

**PROJECT DATA**

Site Area = 102,965 sq ft / 2.34 acres  
 Property Guided: RM Regional Medical, no change proposed  
 Property Zoned: POD-1, proposed to P.U.D.  
 Proposed Redevelopment: New Medical Office Building and Parking Ramp  
 5 stories, 102,478 gross sq ft / 96,500 rentable sq ft\* with 4 level parking ramp.  
 Proof of Parking, if needed - add 1 additional level (5 total) on parking ramp.  
 \*Not including partial basement mechanical equipment room.  
 Proposed Occupancy:  
 Medical Offices - 95,478 gross sq ft to 102,478 gross sq ft (93% - 100%)  
 Medical Retail - 7,000 gross sq ft to 0 gross sq ft (7% - 0%)  
 Total - 102,478 gross sq ft (100%)  
 Proposed Parking:  
 Levels 1 - 4 = 423 stalls 4.13/1000 gsf  
 Proof of Pkg: 1 add'l level = 125 stalls  
 Total possible parking = 548 stalls 5.35/1000 gsf  
 Building Setbacks:  

	Med Office Bldg	Parking Ramp
North	25'-0"/35'-0"***	25'-0"
South	30'-0"	20'-0"
East	25'-0"/35'-0"***	22'-0"
West	22'-0"	15'-0"

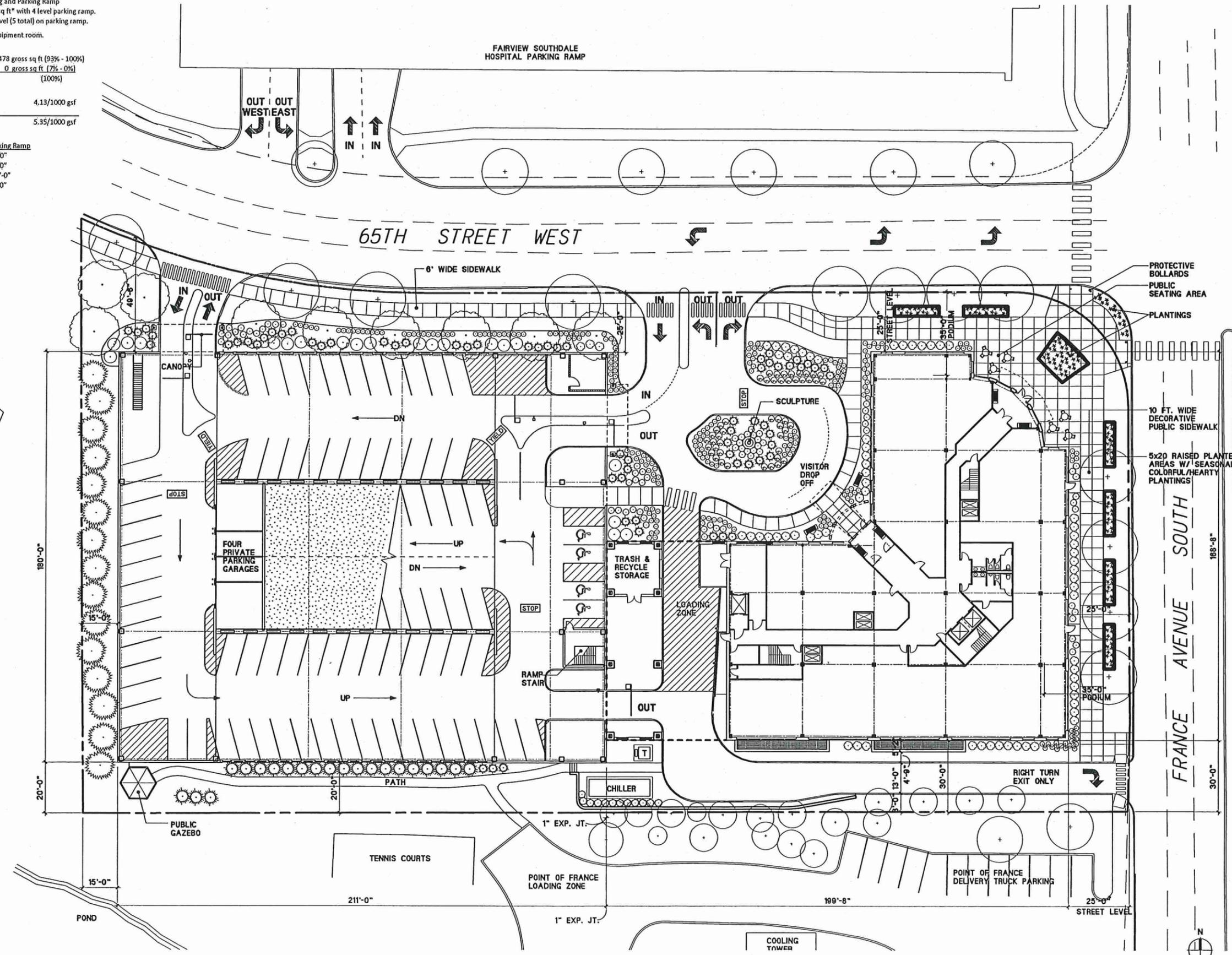
 \*\* 35'-0" setback is above podium level

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
 Edward A. Farr

Date \_\_\_\_\_ Reg. No. 16362  
 Project Manager \_\_\_\_\_

**DRAWING INDEX**

- A1.1 Architectural Site Plan
- ALTA Survey
- C1.0 Existing Conditions/Site Demolition Plan
- C2.0 Details
- C3.0 Civil Site Plan
- C4.0 Grading, Drainage, E.&S Control
- C5.0 Utility Plan
- C6.0 Landscape Plan
- A2.0 Basement Floor Plan
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- A2.3 Typical Floor Plans, 3-5
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- A5.1 North Elevation
- A5.2 South Elevation
- A5.3 East and West Elevations



1 SITE PLAN  
 AT-1 SCALE: 1" = 20'-0"

**EDWARD FARR ARCHITECTS INC**  
 7700 Golden Triangle Drive  
 Eden Prairie, Minnesota 55344  
 Tel: 952.943.9669  
 Fax: 952.943.9663  
 www.edfarr.com

**AURORA Investments, LLC**

Client  
 MOUNT DEVELOPMENT CO.

