

RICHARD MOSCHELLA RA

30 VESEY STREET
11TH FLOOR
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MOSCHELLA + ROBERTS LLC

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4 EAST ELEVATION
SCALE: 1/8"=1'-0"

7690 FRANCE AVE.

ISSUES AND REVISIONS

DATE ISSUE

22 AUGUST 2014
SCALE: AS NOTED
DRAWN BY: RM & SR

TITLE:
ELEVATIONS



ARCHITECTURE & PLANNING
12400 PORTLAND AVENUE SOUTH
SUITE 100
BURNSVILLE, MN 55337
EMAIL: DAVID@REPRISearch.com
PHONE: (952) 252-4042
FAX: (952) 252-4043

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered ARCHITECT under the laws of the State of MINNESOTA

Signature: BRIAN R. JOHNSON
Date: 18050
Registration Number: _____

7690 FRANCE AVENUE
EDINA, MN

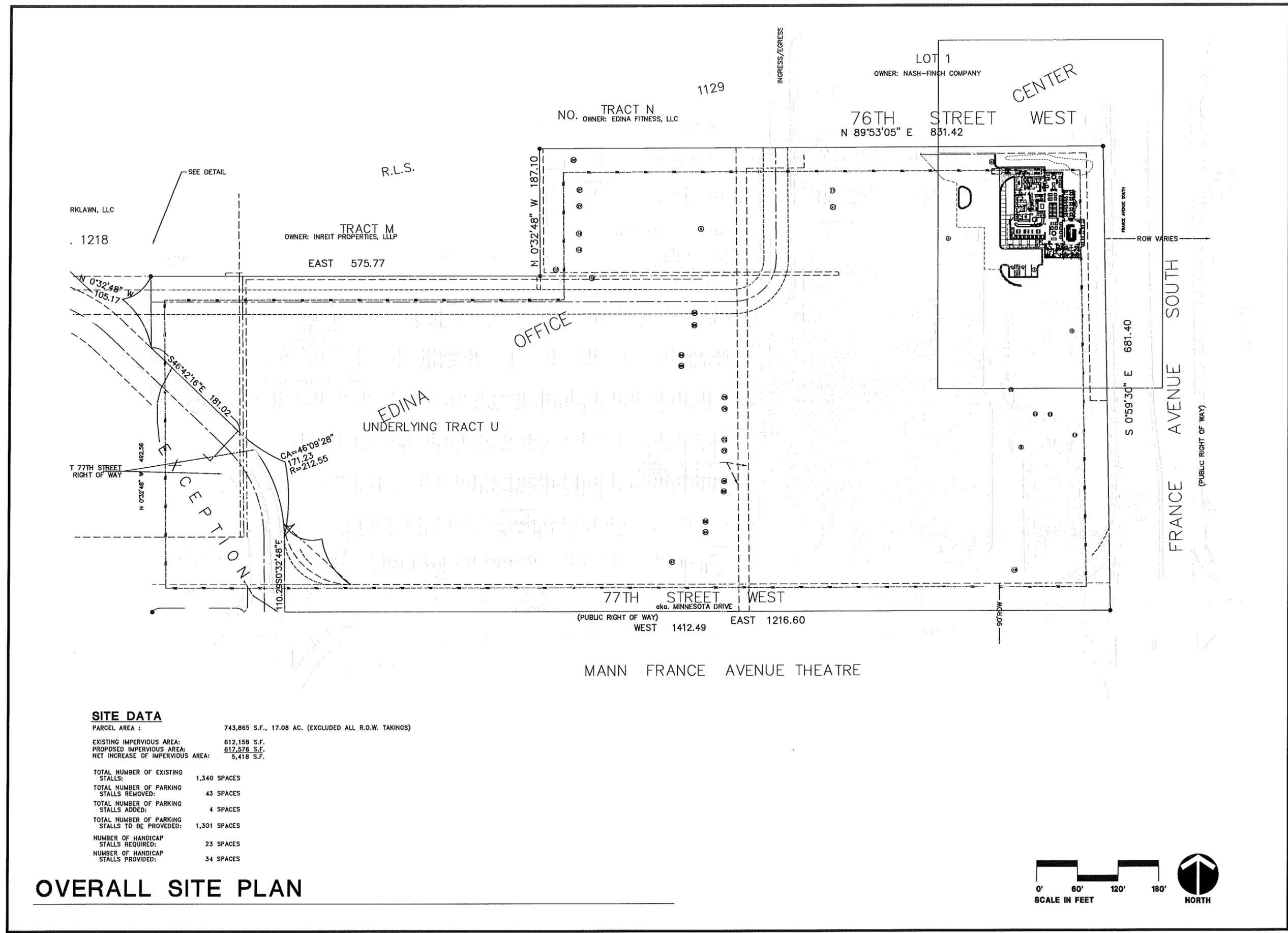
