

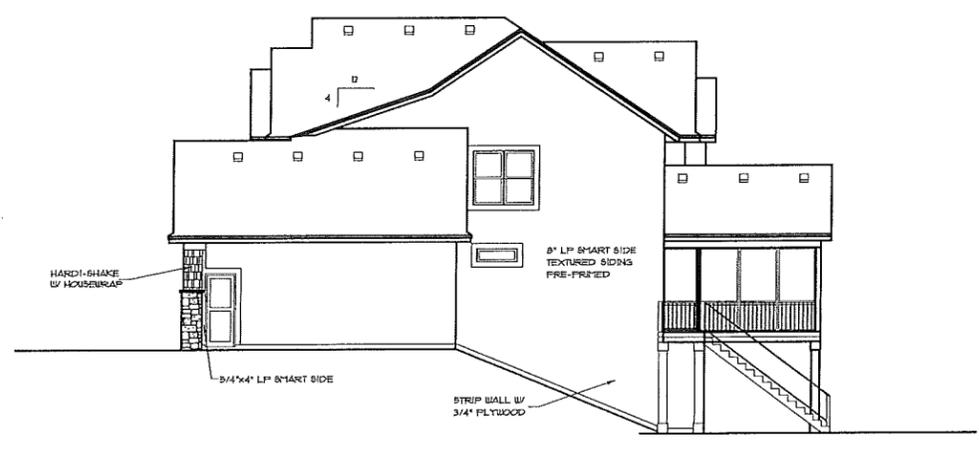
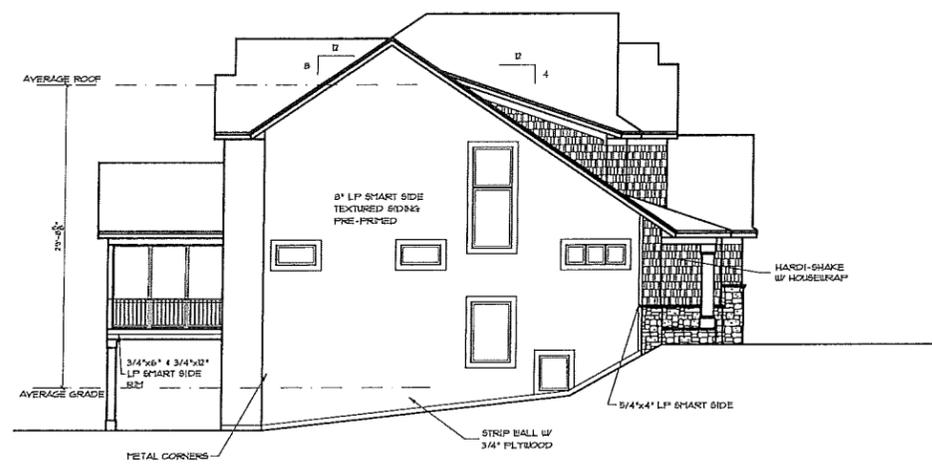
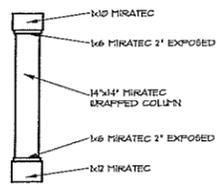
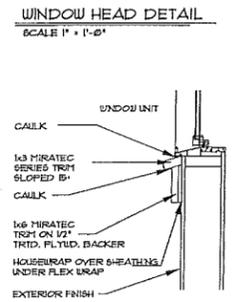
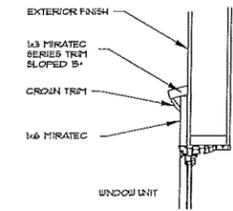
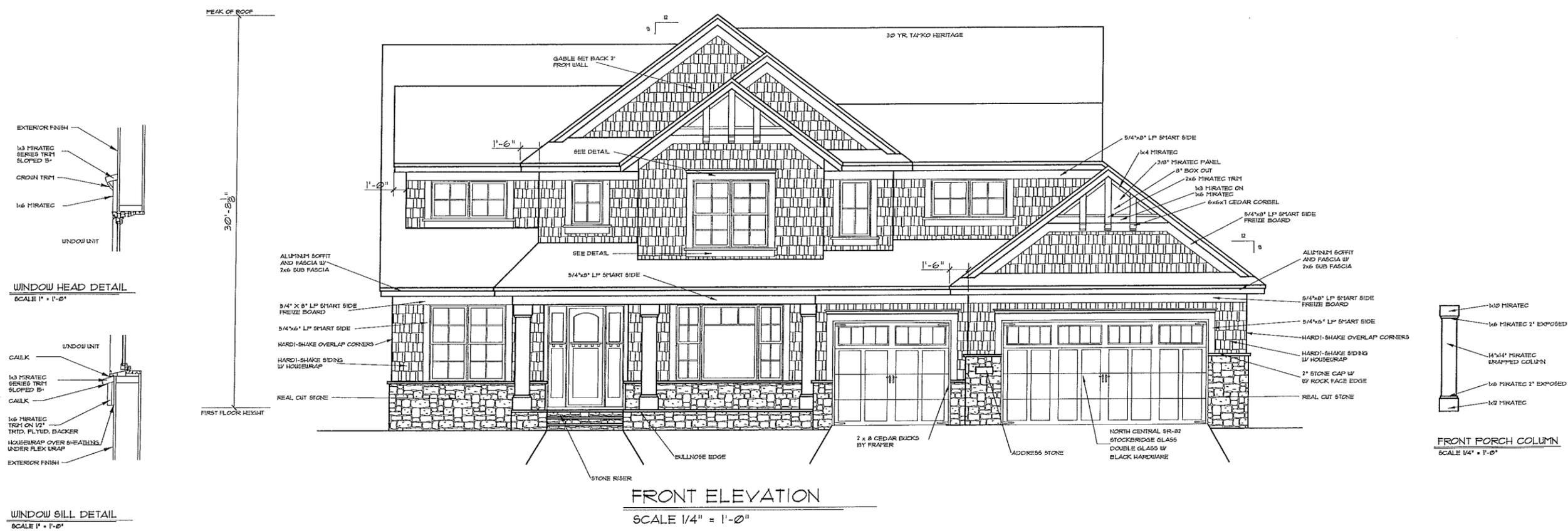
DRAWN BY: MATT J.
DATE: 8-28-14
REVISIONS
7-16-14
7-25-14
8-13-14