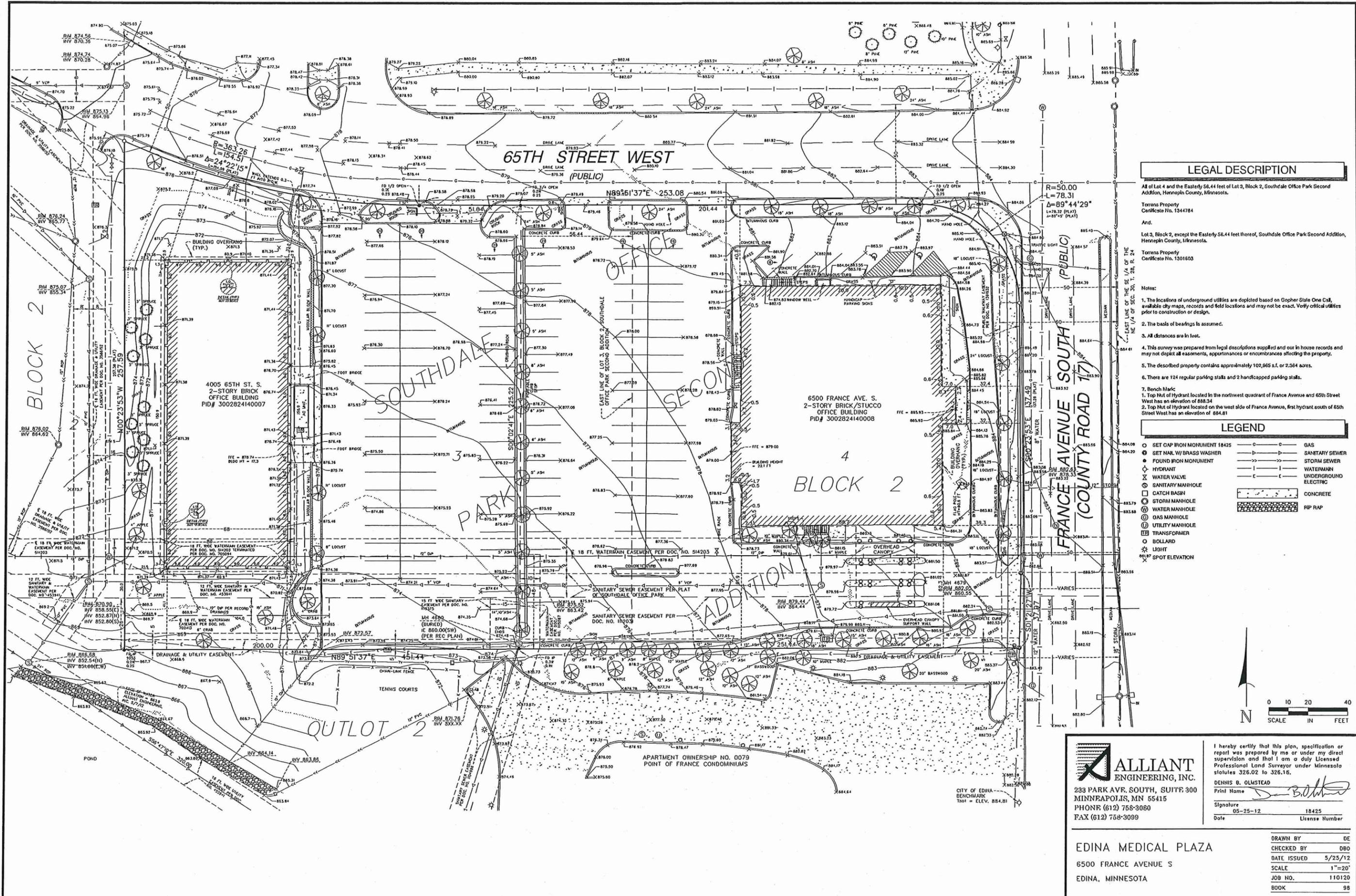
Project  
**EDINA MEDICAL PLAZA RE-ZONING SUBMITTAL**  
 Location  
 6500 FRANCE AVENUE SOUTH  
 EDINA, MINNESOTA

Issued For	Date
CITY SUBMITTAL	9/10/2012

Sheet Title  
**SITE PLAN**

Project Number 11.064 Sheet Number A1.1

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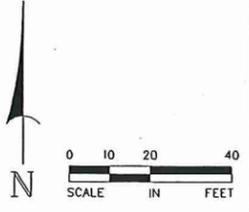
**LEGAL DESCRIPTION**

All of Lot 4 and the Easterly 56.44 feet of Lot 3, Block 2, Southdale Office Park Second Addition, Hennepin County, Minnesota.  
 Torrens Property  
 Certificate No. 1344784  
 And,  
 Lot 3, Block 2, except the Easterly 56.44 feet thereof, Southdale Office Park Second Addition, Hennepin County, Minnesota.  
 Torrens Property  
 Certificate No. 1301603

- Notes:**
- The locations of underground utilities are depicted based on Gopher State One Call, available city maps, records and field locations and may not be exact. Verify critical utilities prior to construction or design.
  - The basis of bearings is assumed.
  - All distances are in feet.
  - This survey was prepared from legal descriptions supplied and our in house records and may not depict all easements, appurtenances or encumbrances affecting the property.
  - The described property contains approximately 102,665 s.f. or 2.364 acres.
  - There are 124 regular parking stalls and 2 handicapped parking stalls.
  - Bench Mark  
 1. Top Mt of Hydrant located in the northwest quadrant of France Avenue and 65th Street West has an elevation of 888.34  
 2. Top Mt of Hydrant located on the west side of France Avenue, first hydrant south of 65th Street West has an elevation of 884.81