OVERALL SITE PLAN

REVISIONS

DRAWN BY: _____
CHECKED BY: _____
DATE ISSUED: 9-8-14
SCALE: 1"=60'
JOB NO.: 13246

C-1

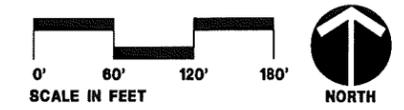
SHEET OF



SITE DATA

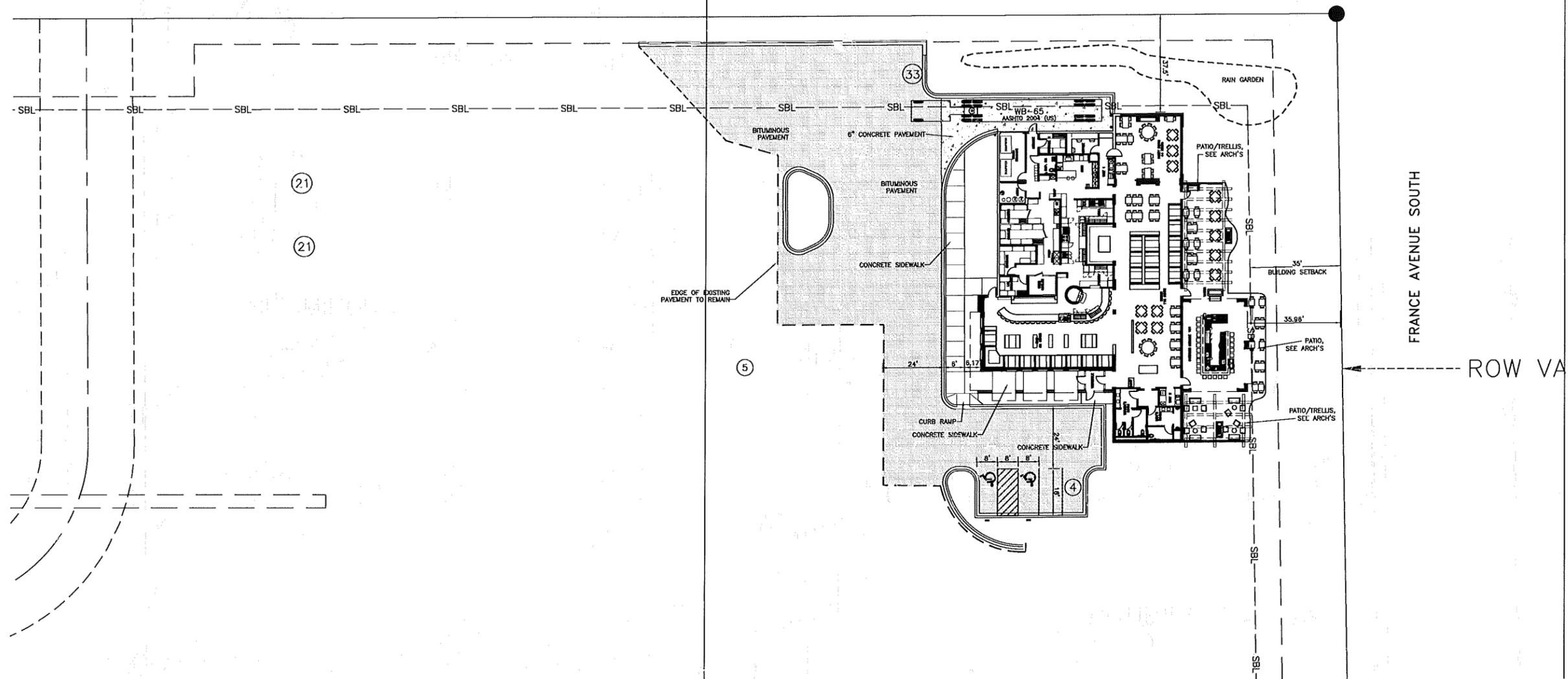
PARCEL AREA :	743,865 S.F., 17.08 AC. (EXCLUDED ALL R.O.W. TAKINGS)
EXISTING IMPERVIOUS AREA:	612,158 S.F.
PROPOSED IMPERVIOUS AREA:	617,576 S.F.
NET INCREASE OF IMPERVIOUS AREA:	5,418 S.F.
TOTAL NUMBER OF EXISTING STALLS:	1,340 SPACES
TOTAL NUMBER OF PARKING STALLS REMOVED:	43 SPACES
TOTAL NUMBER OF PARKING STALLS ADDED:	4 SPACES
TOTAL NUMBER OF PARKING STALLS TO BE PROVIDED:	1,301 SPACES
NUMBER OF HANDICAP STALLS REQUIRED:	23 SPACES
NUMBER OF HANDICAP STALLS PROVIDED:	34 SPACES

