALTERNATE WITH STORMWATER FEATURES



PATHWAY BETWEEN BUILDINGS

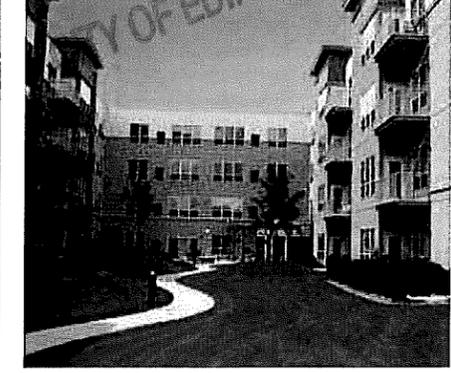


EXHIBIT 17

DAMON **FARBER** ASSOCIATES
BOB CLOSE STUDIO, LLC

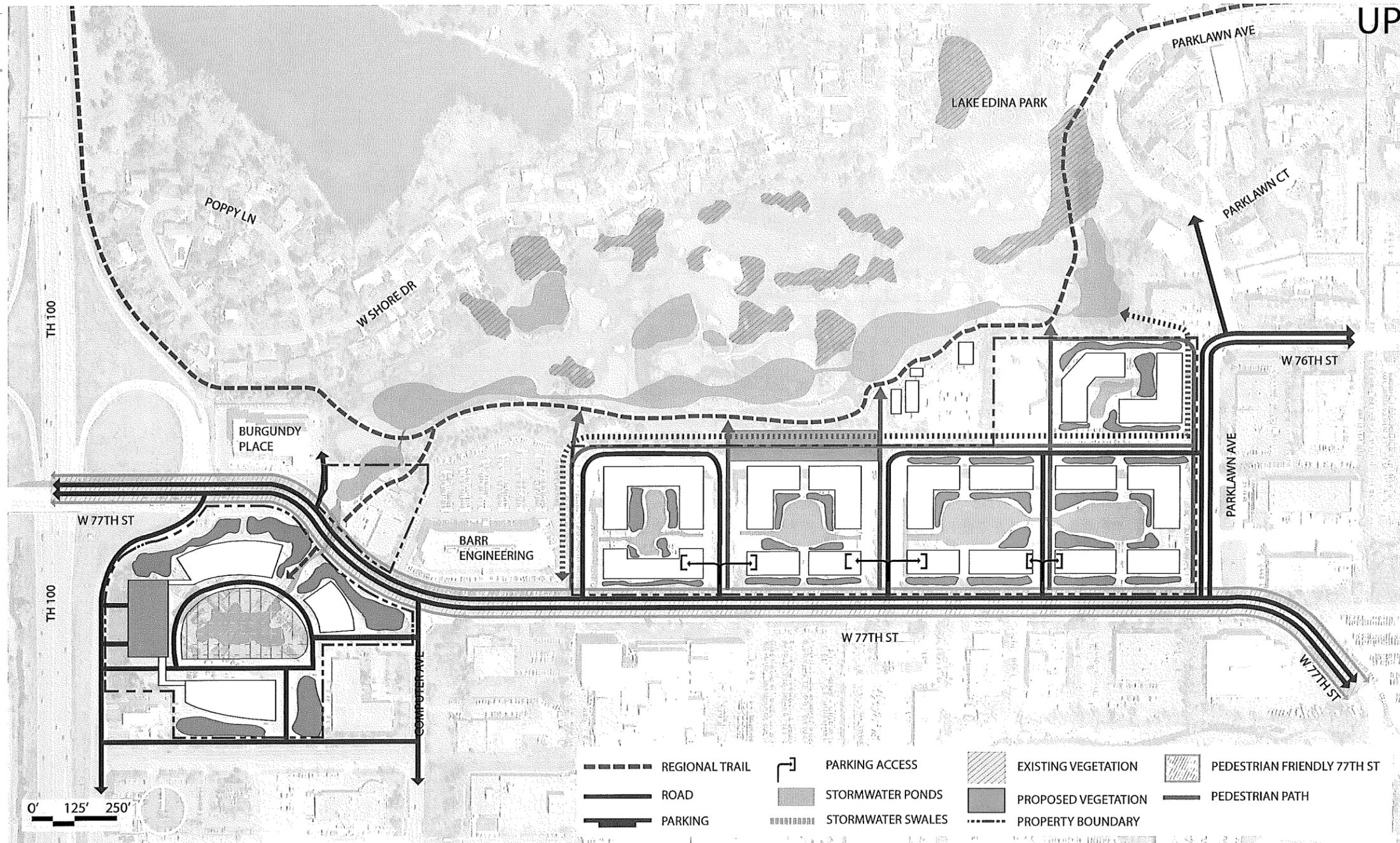
THE UPPER LANDING CONCEPT DIAGRAM

EDINA, MN - JANUARY 22, 2014

PENTAGON PARK



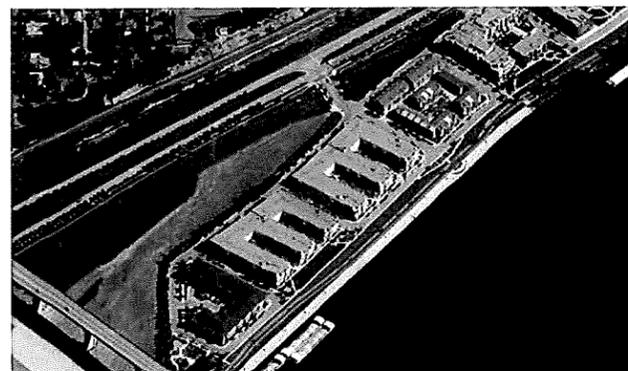
UPPER LANDING HYBRID CONCEPT



- Two road loops off of W 77th St - providing connectivity without through traffic
- Small stormwater ponds are located on the interior of the development buildings
- Public parking is located between the trail and development
- Flexibility in block size (market-driven)
- A regional trail is located north of the site between the park and development
- W 77th St to be pedestrian friendly with trees, stormwater management, and improved sidewalks
- Multiple parking strategies - below-grade, on-street parking bays on loop roads and architecturally integrated with buildings