CHAD & JENNIFER HELMER
5808 CREEK VALLEY ROAD
EDINA, MN

TRADITIONAL SERIES
WOODDALE BUILDERS, INC.
6109 BLUE CIRCLE DR.
MINNETONKA, MN 55343
PH. 952-345-0543



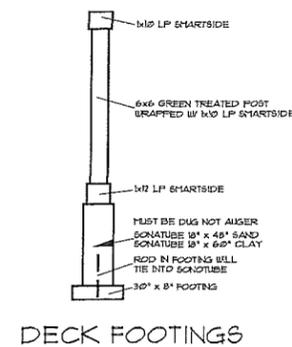
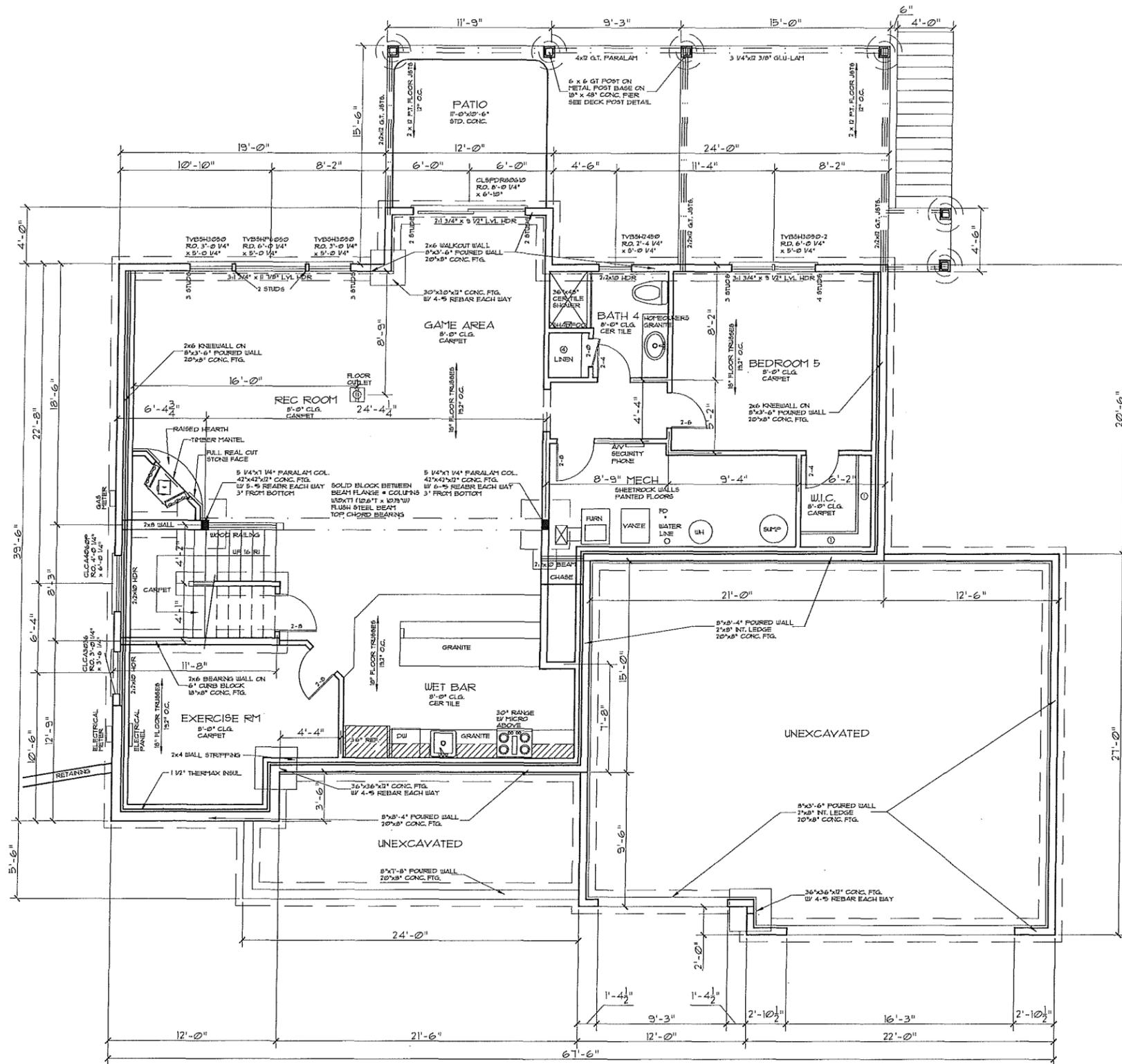
SHEET NO.
A1
OF
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ICE DAM PROTECTION
1 LAYER OF #40 COATED ROOFING OR COATED GLASS IS BASE SHEET SHALL BE APPLIED FROM THE EAVES TO A LINE 2" INSIDE THE EXTERIOR WALL LINE WITH ALL LAPS JOINTED TOGETHER