OVERALL SITE PLAN



76TH STREET WEST

N 89°53'05" E 831.42



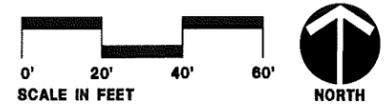
SITE PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB.
2. REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE STOOPS ADJACENT TO PROPOSED BUILDING.
3. ALL CONCRETE CURB AND GUTTER ADJACENT TO CONCRETE WALK SHALL BE SEPARATED BY A 1/2 INCH EXPANSION JOINT.
4. CONTINUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A FIVE (5) FOOT TRANSITION.
5. ALL PARKING STALL STRIPING SHALL BE 4 INCH WHITE.
6. ALL CURB & GUTTER SHALL BE B612 UNLESS CALLED OUT AS OTHER.
7. ALL WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY OF EDINA ENGINEERING STANDARDS AND SHALL BE PERFORMED DURING HOURS APPROVED BY THE CITY OF EDINA.
8. CONTRACTOR TO PROVIDE SIGNED ENGINEERED DRAWINGS FOR CONCRETE MODULAR BLOCK RETAINING WALLS. SUBMIT FOR REVIEW AND APPROVAL.

SITE IMPROVEMENTS LEGEND:

- STANDARD BITUMINOUS PAVEMENT
- B612 CONCRETE CURB & GUTTER
- B612 CONCRETE CURB & GUTTER (OUTFALL)