PLANNING DEPARTMENT
 JAN 22 2014
 CITY OF EDINA

AERIAL OF THE UPPER LANDING IN ST PAUL, MN



STORMWATER SWALE BETWEEN THE UPPER LANDING AND TRAILS



ROADWAY ADJACENT TO THE UPPER LANDING



LOOP STREETS ALTERNATE WITH STORMWATER FEATURES



PATHWAY BETWEEN BUILDINGS



EXHIBIT 18

DAMON **FARBER** ASSOCIATES
 BOB CLOSE STUDIO, LLC

UPPER LANDING HYBRID CONCEPT DIAGRAM

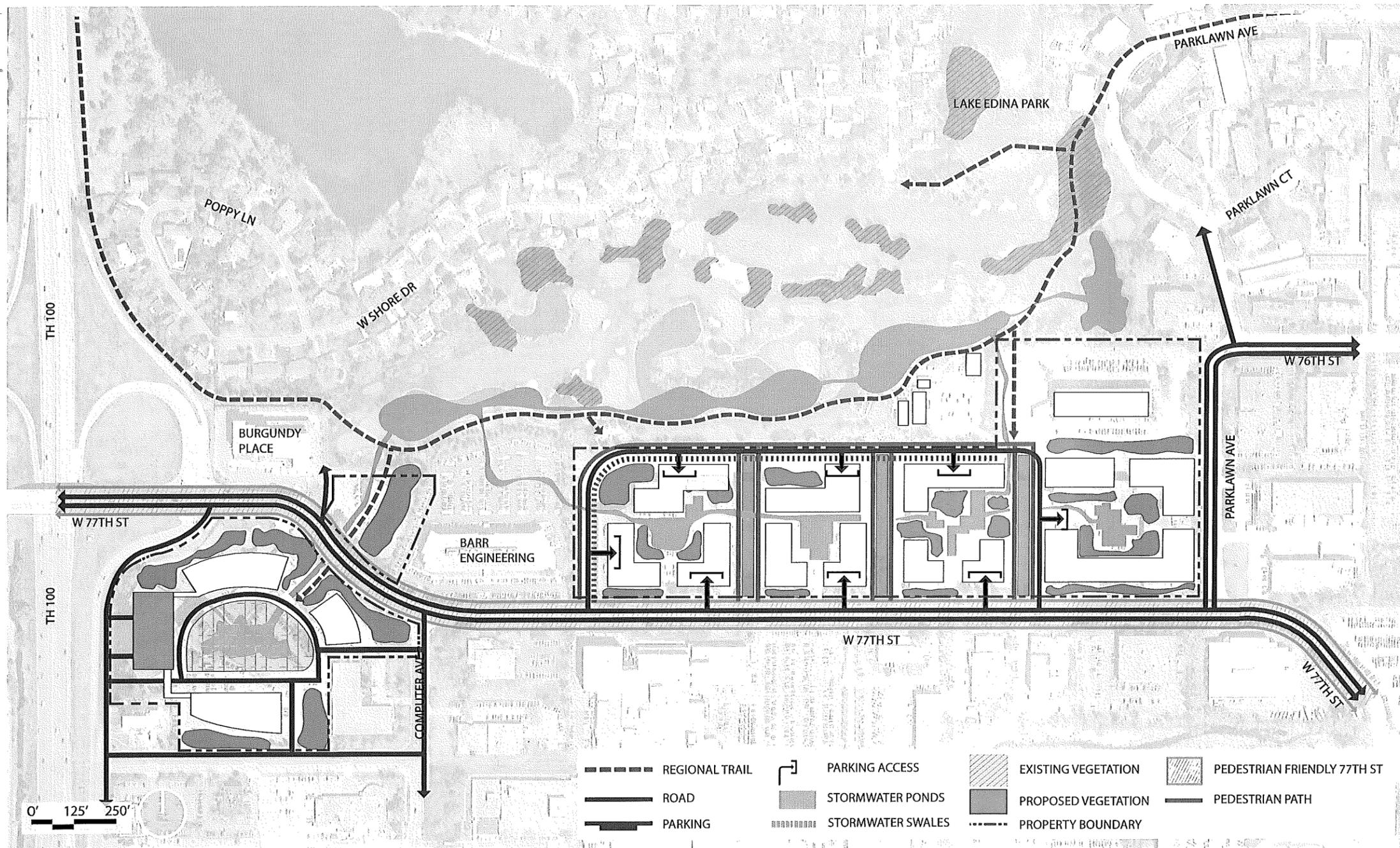
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PENTAGON PARK



CHAIN OF LAKES CONCEPT

- Multiple shared amenities
- A parkway is located north of site, increasing connectivity
- Multiple water bodies are located north of the site, separating the neighborhood from the development
- Small stormwater ponds are located on the interior of the development and manage water in concert with larger ponds to the north
- Flexibility in block size (market-driven)
- A regional trail is located north of the site between the park and development
- W 77th St to be pedestrian friendly with trees, stormwater management, and improved sidewalks
- Multiple parking strategies - below-grade, on-street and architecturally integrated with buildings