ATTIC VENTILATION
PROVIDE ATTIC VENTILATION EQUAL TO 3200% OF ATTIC AREA.
ROOF VENTS - 50%
SOFFIT VENTS - 50%

FLASHING
FLASHING TO BE INSTALLED UNDER RES. PLYWOOD PANELS, JUNCTION OF ROOF AND WALLS, CHIMNEYS, ROOF VALLEYS, CHANGE OF SIDING MATERIALS, OR WHERE SIDING MEETS A TRIM BOARD AT BOTTOM OF A WALL.
PATIO DOORS TO HAVE FLASHING UNDER THRESHOLD AND BEHIND THRESHOLD SUPPORT.
ALL OPENINGS TO EXTERIOR MUST BE CAULKED & FLASHED.



NOTES:
 - 1 1/2" THERMAX W/ FIRERATED FOIL INSIDE
 GLUED TO WALL, ALL JOINTS TAPED
 - SPRAYED RIMS 2 1/2" R-16 (ALL RIMS)

MAIN FLOOR	1755 SQ. FT.
SECOND FLOOR	2019 SQ. FT.
1ST & 2ND TOTAL	3834 SQ. FT.
LOWER FLOOR	1594 SQ. FT.
TOTAL FINISHED	5428 SQ. FT.
SCREEN PORCH	233 SQ. FT.
GARAGE	876 SQ. FT.

LOWER LEVEL:	
FOUNDATION:	
FOUNDED CONC.	8'-4"
WINDOWS AND DOORS:	
TOP OF RO.	6'-10 1/2"
PLYGEM WINDOWS & PATIO DOORS	
RO.+3/4" LARGER THAN FRAME SIZE	

FOUNDATION PLAN

SCALE 1/4" = 1'-0"

DRAWN BY:
MATT J.

DATE:
8-28-14

REVISIONS

7-16-14
 7-25-14
 8-13-14

CHAD & JENNIFER HELMER

5808 CREEK VALLEY ROAD
 EDINA, MN

TRADITIONAL SERIES

WOODDALE BUILDERS, INC.

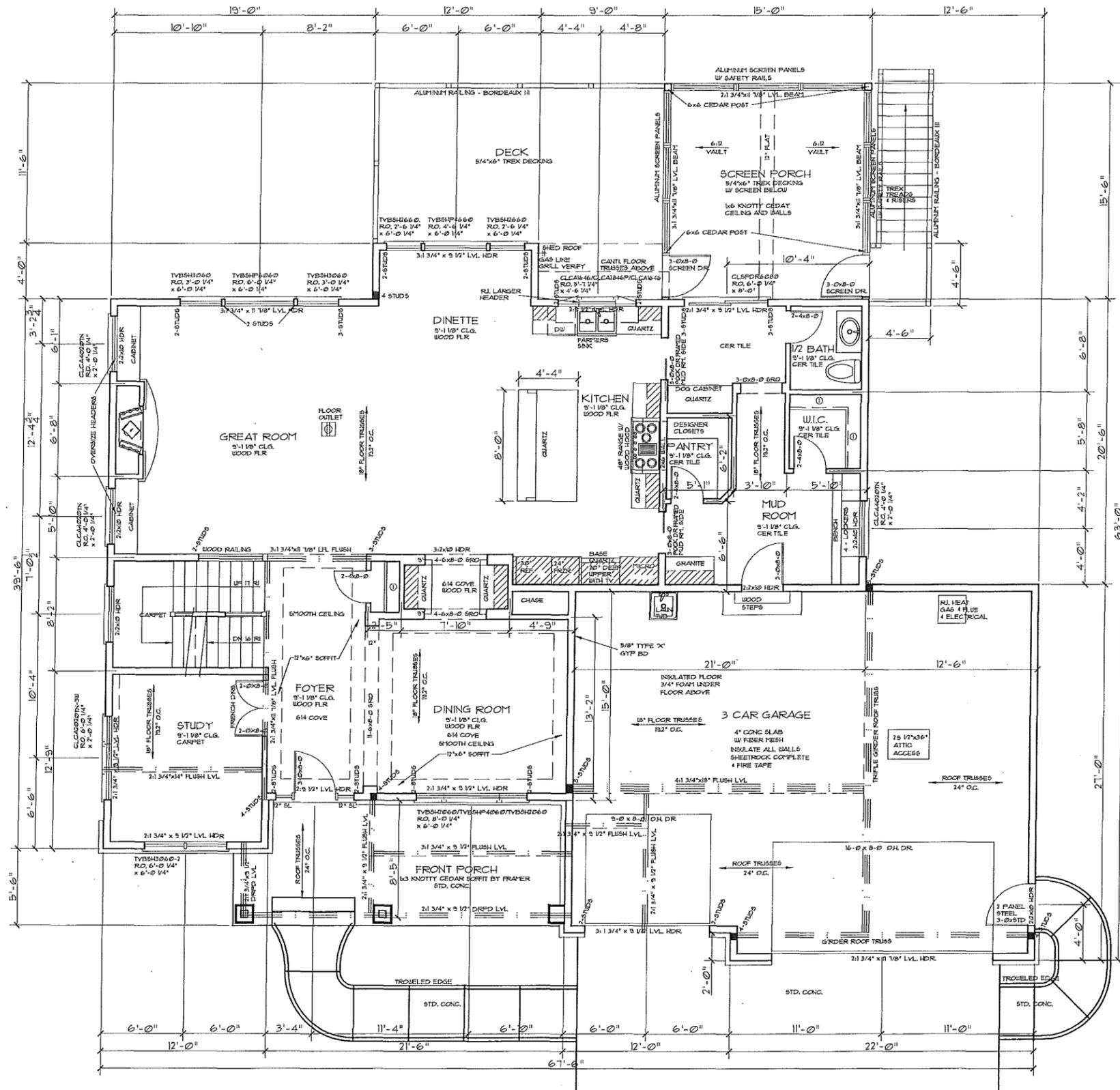
6109 BLUE CIRCLE DR.
 MINNETONKA, MN 55343
 PH. 952-346-0543