**LEGEND**

- SET CAP IRON MONUMENT 16425
- SET NAIL W/ BRASS WASHER
- FOUND IRON MONUMENT
- HYDRANT
- ⊗ WATER VALVE
- SANITARY MANHOLE
- CATCH BASIN
- STORM MANHOLE
- ⊗ WATER MANHOLE
- GAS MANHOLE
- ⊗ UTILITY MANHOLE
- ⊗ TRANSFORMER
- BOLLARD
- ⊗ LIGHT
- ⊗ SPOT ELEVATION
- GAS
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELECTRIC
- ▨ CONCRETE
- ▨ RIP RAP



**ALLIANT ENGINEERING, INC.**  
 233 PARK AVE. SOUTH, SUITE 300  
 MINNEAPOLIS, MN 55415  
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 FAX (612) 758-3099

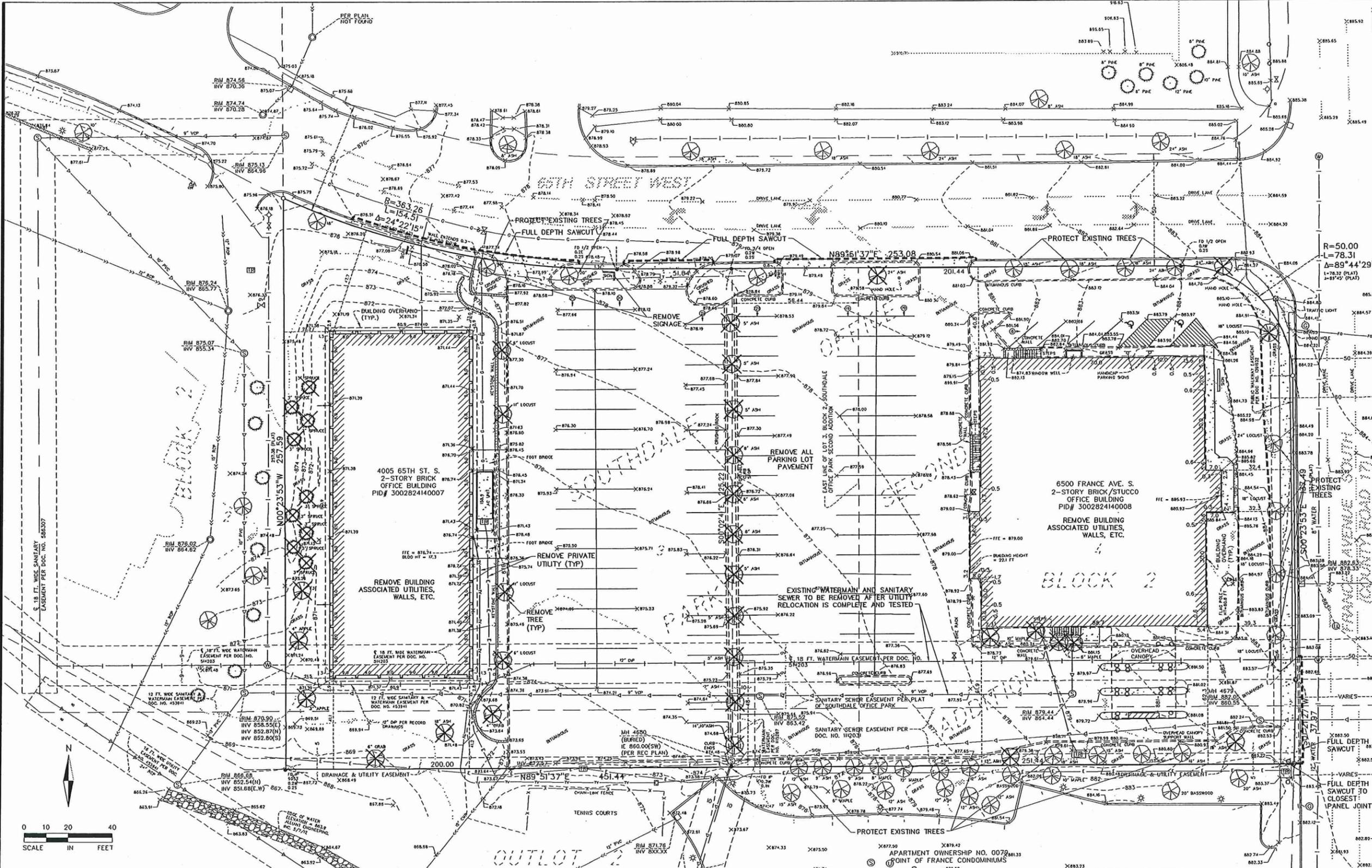
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under Minnesota statutes 326.02 to 326.16.  
**DENNIS B. OLMSTEAD**  
 Print Name  
 Signature  
 Date 05-25-12 License Number 18425

**EDINA MEDICAL PLAZA**  
 6500 FRANCE AVENUE S  
 EDINA, MINNESOTA

DRAWN BY	DE
CHECKED BY	DBO
DATE ISSUED	5/25/12
SCALE	1"=20'
JOB NO.	110120
BOOK	98

Drawing name: X:\2011\110120\_survey\existing\_conditions\110120survey.dwg May 25, 2012 - 12:47pm

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**LEGEND:**

	EXISTING SANITARY SEWER		EXISTING GAS LINE
	EXISTING STORM SEWER		EXISTING OVERHEAD ELECTRIC
	EXISTING WATERMAIN		EXISTING TELEPHONE
	EXISTING SANITARY MANHOLE		EXISTING UNDERGROUND ELECTRIC
	EXISTING CATCH BASIN		EXISTING LIGHT POLE
	EXISTING HYDRANT		EXISTING CURB & GUTTER TO REMAIN
	EXISTING WELL		EXISTING CURB & GUTTER TO BE REMOVED
	EXISTING TRANSFORMER		EXISTING PROPERTY LINE
	EXISTING GATE VALVE		TREES TO REMAIN
	CONCRETE SIDEWALK REMOVAL		TREE TO BE REMOVED
			EXISTING EASEMENT