AERIAL OF THE CHAIN OF LAKES

WETLAND AREA ADJACENT TO LAKE CALHOUN

TWO-WAY PARKWAY WITH PARKING BAYS ADJACENT OF LAKE CALHOUN

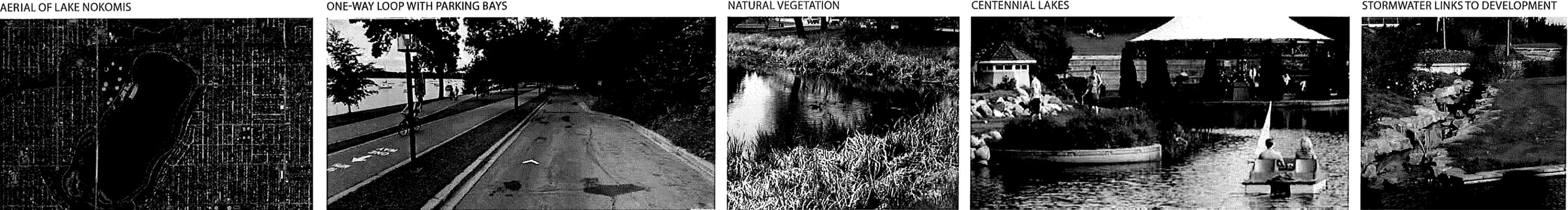
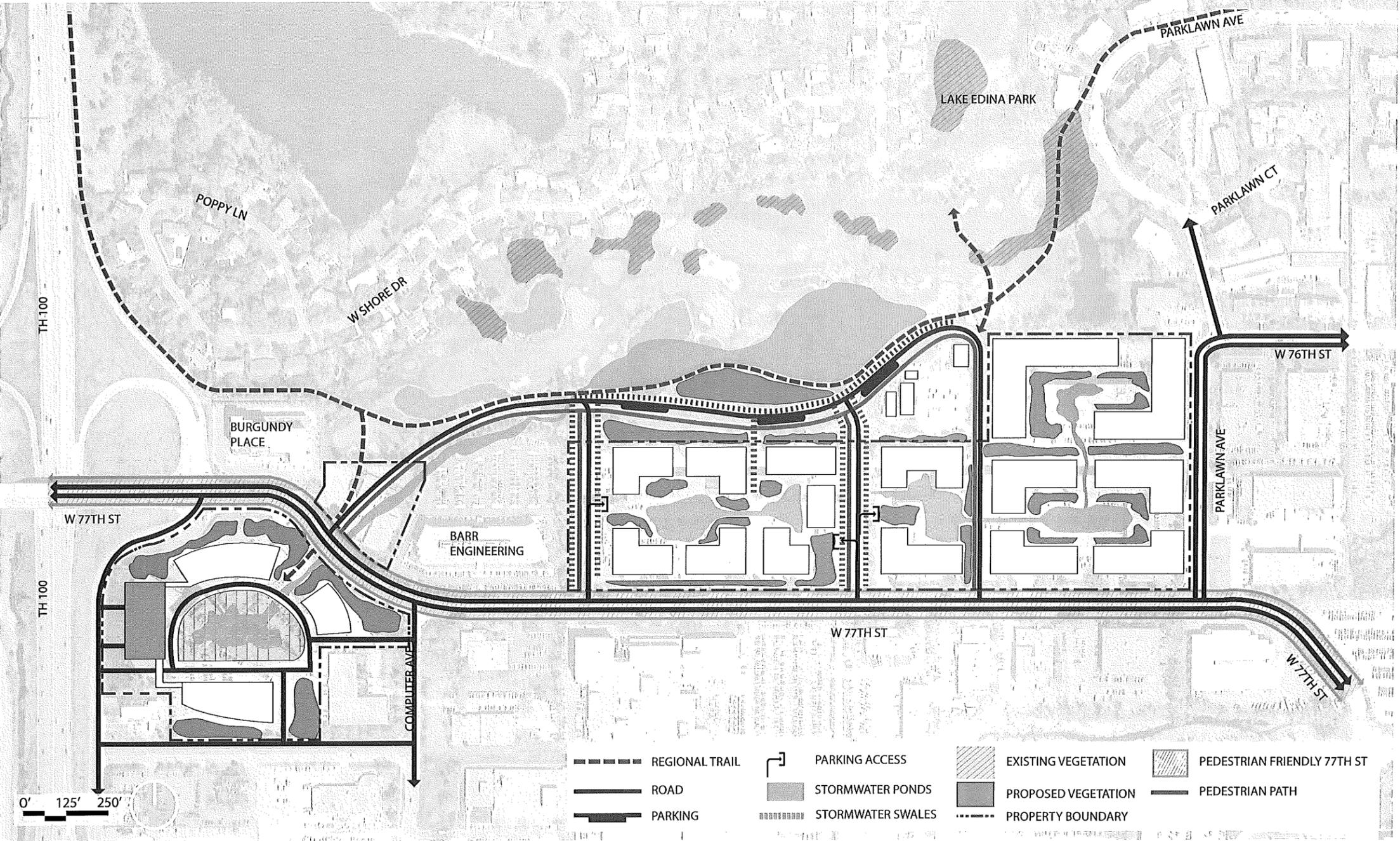
STORMWATER SWALE ADJACENT TO PATH