SHEET NO.

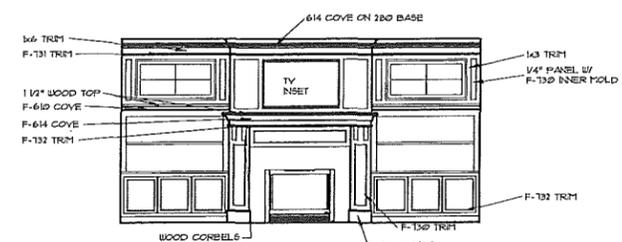
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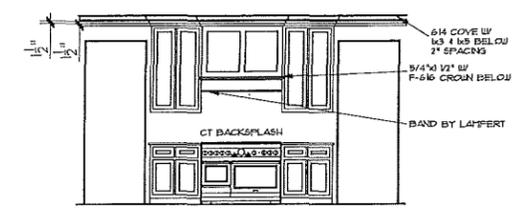


FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



GREATROOM FIREPLACE
SCALE 1/4" = 1'-0"



KITCHEN HOOD
SCALE 1/4" = 1'-0"

MAIN FLOOR	1755 SQ. FT.
SECOND FLOOR	2079 SQ. FT.
1ST & 2ND TOTAL	3834 SQ. FT.
LOWER FLOOR	1594 SQ. FT.
TOTAL FINISHED	5428 SQ. FT.
SCREEN PORCH	233 SQ. FT.
GARAGE	816 SQ. FT.

MAIN FLOOR:
WALLS:
PLATE HEIGHT: 9'-1 1/8"
WINDOWS AND DOORS:
TOP OF RO.: 8'-0"
FLYGEN WINDOWS & PATIO DOORS
RO.=3/4" LARGER THAN FRAME SIZE

DRAWN BY:
MATT J.

DATE:
8-28-14

REVISIONS

7-18-14	
7-25-14	
8-13-14	

CHAD & JENNIFER HELMER

5808 CREEK VALLEY ROAD
EDINA, MN

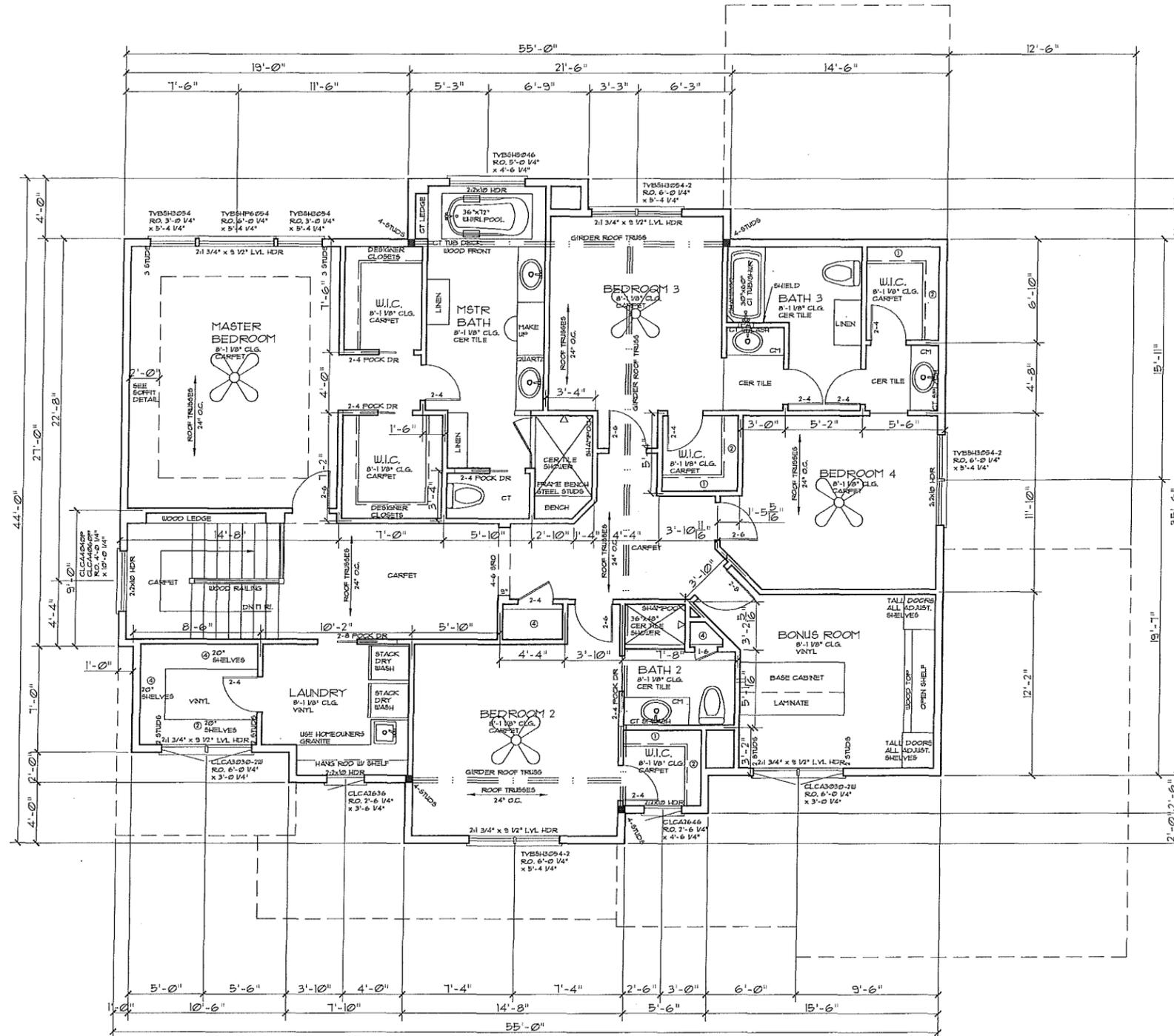
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WOODDALE BUILDERS, INC.