**REMOVAL NOTES:**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- NOTIFY COPER STATE ONE CALL 48 HOURS PRIOR TO START OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, ALL PERMETER EROSION CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH GRADING & EROSION CONTROL PLAN, HAYE MILE CREEK WATERSHED DISTRICT AND THE CITY OF EDINA.
- REMOVAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND PROTECTING ALL UTILITY LINES PRIOR TO DIGGING AND DEMOLITION. OWNER AND ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR PUBLIC OR PRIVATE UTILITY LOCATIONS.
- DEMOLITION CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL REMOVED MATERIALS.
- REMOVAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES AND OBJECTS THAT INTERFERE WITH THE PROPOSED CONSTRUCTION AS SHOWN IN THIS DRAWING PACKAGE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE CITY OF EDINA.
- ALL WORK WITHIN THE PUBLIC R.O.W. SHALL COMPLY WITH THE CITY OF EDINA OR HENRIKSON COUNTY ENGINEERING DESIGN STANDARDS.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING OUTLET GRADES AT THE PROPOSED DRIVEWAYS CONNECTIONS, PRIOR TO THE START OF SITE WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL DURING DEMOLITION OF EXISTING CURBOUT ACCESS ON PUBLIC R.O.W.
- CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST NUISANCE OCCASIONED BY AND DURING CONSTRUCTION, UNTIL THE PROJECT HAS BEEN COMPLETED.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES AND STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
- CONTRACTOR SHALL NOT IMPED EXISTING TRAFFIC CIRCULATION TO ADJACENT BUSINESSES.
- ANY AFFECTED OR REMOVED PUBLIC R.O.W. PAVEMENT AND CURBING SHALL BE REPLACED WITH THE EQUIVALENT PAVEMENT SECTION.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF THE EXISTING BITUMINOUS. BITUMINOUS SHALL BE SAWCUT ON JACK HAMMERED FOR STRAIGHT EDGES. TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING. MATCH EXISTING GRADES.
- CONTRACTOR SHALL COORDINATE PRIVATE/PUBLIC UTILITIES RELOCATES, SUCH AS TRAFFIC SIGNAL MANHOLES, AND WIRING, ETC.

**GENERAL NOTES:**

- ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- PROTECT EXISTING CONCRETE SIDEWALKS AND CURBING AND BITUMINOUS TRAILS AND PARKING LOT PAVEMENT TO REMAIN DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY CRACKED OR BROKEN CONCRETE PANELS OR DAMAGED BITUMINOUS PAVEMENTS CAUSED BY SITE CONSTRUCTION.
- CONTRACTOR SHALL PERFORM SWEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED.
- CONTRACTOR SHALL PROVIDE TEMPORARY STREET SIGNS, LIGHTING, AND ADDRESSSES DURING CONSTRUCTION PERIOD.
- ALL CONSTRUCTION AND POST CONSTRUCTION PARKING SHALL BE ON-SITE, NO ON-STREET PARKING/LOADING/UNLOADING ALLOWED.
- ALL PUBLIC SIDEWALKS AND TRAILS SHALL NOT BE OBSTRUCTED.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT OF WAY.
- CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH I-800 "TEMPORARY TRAFFIC ZONE LAYOUTS" - FIELD MANUAL DATED JANUARY 2007, FOR CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY.

**PRELIMINARY**  
NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Mark Rausch, PE

Date \_\_\_\_\_ Reg. No. 43480  
Project Manager \_\_\_\_\_

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FAX (612) 758-3099

Client: \_\_\_\_\_  
Project: **MOUNT DEVELOPMENT CO.**  
**EDINA MEDICAL PLAZA RE-ZONING SUBMITTAL**  
Location: **6500 FRANCE AVENUE SOUTH EDINA, MINNESOTA**

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_  
CITY SUBMITTAL 9/10/2012

Sheet Title: **EXISTING CONDITIONS AND DEMO PLAN**  
Project Number: 11.064 Sheet Number: C1.0