STORMWATER SWALE BETWEEN PATHS



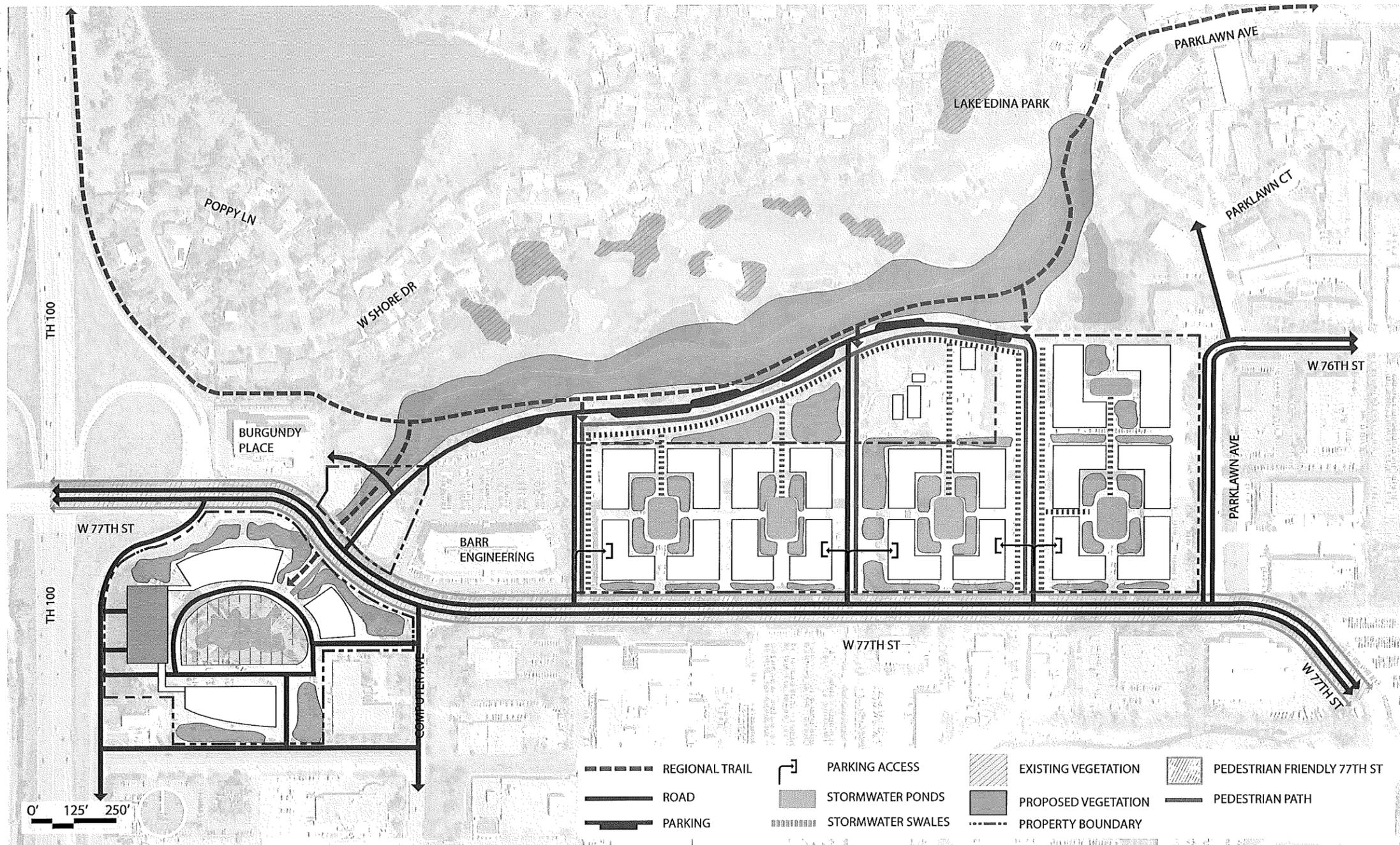
CENTENNIAL LAKES CONCEPT

- A central water feature is located north of the site separating the neighborhood from the development
- Stormwater ponds are natural amenities within the development
- A parkway provides public access and bay parking to the park
- A flexible grid of streets (market driven) with parallel parking connects W 77th St to the parkway north of the site
- A regional trail is located north of the site, with two connections from trail to W 77th St
- W 77th St to be pedestrian friendly with trees, stormwater management, and improved sidewalks
- Multiple parking strategies - below-grade, on-street and architecturally integrated with buildings



MINNEHAHA CREEK CONCEPT

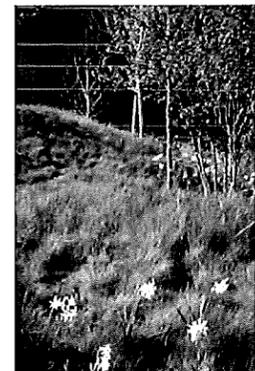
- A naturalized corridor with vegetation and a spine of water is located north of the site separating the neighborhood from the development
- Small stormwater ponds are located on the interior of the development buildings
- A parkway with parking bays is located between the naturalized corridor and new development
- A flexible grid of streets (market driven) with parallel parking connects W 77th St to the parkway north of the site
- A regional trail is located north of the site, with two connections from trail to W 77th St
- W 77th St to be pedestrian friendly with trees, stormwater management, and improved sidewalks
- Multiple parking strategies - below-grade, on-street and architecturally integrated with buildings