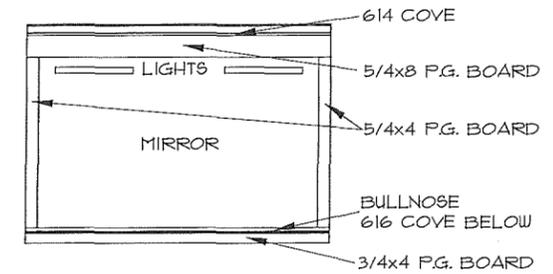
6109 BLUE CIRCLE DR.
MINNETONKA, MN 55343
PH: 952-345-0543



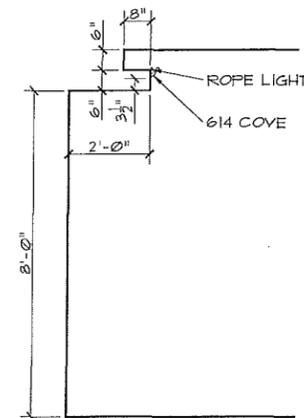
SHEET NO.
A3
OF
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SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



MASTER BATH MIRROR FRAME
SCALE 1/2" = 1'-0"



MASTER BEDROOM SOFFIT
SCALE 1/2" = 1'-0"

MAIN FLOOR	1755 SQ. FT.
SECOND FLOOR	2079 SQ. FT.
1ST & 2ND TOTAL	3834 SQ. FT.
LOWER FLOOR	1594 SQ. FT.
TOTAL FINISHED	5428 SQ. FT.
SCREEN PORCH	233 SQ. FT.
GARAGE	876 SQ. FT.

SECOND FLOOR:	
WALLS:	
PLATE HEIGHT:	8'-1 1/8"
WINDOWS AND DOORS:	
TOP OF R.O.:	6'-11 3/8"
PLYGEM WINDOWS & PATIO DOORS R.O. = 3/4" LARGER THAN FRAME SIZE	

DRAWN BY:
MATT J.

DATE:
8-28-14

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8-13-14

CHAD & JENNIFER HELMER

5808 CREEK VALLEY ROAD
EDINA, MN

TRADITIONAL SERIES

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PH: 952-345-0543



SHEET NO.

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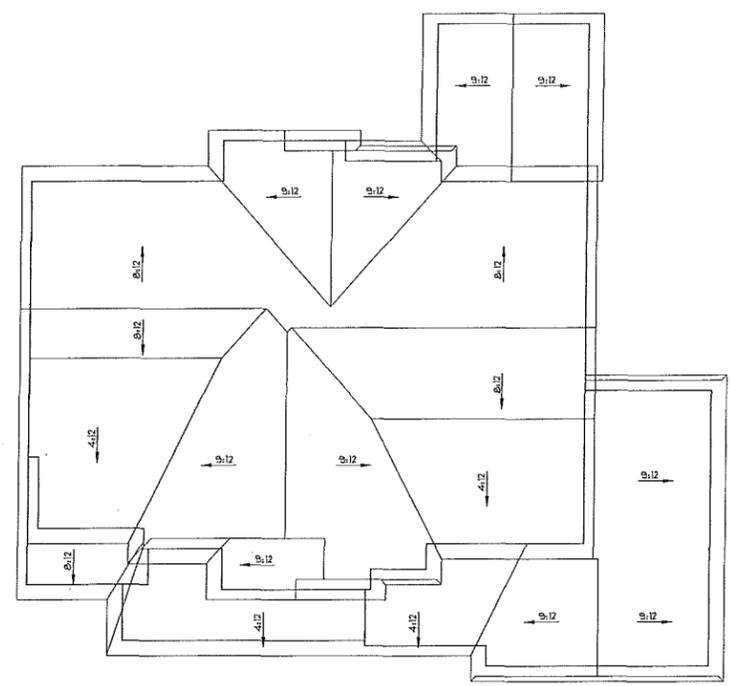
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CHAD & JENNIFER HELMER
5808 CREEK VALLEY ROAD
EDINA, MN