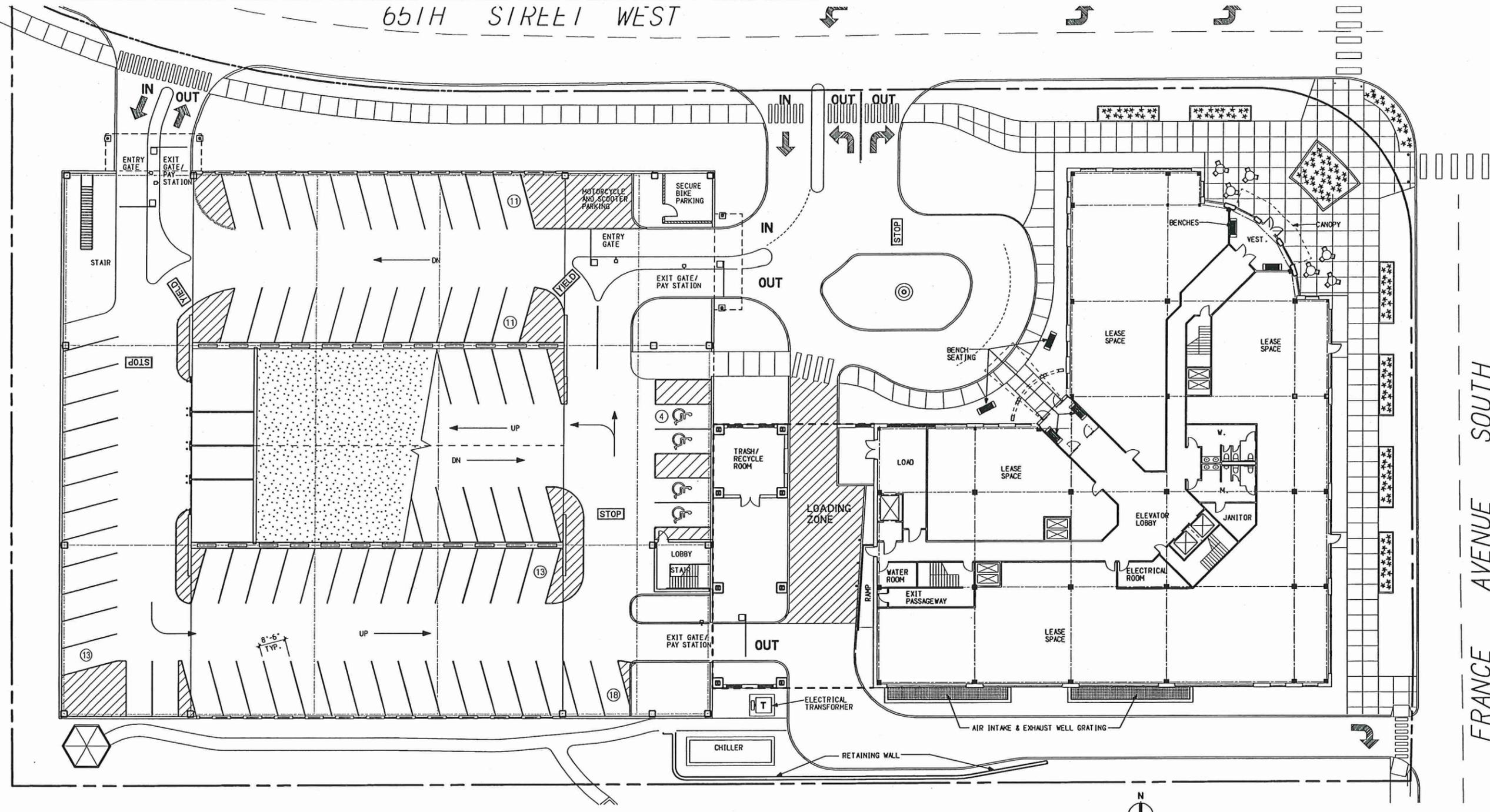




65TH STREET WEST

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Edward A. Farr

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Project Manager \_\_\_\_\_  
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1 FIRST FLOOR & PARKING LEVEL 1 PLAN  
SCALE: 1/16" = 1'-0"

**EDWARD FARR ARCHITECTS INC**

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www.edwardfarr.com

**AURORA Investments, LLC**

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**MOUNT DEVELOPMENT CO.**

Project  
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Location  
**6500 FRANCE AVENUE SOUTH EDINA, MINNESOTA**

Issued For \_\_\_\_\_ Date \_\_\_\_\_  
CITY SUBMITTAL 9/10/2012

Sheet Title  
**FIRST FLOOR PLAN**

Project Number \_\_\_\_\_ Sheet Number \_\_\_\_\_  
**11.064 A2.1**

**PARKING TABULATION**

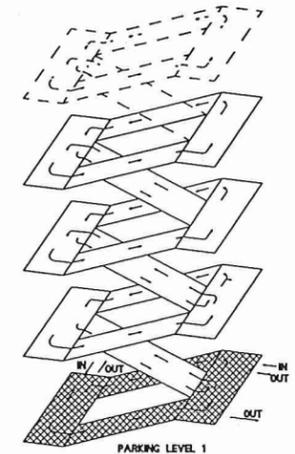
Required Parking - w/ Retail option:  
Retail, 1<sup>st</sup> Floor - 7,000 GSF: 8/1000 + (6/1000 X 6000 GSF) = 44 Stalls  
Medical Office - 95,478 GSF: 1/200 + 1/3500 (Doctors) = 504 Stalls  
Total Required Parking = 548 Stalls

Required Parking - no Retail:  
Medical Office - 102,478 GSF: 1/200 + 1/3500 (Doctors) = 542 Stalls  
Total Required Parking = 542 Stalls

Provided Parking:

Level 1 (on grade)	74 (includes 4 accessible)
Level 2 (ramp)	117 (no accessible)
Level 3 (ramp)	116 (includes 3 accessible)
Level 4 (ramp)	116 (includes 3 accessible)
Level 5 Ramp (proof of pkg)	125 (includes 1 accessible)
<b>Total Possible</b>	<b>548</b>