MINNEHAHA CREEK THROUGH EDINA COUNTRY CLUB DISTRICT



COLORPLAST US HEADQUARTERS IN MINNEAPOLIS



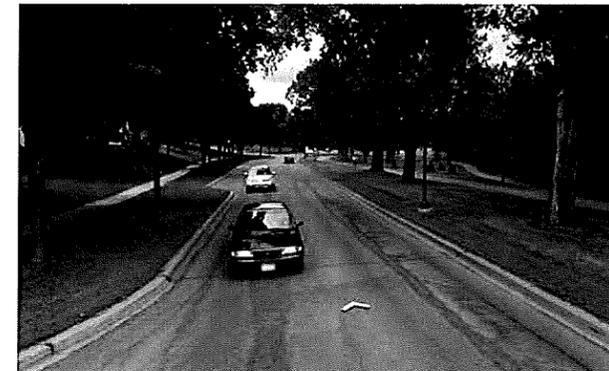
PEDESTRIAN PATH OVER MINNEHAHA CREEK



PARKWAY ALONG MINNEHAHA CREEK



PARKWAY ALONG MINNEHAHA CREEK



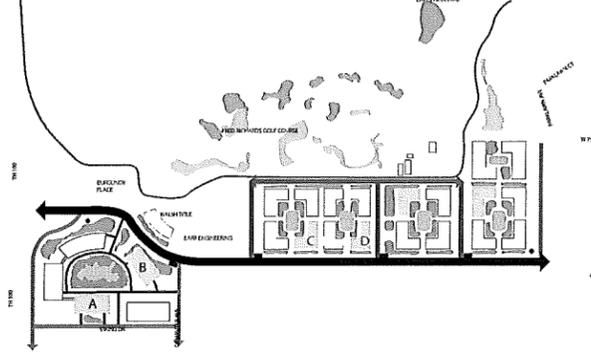
PATH ADJACENT TO PARKWAY



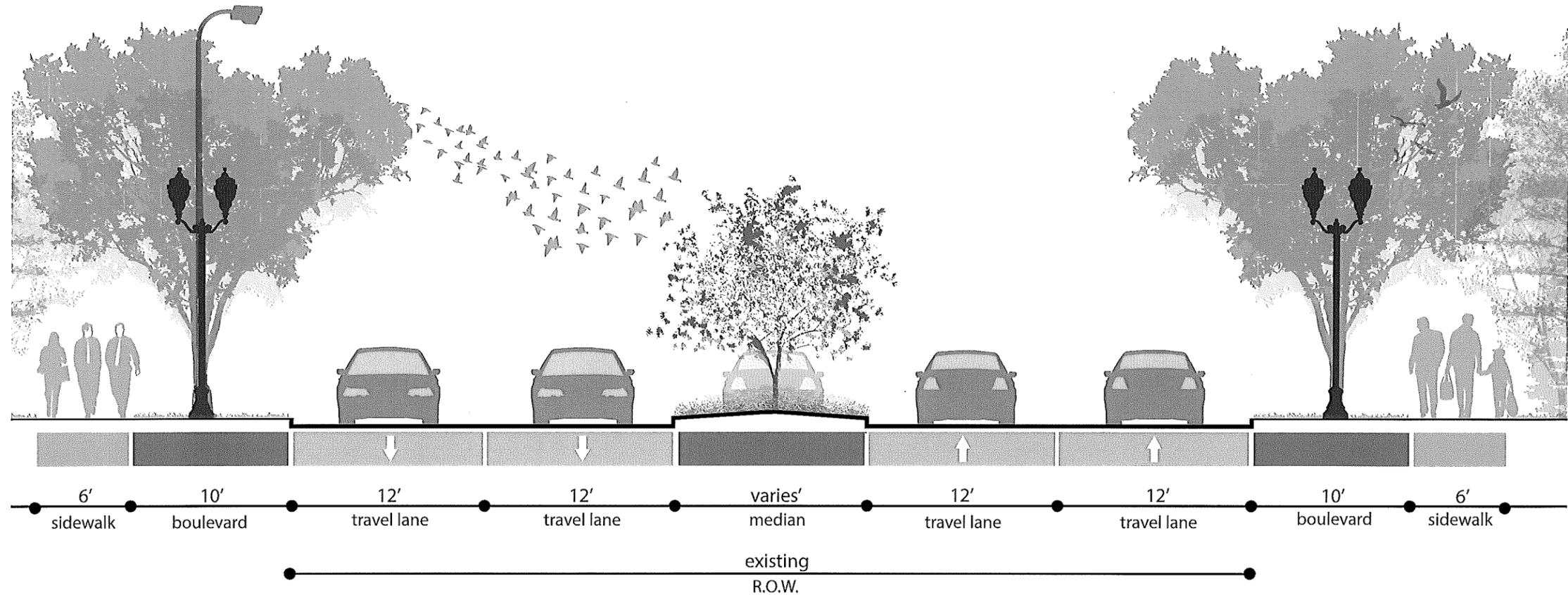
77TH CONCEPT PLAN



- Center Median
- 6' Sidewalk
- Transit Shelter
- 10' Boulevard
- Street Trees
- Street Light
- Left Turn Lane
- Decorative Lighting



77TH CONCEPT SECTION



KEY ELEMENTS

- Center median with small accent trees
- Left turn lanes
- Boulevard/sidewalks
- Decorative lighting
- Shade trees
- Transit shelters
- Street lights
- Pedestrian lights