SITE PLAN



reprise

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Date: _____

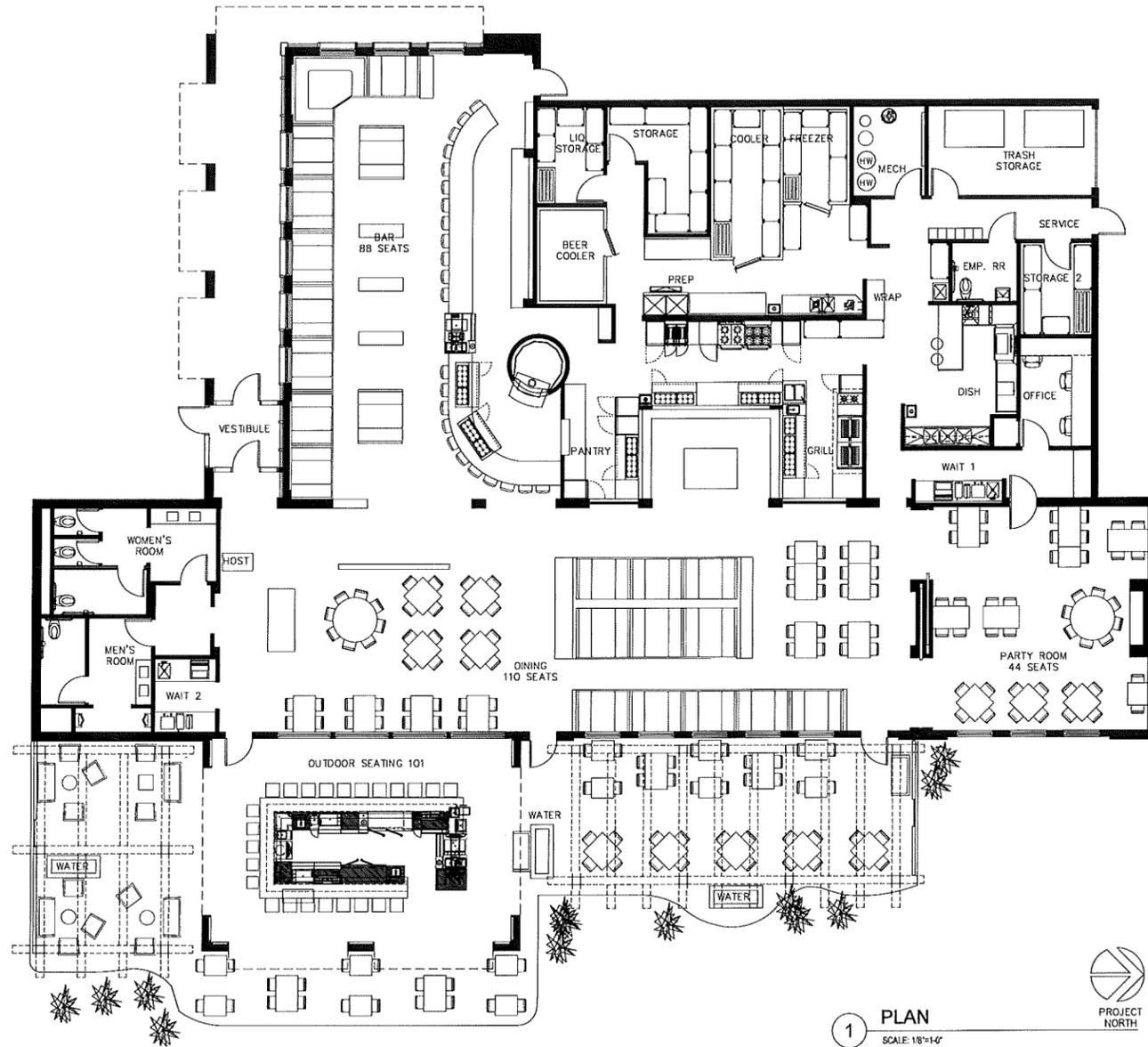
7690 FRANCE AVENUE
EDINA, MN

SITE PLAN

REVISIONS	

DRAWN BY	
CHECKED BY	
DATE ISSUED	9-8-14
SCALE	1"=20'
JOB NO.	13246

C-2



1 PLAN

SCALE: 1/8"=1'-0"