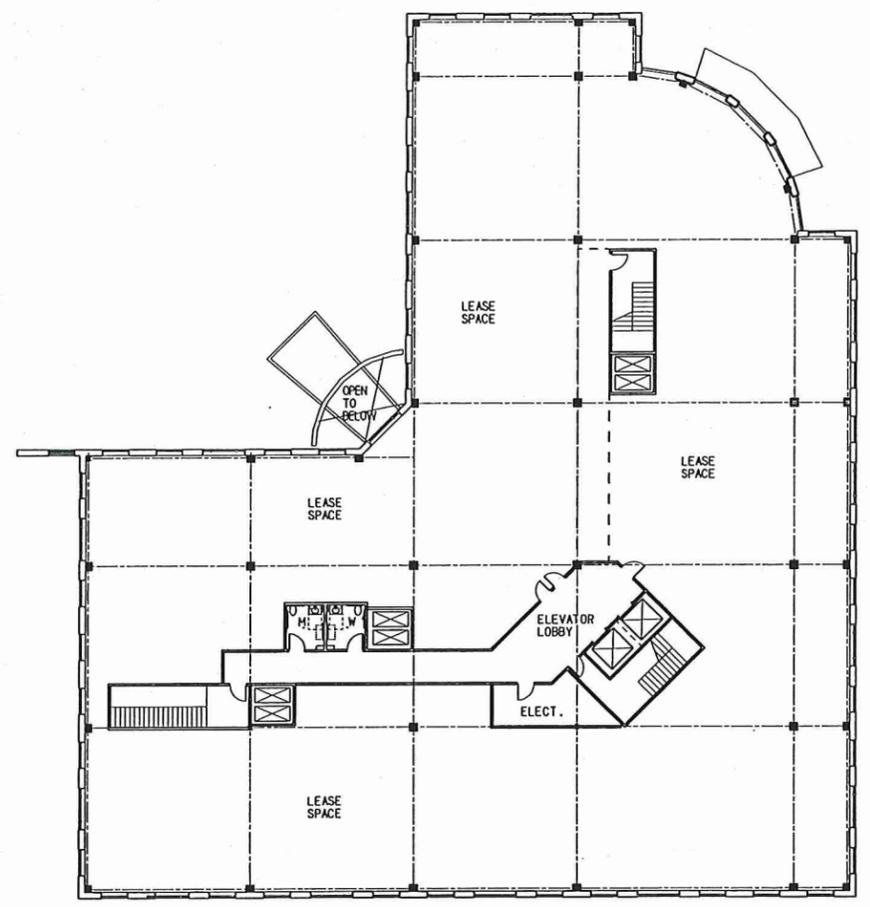
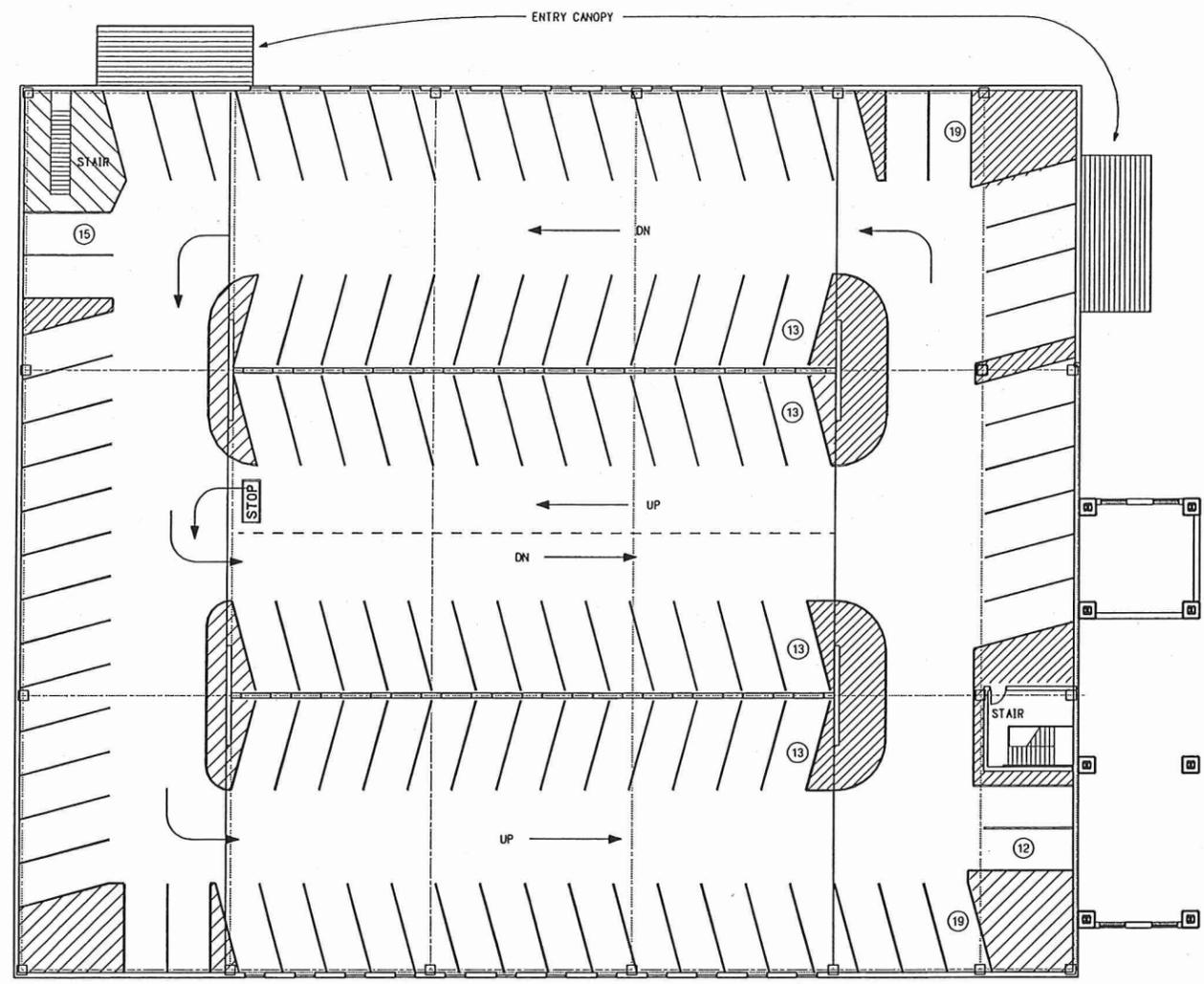
Refer to Narrative for parking reductions strategies included in the project: bicycle room/showers / lockers, Zip-car program, motorcycle/scooter parking and more.