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EXHIBIT 22



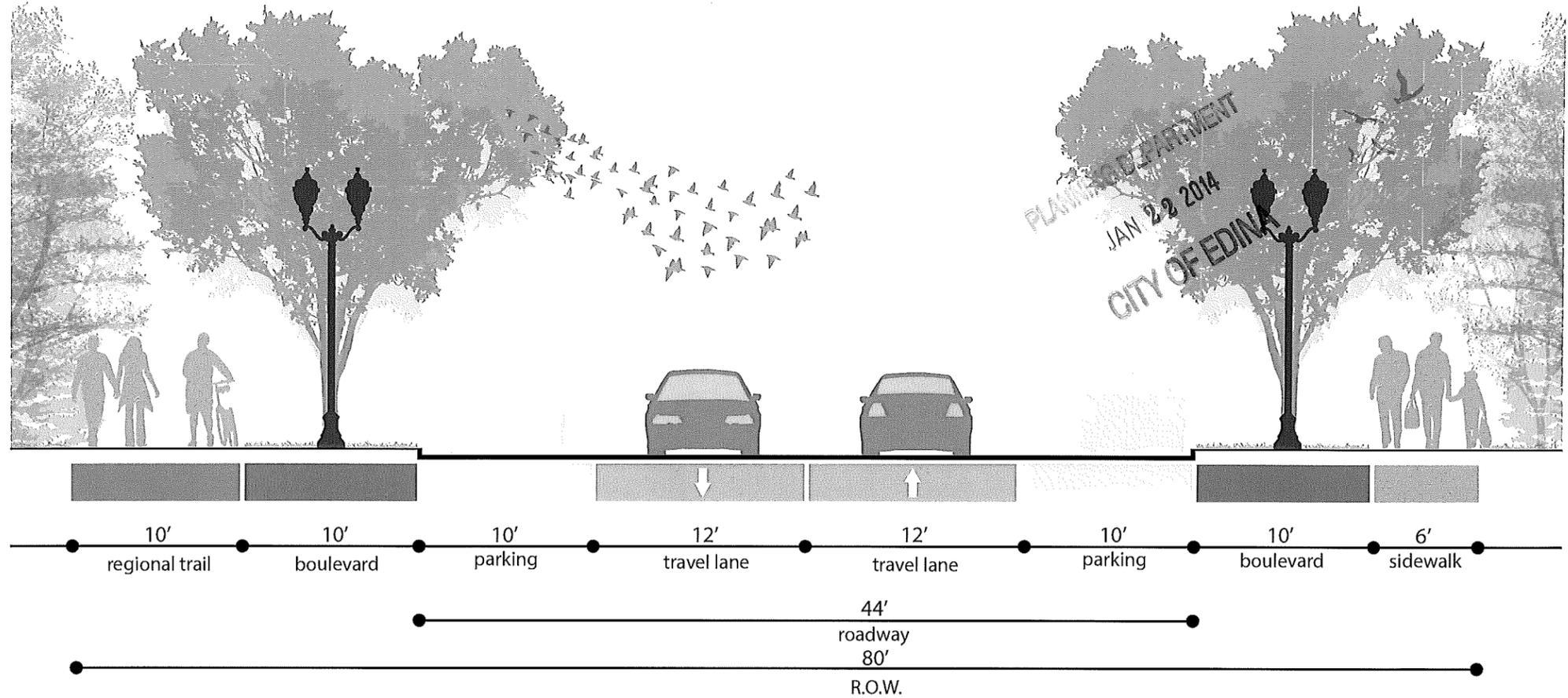
PARKWAY CONCEPT PLAN



EXHIBIT 23

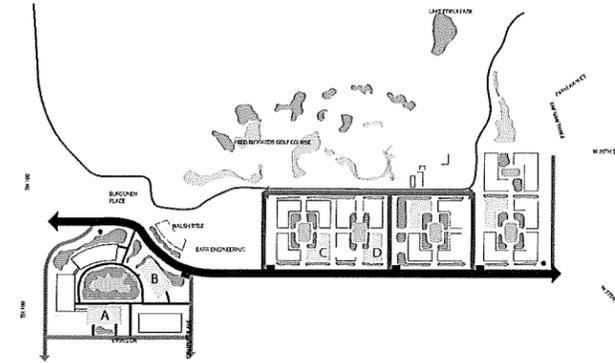


PARKWAY CONCEPT SECTION



KEY ELEMENTS

- Decorative lighting
- Street trees
- 6' sidewalk with 10' boulevard
- One lane of traffic in each direction
- Parking bays for parking



SUPPORTING STREET CONCEPT PLAN

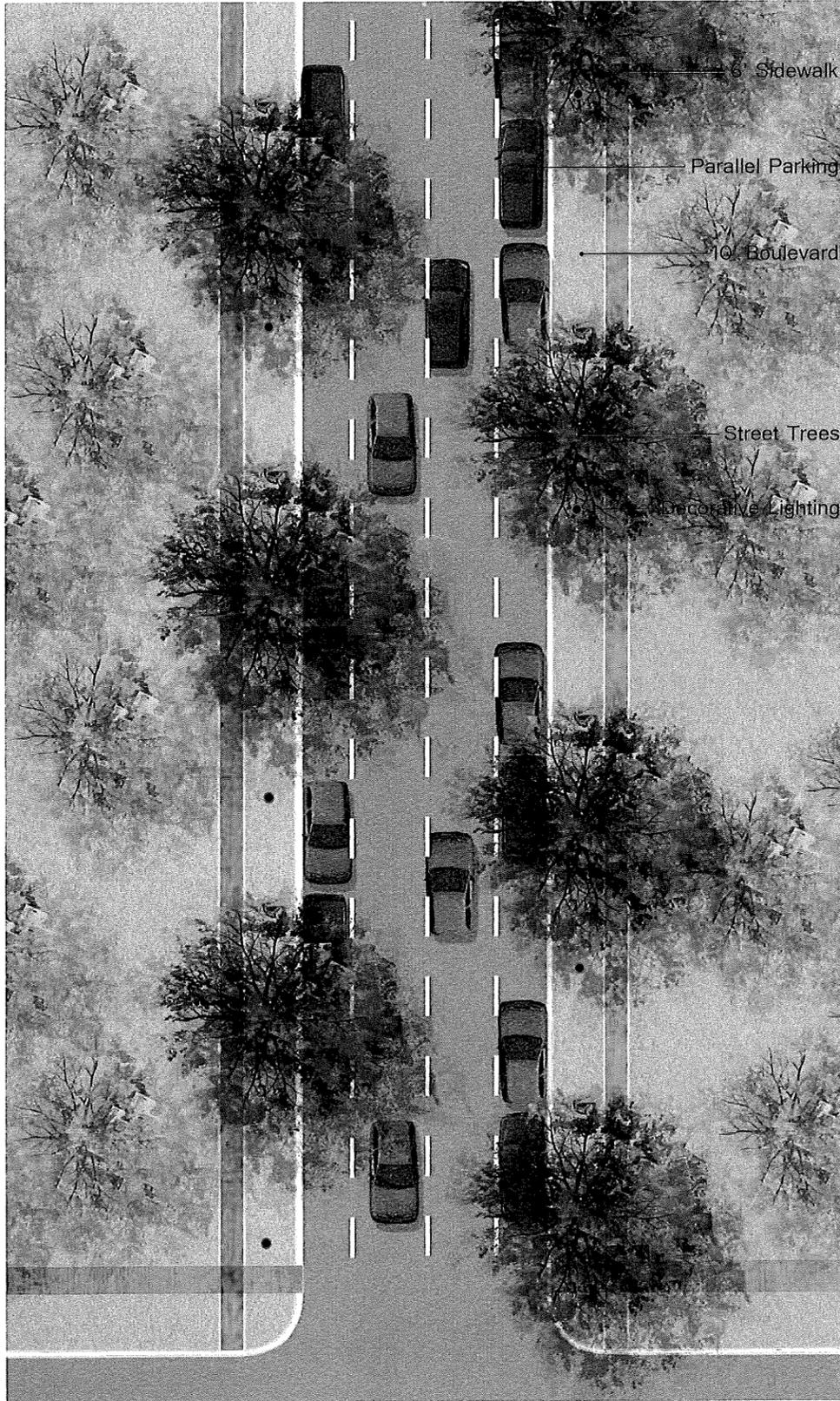
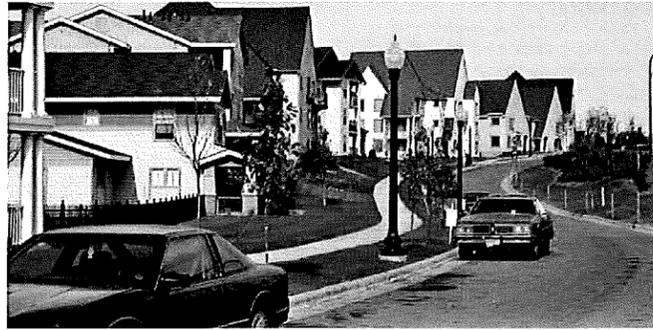
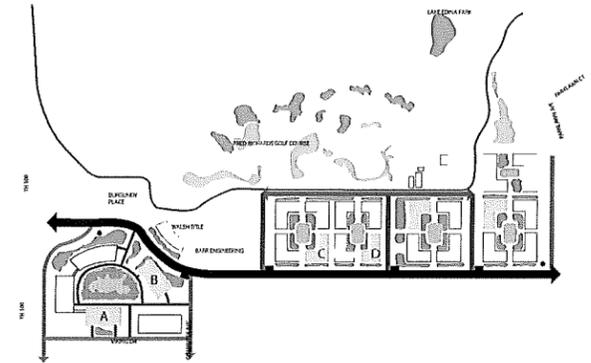