INSIDE SEATING 242
PATIO SEATING 101

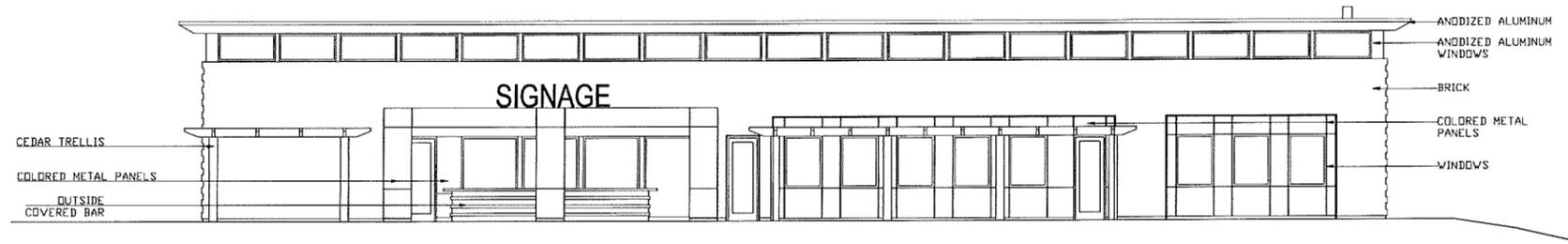
7739 SQ FT



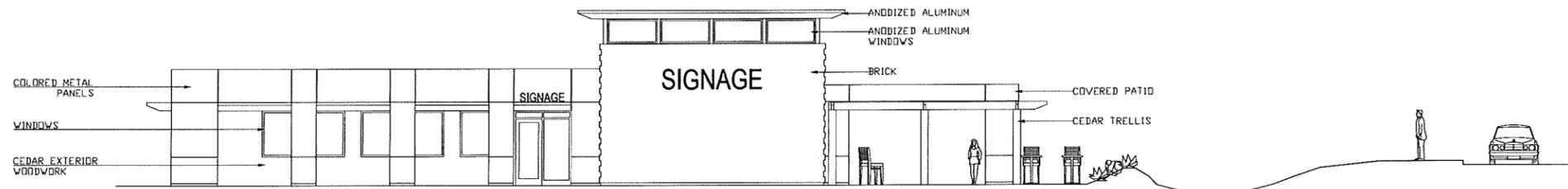
7690 FRANCE AVE.

26 AUGUST 2014
SCALE: AS NOTED
DRAWN BY: RM & SR

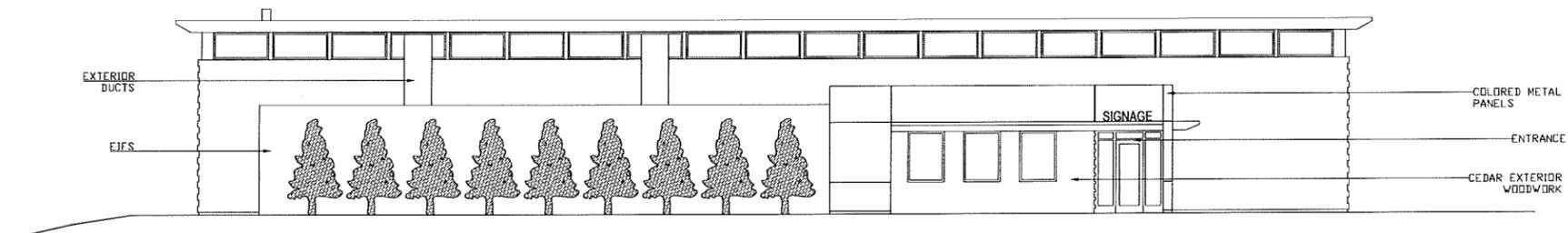
TITLE:
PROPOSED PLAN



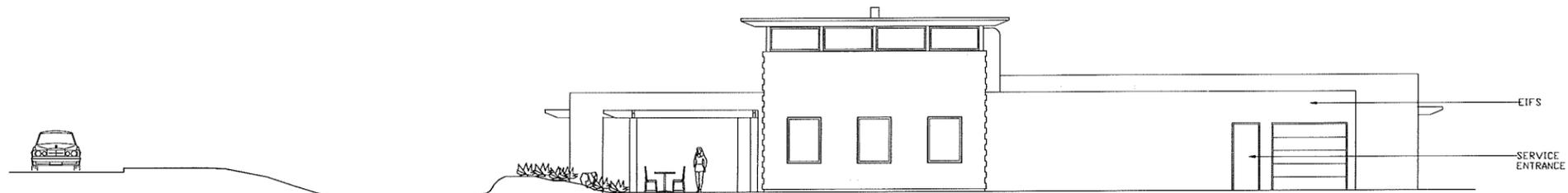
4 EAST ELEVATION
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
SCALE: 1/8"=1'-0"



1 NORTH ELEVATION
SCALE: 1/8"=1'-0"

7690 FRANCE AVE.

8 SEPTEMBER 2014
SCALE: AS NOTED
DRAWN BY: RM & SR

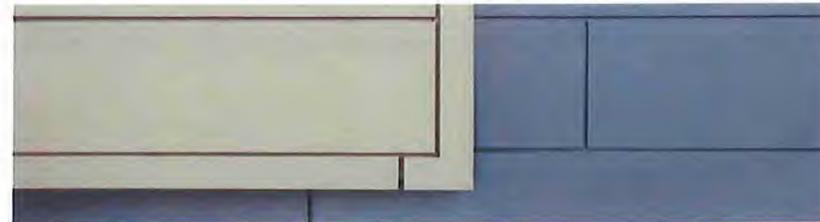
TITLE:
EXTERIOR ELEVATIONS



BROWN BRICK



ANODIZED ALUMINUM ROOF



COLORED METAL PANELS



CEDAR - WALLS UNDER CANOPY



CEDAR TRELLIS



EIFS

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7690 FRANCE AVE.