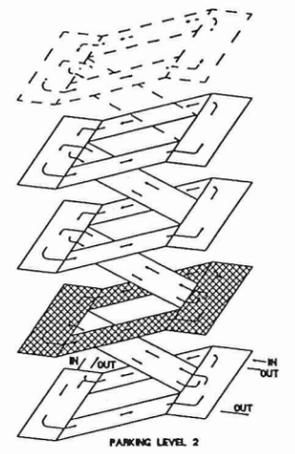
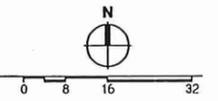
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 Edward A. Farr

Date \_\_\_\_\_ Reg. No. 16362  
 Project Manager \_\_\_\_\_  
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1 SECOND FLOOR & PARKING LEVEL 2 PLAN  
 SCALE: 1/16" = 1'-0"



**PARKING TABULATION**

Required Parking - w/ Retail option:  
 Retail, 1<sup>st</sup> Floor - 7,000 GSF: 8/1000 + (6/1000 X 6600 GSF) = 44 Stalls  
 Medical Office - 95,478 GSF: 1/200 + 1/3500 (Doctors) = 504 Stalls  
 Total Required Parking = 548 Stalls

Required Parking - no Retail:  
 Medical Office - 102,478 GSF: 1/200 + 1/3500 (Doctors) = 542 Stalls  
 Total Required Parking = 542 Stalls

Provided Parking:

Level 1 (on grade)	74 (includes 4 accessible)
Level 2 (ramp)	117 (no accessible)
Level 3 (ramp)	116 (includes 3 accessible)
Level 4 (ramp)	116 (includes 3 accessible)
Level 5 Ramp (proof of pkg)	125 (includes 1 accessible)
<b>Total Possible</b>	<b>548</b>

Refer to Narrative for parking reductions strategies included in the project: bicycle room/showers / lockers, Zip-car program, motorcycle/scooter parking and more.

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**AURORA Investments, LLC**

Client  
 MOUNT DEVELOPMENT CO.

Project  
**EDINA MEDICAL PLAZA RE-ZONING SUBMITTAL**  
 Location  
**6500 FRANCE AVENUE SOUTH EDINA, MINNESOTA**

Issued For  
 CITY SUBMITTAL

Date  
 9/10/2012

Sheet Title  
**SECOND FLOOR PLAN**

Project Number  
**11.064**

Sheet Number  
**A2.2**

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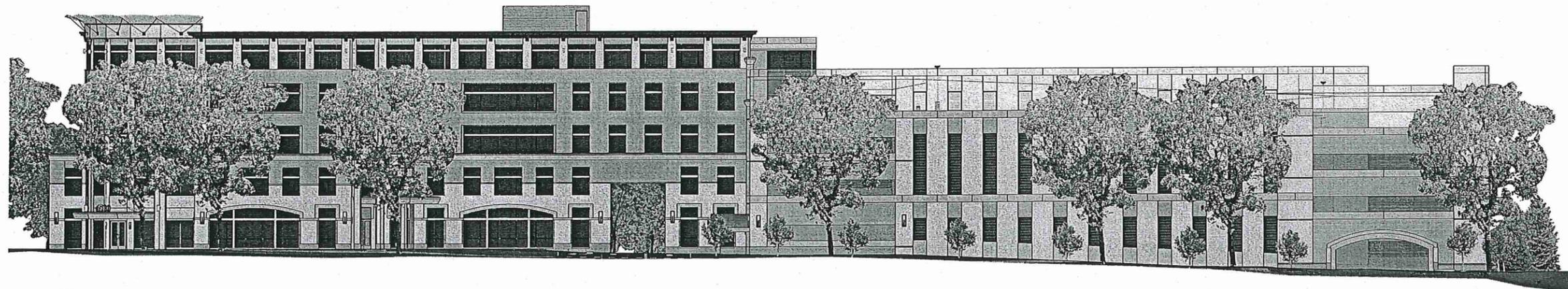




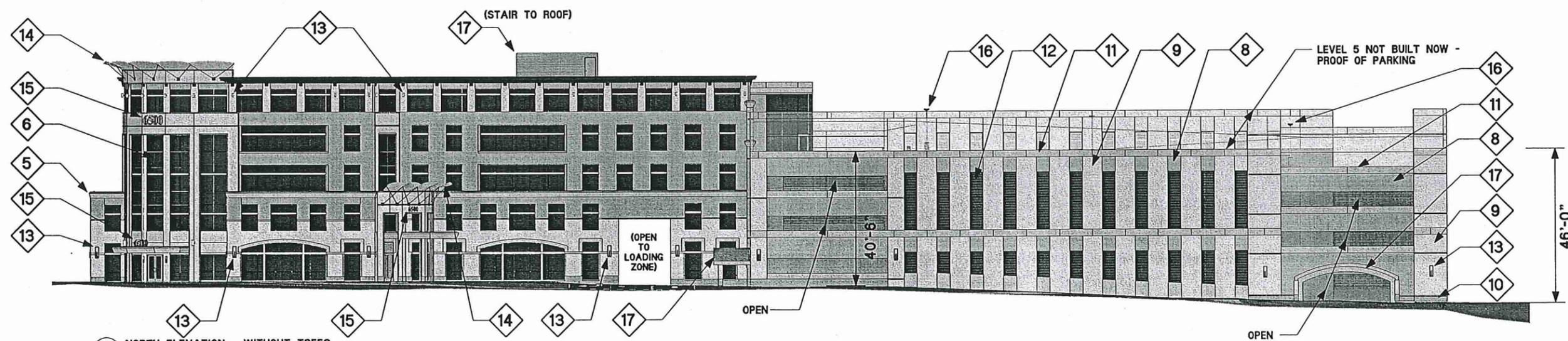
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Edward A. Farr