EXHIBIT 24

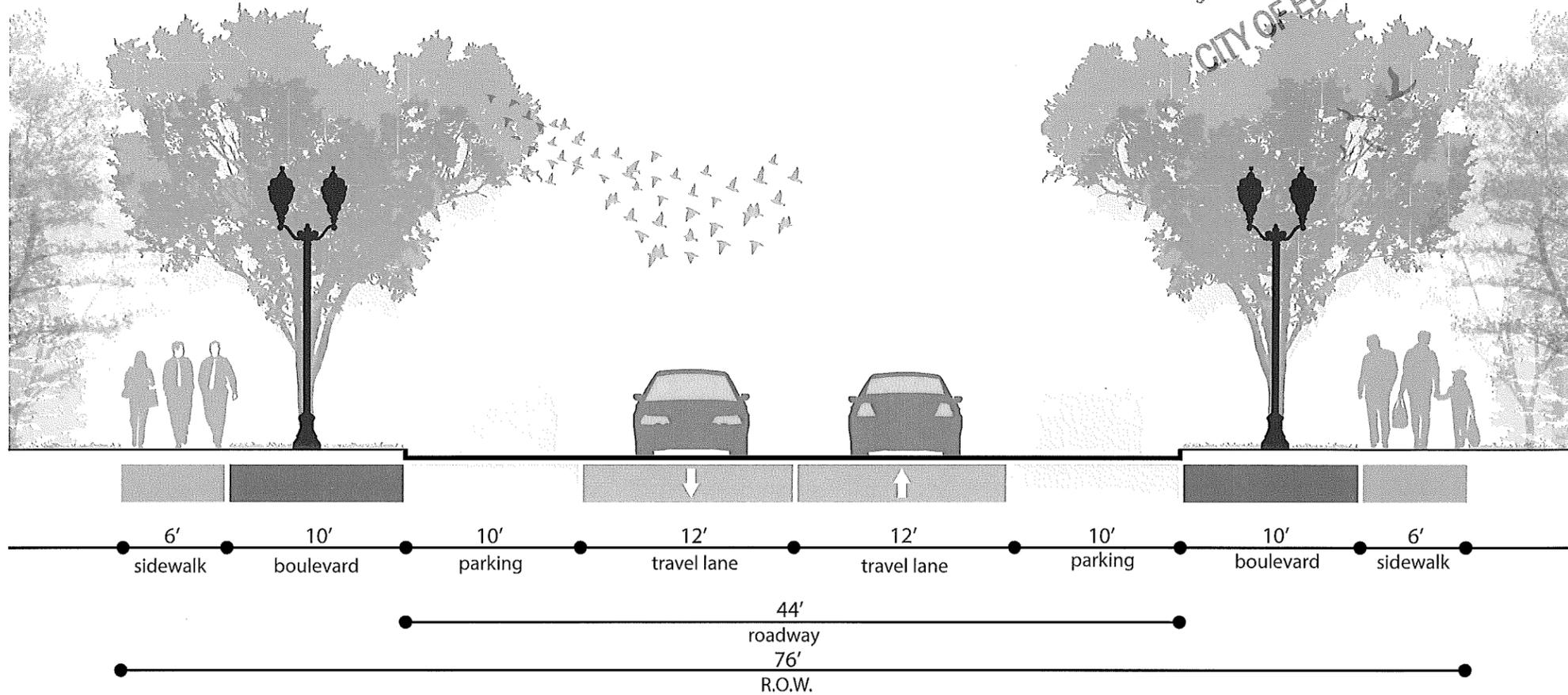


KEY ELEMENTS

- Parallel parking
- 10' boulevards/6' sidewalks
- Decorative lighting
- Street trees