ISSUES AND REVISIONS

DATE ISSUE

14 AUGUST 2014
SCALE: AS NOTED
DRAWN BY: RM & SR

TITLE:

MATERIALS

NOTES CORRESPONDING TO EASEMENTS:

- (1) DRAINAGE AND UTILITY EASEMENT AS SHOWN ON THE RECORDED PLAT OF EDNA OFFICE CENTER IS PLOTTED
- (2) DECLARATION OF EASEMENTS AND COVENANTS GRANTING EASEMENT FOR INGRESS AND EGRESS PER DOC. NO. 1321643 IS PLOTTED
- 14. AGREEMENT (CONDITIONS TO ZONING VARIANCE) DATED SEPTEMBER 21, 1979, RESOLUTION 15TH DAY OF AUGUST, 1983, TO REMOVE THE GROSS FLOOR AREA RESTRICTION FOR LOT 2, BLOCK 1, EDNA OFFICE CENTER EXCEPT NOT TO EXCEED HALF LOT AREA, NOT PLOTTED; DOES AFFECT PROPERTY
- (3) EASEMENT FOR TRANSMISSION LINES IN FAVOR OF NORTHERN STATES POWER AS CREATED IN DOCUMENTS DATED NOVEMBER 10, 1964, FILED JANUARY 11, 1965, AS DOCUMENT NO. 797297; DATED JANUARY 7, 1965, FILED JANUARY 11, 1965, AS DOCUMENT NO. 797300; AND DATED NOVEMBER 2, 1965, FILED NOVEMBER 22, 1965, AS DOCUMENT NO. 828912, SHOWN ON SURVEY
- (4) STORM AND SURFACE WATER PONDING EASEMENT AND PUBLIC STREET AND UTILITY EASEMENT PER DOC. NO. 1321642 IS PLOTTED. PONDING EASEMENT PORTION DOES NOT AFFECT SUBJECT PROPERTY.
- (5) EASEMENT FOR PUBLIC ROAD PURPOSES PER DOC. NO. 1693324, AS SHOWN ON SURVEY
- (6) EASEMENT FOR SIDEWALK PURPOSES PER DOC. NO. 2032628 IS PLOTTED
- (7) EASEMENT PER DOC. NO. 3252149, AS SHOWN ON SURVEY.

STATEMENT OF POTENTIAL ENCROACHMENTS:

- (A) TURN LANE FROM FRANCE AVE. TO 77TH STREET WEST
- (B) NORTHWEST CORNER OF BUILDING ENCROACHES OVER NSP EASEMENT DOC NO 797300
- (C) PORTION OF DRIVEWAY NW CORNER PROPERTY DOES NOT LIE WITHIN SUBJECT PROPERTY OR EASEMENT

PROPERTY DESCRIPTION

Lot 2, Block 1, EDNA OFFICE CENTER, except that part thereof lying southerly and westerly of the westerly right-of-way of West 77th Street as described in Document No. 1321642, according to the recorded plat thereof, Hennepin County, Minnesota.