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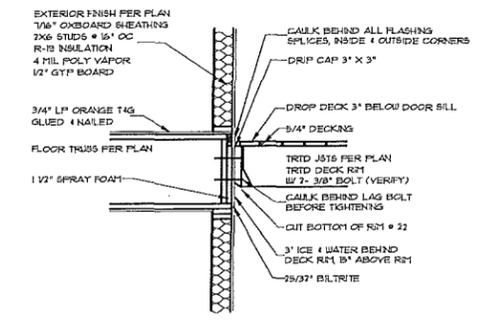
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ROOF PLAN

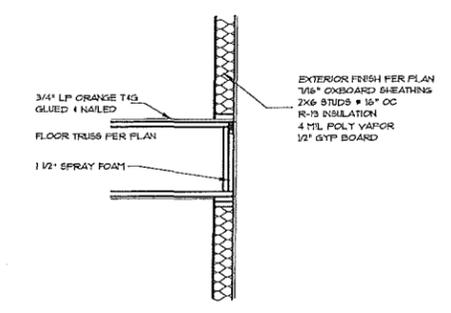
SCALE 1/8" = 1'-0"

- GENERAL NOTES:
- TYPICAL OVERHANGS (U.N.C.)
 - 18" AT EAVES
 - 12" AT GABLES
 - VENTILATE ROOF TO 1/320th OF INSULATED CEILING AREA
 - 50% IN EAVE
 - 30% IN UPPER 1/3 ATTIC



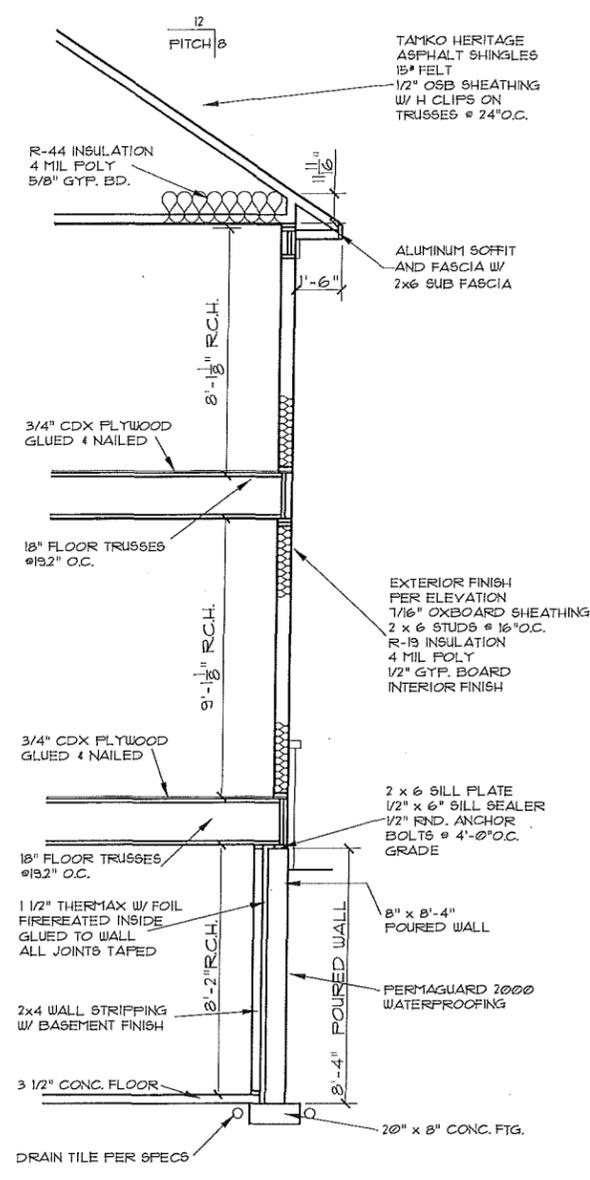
LEDGER DETAIL

SCALE 1/2" = 1'-0"



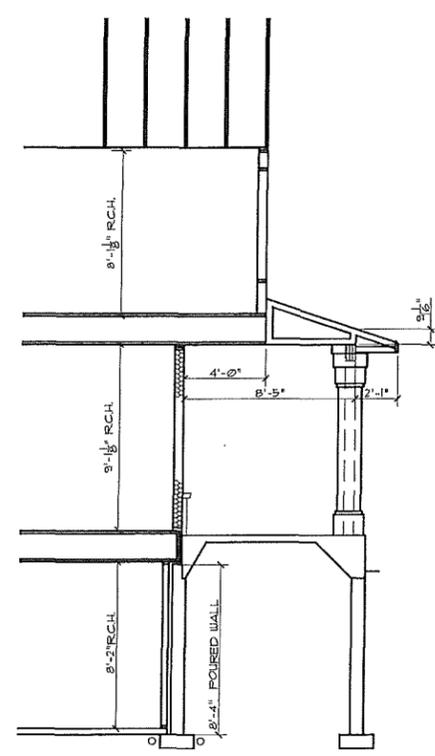
RIM DETAIL

SCALE 1/2" = 1'-0"