SUPPORTING STREET CONCEPT SECTION



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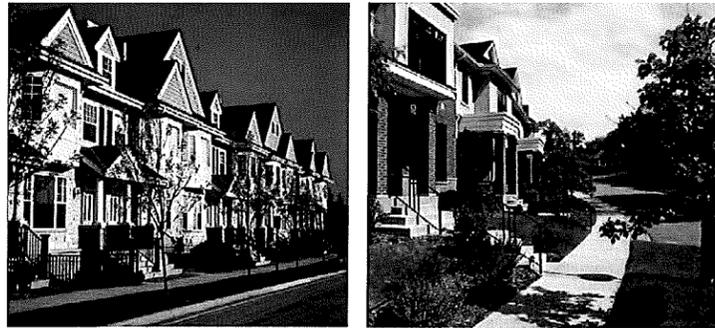


GREEN STREET CONCEPT PLAN



EXHIBIT 25

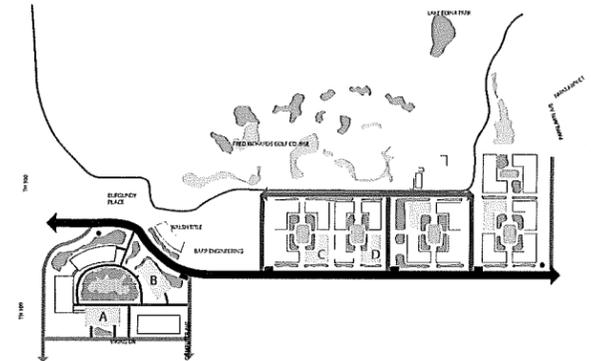
DAMON **FARBER** ASSOCIATES
 BOB CLOSE STUDIO, LLC



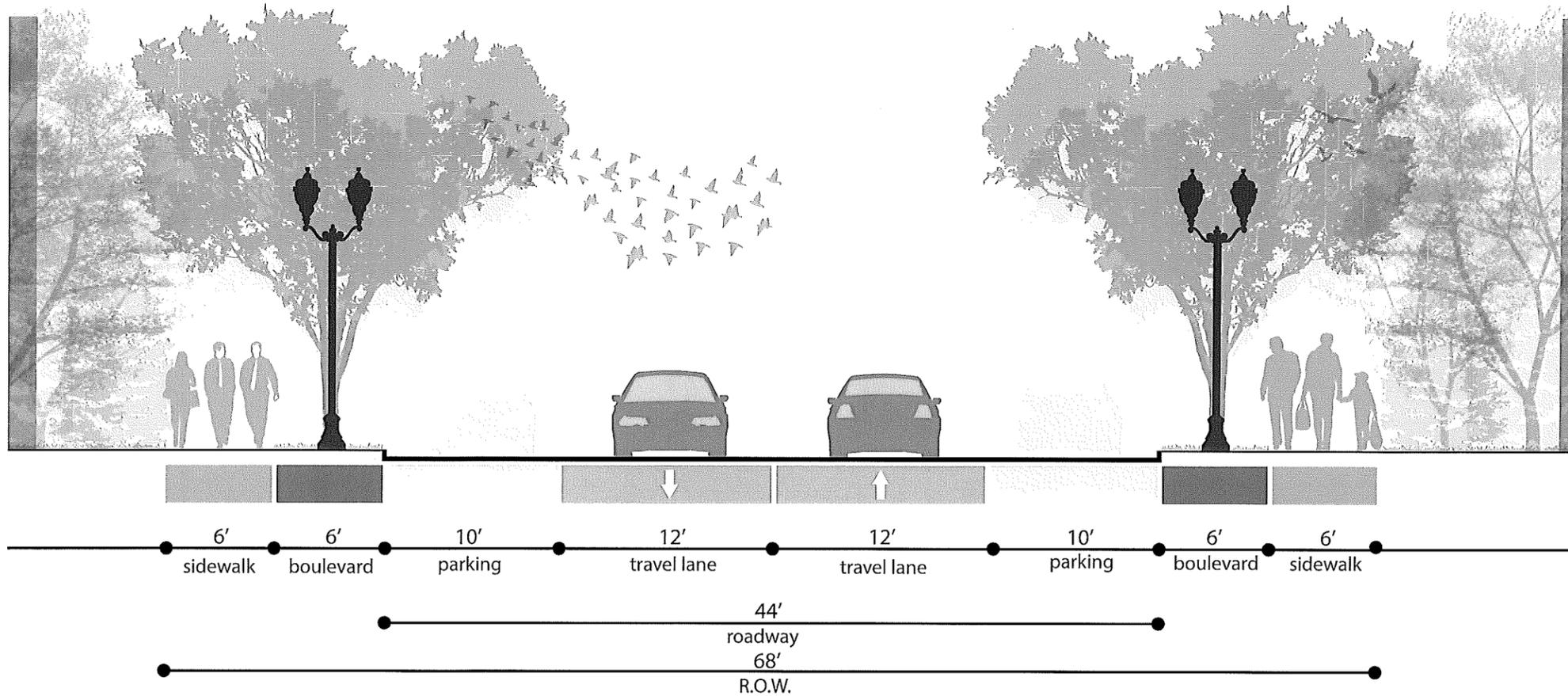
GREEN STREET CONCEPT SECTION

KEY ELEMENTS

- Parallel parking
- 6' boulevards/6' sidewalks
- Decorative lighting
- Street trees



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ROADWAY TYPE: GREEN STREET
 EDINA, MN - JANUARY 22, 2014

PENTAGON PARK