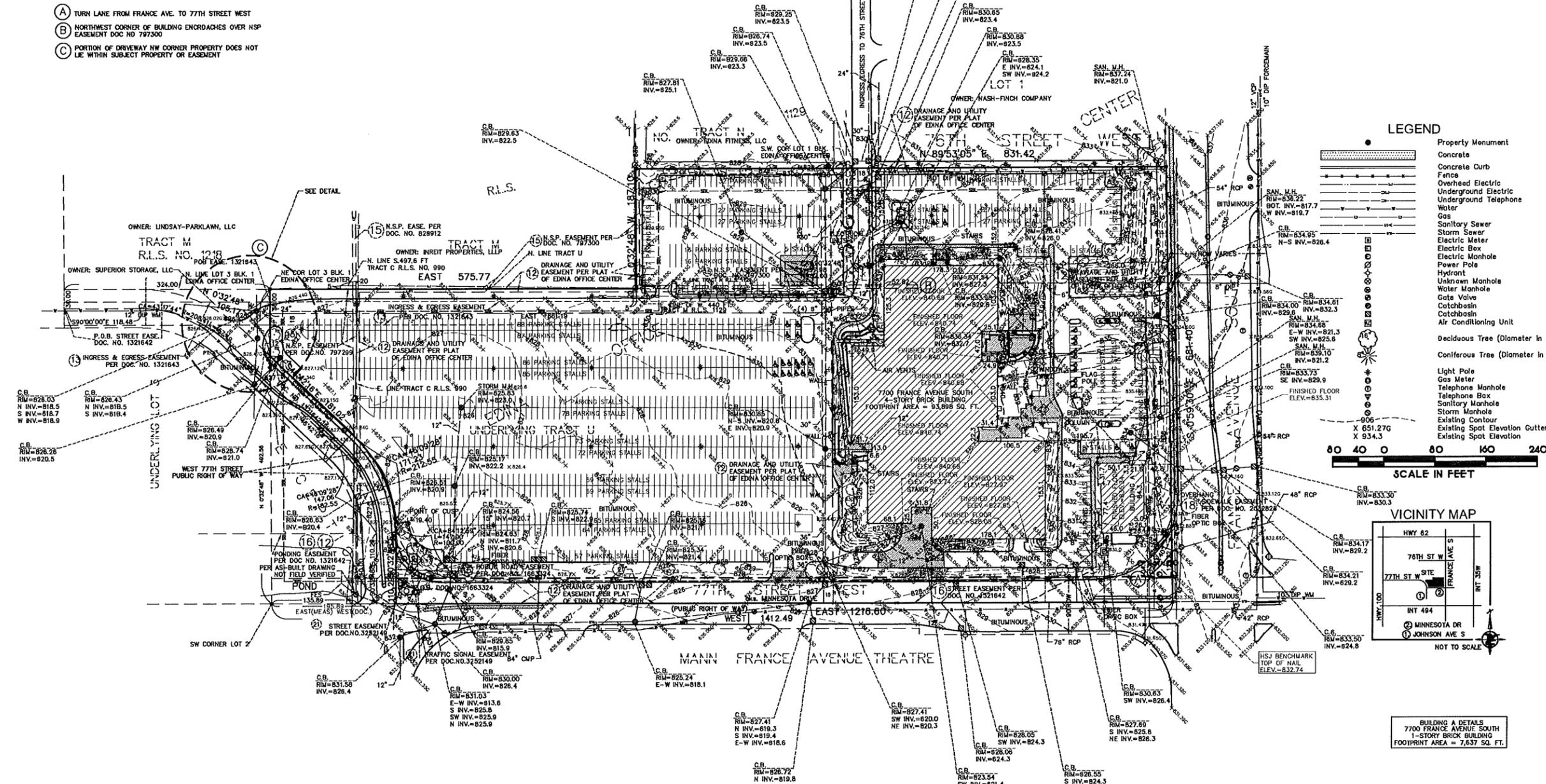
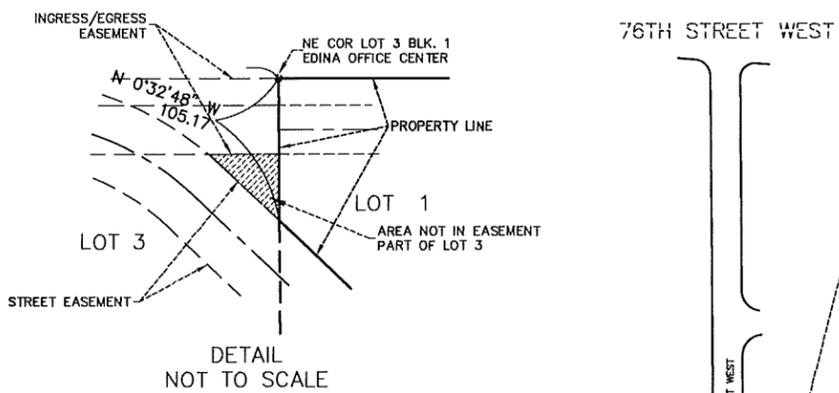
Together with the benefits of the easements set forth in Document No.1321643.