Date \_\_\_\_\_ Reg. No. 16362  
Project Manager \_\_\_\_\_

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- MATERIALS LEGEND**
- 1 FACE BRICK #1 - FIELD
  - 2 FACE BRICK #2 - BASE
  - 3 FACE BRICK #3 - ACCENT
  - 4 EIFS CORNICE
  - 5 PRECAST (PC) CORNICE
  - 6 BRONZE REFLECTIVE GLASS IN CHAMPAGNE ALUM FRAMES
  - 7 ARCH'L PC CONC - LIMESTONE
  - 8 STRUCT PC CONC #1 - EXP AGG TO MATCH BRICK #1
  - 9 STRUCT PC CONC #2 - ACID ETCH TO MATCH BRICK #2
  - 10 STRUCT PC CONC #3 - ACID ETCH TO MATCH BRICK #3
  - 11 PC CONC #4 TO MATCH PRECAST CORNICE
  - 12 PREFINISHED LOUVER
  - 13 DECORATIVE WALL LIGHT
  - 14 TRANSLUCENT CROWN W/ STAINLESS STEEL SUPPORT
  - 15 BUILDING ADDRESS NUMBERS
  - 16 LIGHT POLES, METAL HALIDE
  - 17 PREFINISHED METAL PANELS
  - 18 ORNAMENTAL GUARDRAIL



1 NORTH ELEVATION - WITH TREES  
SCALE: 1/16"=1'-0"



2 NORTH ELEVATION - WITHOUT TREES  
SCALE: 1/16"=1'-0"

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**AURORA Investments, LLC**

Client \_\_\_\_\_

MOUNT DEVELOPMENT CO.

Project  
**EDINA MEDICAL PLAZA RE-ZONING SUBMITTAL**  
Location  
6500 FRANCE AVENUE SOUTH EDINA, MINNESOTA

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Sheet Title  
**NORTH ELEVATIONS**

Project Number \_\_\_\_\_ Sheet Number \_\_\_\_\_  
**11.064 A5.1**

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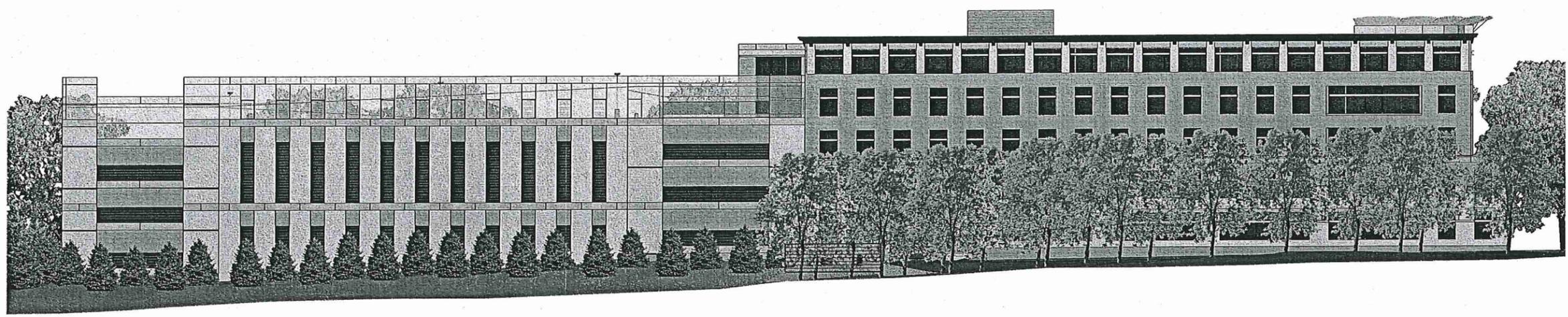
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**MATERIALS LEGEND**

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- 17 PREFINISHED METAL PANELS
- 18 ORNAMENTAL GUARDRAIL



**1 SOUTH ELEVATION - WITH TREES**  
SCALE: 1/16"=1'-0"

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**AURORA Investments, LLC**

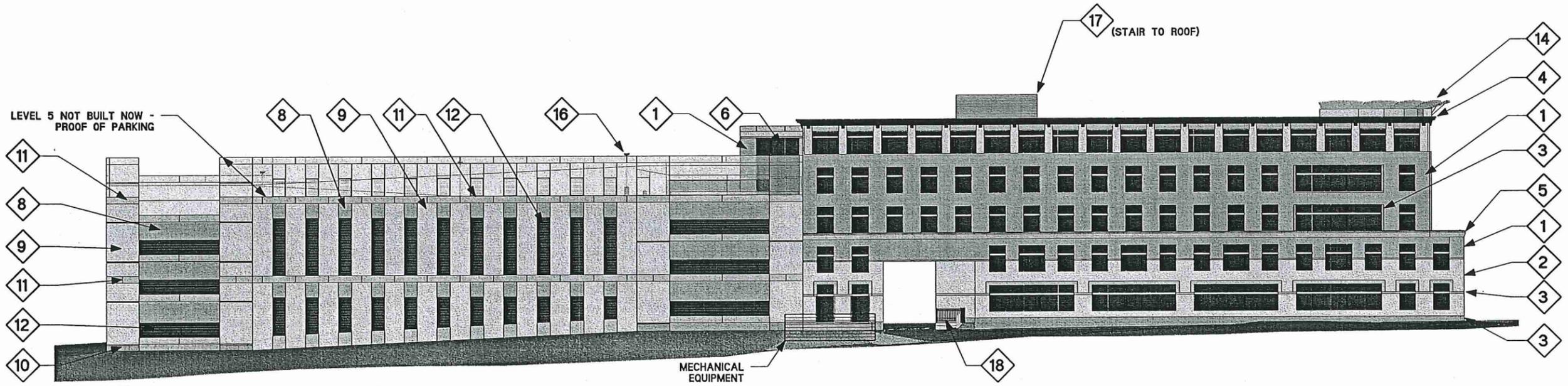
Client  
MOUNT DEVELOPMENT CO.

Project  
**EDINA MEDICAL PLAZA RE-ZONING SUBMITTAL**  
Location  
8500 FRANCE AVENUE SOUTH  
EDINA, MINNESOTA

Issued For \_\_\_\_\_ Date \_\_\_\_\_  
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Sheet Title  
**SOUTH ELEVATIONS**

Project Number \_\_\_\_\_ Sheet Number \_\_\_\_\_  
**11.064 A5.2**



**2 SOUTH ELEVATION - WITHOUT TREES**  
SCALE: 1/16"=1'-0"

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