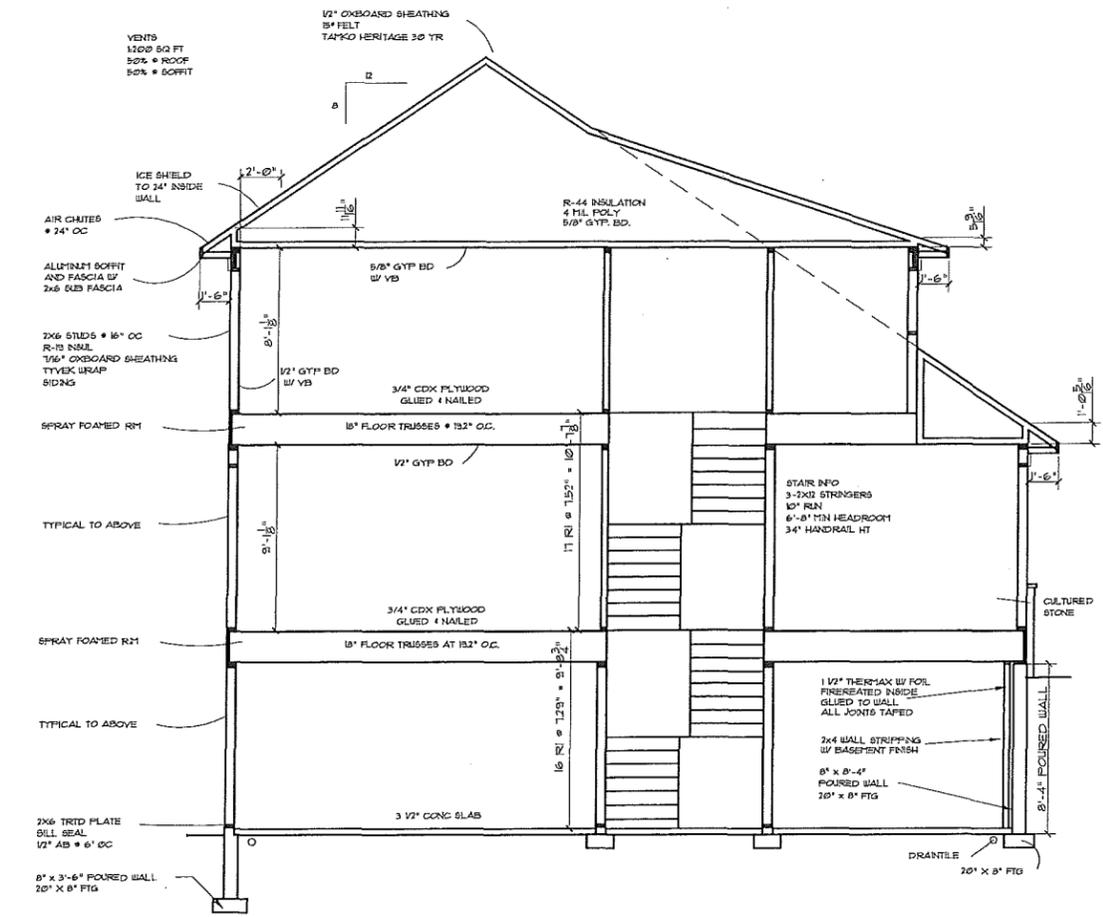
TYPICAL CROSS SECTION

SCALE 3/8" = 1'-0"



FRONT PORCH SECTION

SCALE 1/4" = 1'-0"



TYPICAL CROSS SECTION

SCALE 1/4" = 1'-0"

DRAWN BY:
MATT J.
DATE:
8-28-14

REVISIONS	
7-18-14	
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8-13-14	

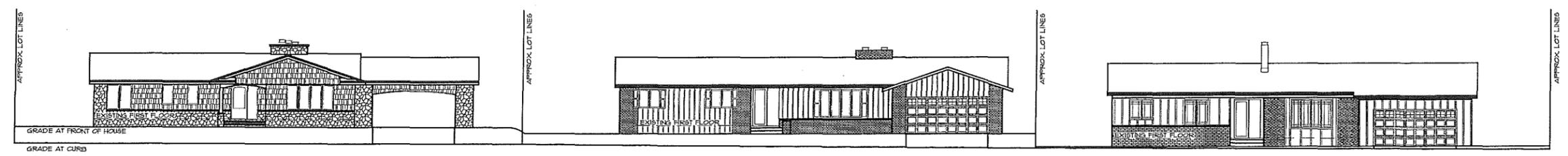
CHAD & JENNIFER HELMER
5808 CREEK VALLEY ROAD
EDINA, MN

TRADITIONAL SERIES
WOODDALE BUILDERS, INC.
6109 BLUE CIRCLE DR.
MINNETONKA, MN 55343
PH. 952-345-0513



SHEET NO.