Property by Tarrens Certificate No. 1048502

Legal description same as described in Chicago Title Insurance Company, Commitment No. 15021A, dated September 16, 2000.

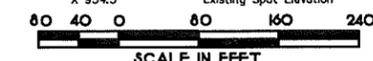
GENERAL NOTES:

1. The bearing system used is based on the plat of EDNA OFFICE CENTER.
2. The location of the underground utilities shown hereon, if any, are approximate only. PURSUANT TO MSA 2160 CONTACT GOPHER STATE ONE CALL AT (812) 454-0002 PRIOR TO ANY EXCAVATION.
3. Subject property is identified as being in "Zone C, Area of Minimal Flooding" on Flood Insurance Rate Map, Community-Panel No. 270180 0001 0006, effective date May 1, 1980.
4. AREA = 794,560 SQUARE FEET (18.240 Acres (INCLUDES R.O.W.))
AREA = 743,965 Square Feet = 17.08 Acres (EXCLUDES ALL R.O.W. TAKINGS).
5. All field measurements matched recorded dimensions within the precision requirements of ALTA/ACSM specifications.
6. This survey was made on the ground and in accordance with the Minimum Standard Detail Requirements for Land Title Surveys as adopted by ALTA and ACSM.
7. There are a total of 1,329 striped parking stalls on sold property, of which there are 32 designated as handicap.
8. This survey was made on the ground.
9. No current utility work was furnished for the preparation of this survey, legal description, recorded or unrecorded easements and encumbrances are subject to revision upon receipt of current utility work.
10. Elevation datum is based on NVD 88 data.
HS Benchmark is located Top of Nail (AS SHOWN ON SURVEY)
Elevation = 832.74

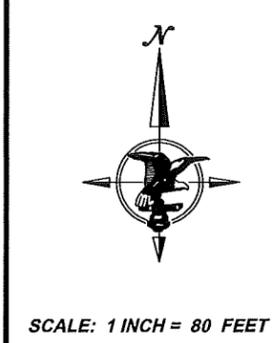


LEGEND

	Property Monument
	Concrete
	Concrete Curb
	Fenceline
	Overhead Electric
	Underground Electric
	Underground Telephone
	Water
	Gas
	Sanitary Sewer
	Storm Sewer
	Electric Meter
	Electric Manhole
	Power Pole
	Hydrant
	Unknown Manhole
	Water Manhole
	Gate Valve
	Catchbasin
	Air Conditioning Unit
	Deciduous Tree (Diameter in Inches)
	Coniferous Tree (Diameter in Inches)
	Light Pole
	Gas Meter
	Telephone Manhole
	Telephone Box
	Sanitary Manhole
	Storm Manhole
	Existing Contour
	Existing Spot Elevation Gutter
	Existing Spot Elevation



BUILDING A DETAILS
7700 FRANCE AVENUE SOUTH
1-STORY BRICK BUILDING
FOOTPRINT AREA = 7,637 SQ. FT.



REVISIONS

Date:	Description
7/11/12	ADDED INVERTS
1/9/14	revised utility information

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota

Thomas E. Hadorff, L.S.
Thomas E. Hadorff, L.S.
Minnesota Reg. No. 23677

Date: July 2, 2012

TOPOGRAPHICAL AND BOUNDARY SURVEY

For:

FRAUENSHUH COMPANIES
BLOOMINGTON

SITE:
7700 FRANCE AVENUE SOUTH

EDINA, MINNESOTA
HENNEPIN COUNTY

HARRY S. JOHNSON CO., INC.
LAND SURVEYORS

9063 Lyndale Avenue South
Bloomington, MN 55437
Tele. 952-884-5341 Fax 952-884-5344
www.hsjsurveyors.com

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