OF
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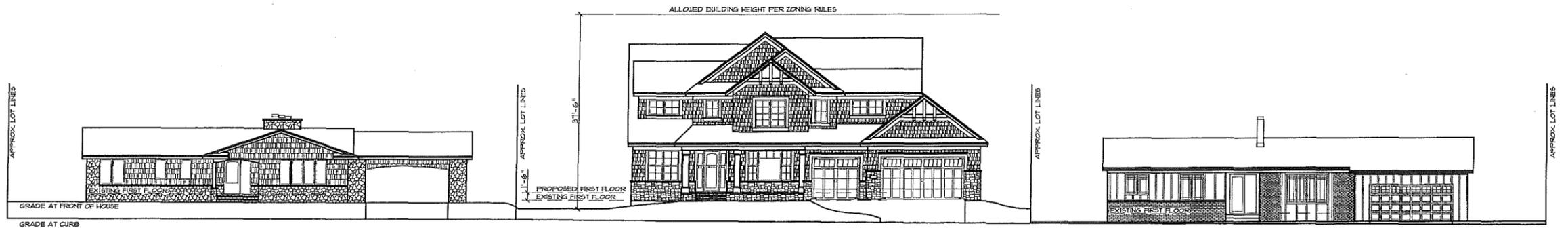


5812 CREEK VALLEY ROAD

5808 CREEK VALLEY ROAD

5804 CREEK VALLEY ROAD

EXISTING HOMES



5812 CREEK VALLEY ROAD

5808 CREEK VALLEY ROAD

5804 CREEK VALLEY ROAD

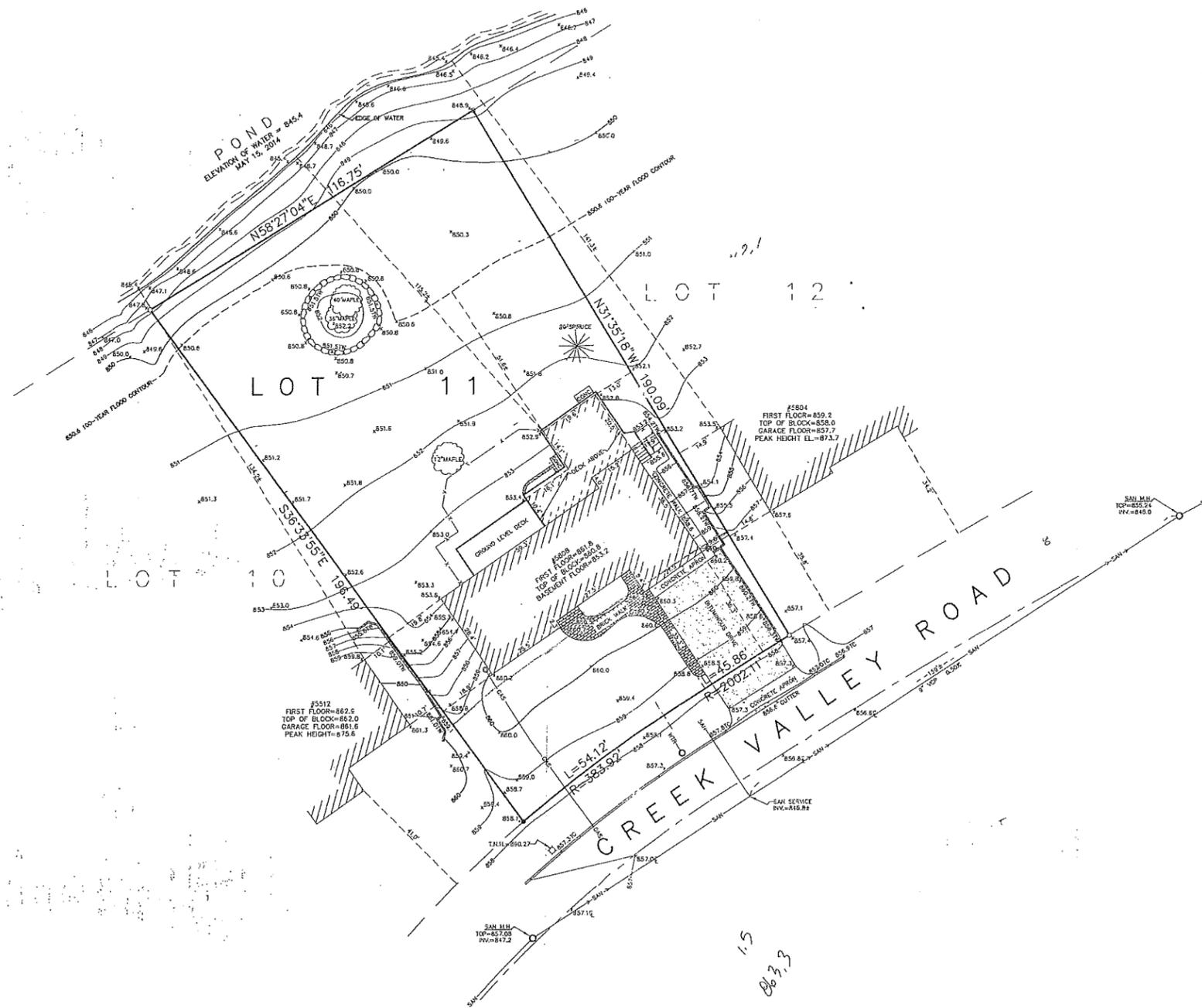
PROPOSED HOME

SITE ADDRESS: 5808 CREEK VALLEY RD,
EDINA, MN 55439

EXISTING CONDITION SURVEY FOR: GREAT NEIGHBORHOOD HOMES

Legend

- x — x — Fence
- SAN — Sanitary Sewer
- WTR — Water
- GAS — Underground Gas
- Manhole
- Gas Meter
- Water Shut Off Valve
- ◇ Hydrant
- ==== Concrete Curb
- ▤▤▤▤ Boulder Retaining Wall
- ▨▨▨▨ Timber Retaining Wall
- ▩▩▩▩ Keystone Retaining Wall
- x900.0 Existing Elevation
- x900.0TC Top of Curb Elevation
- x900.0TW Top of Wall Elevation
- 900- Existing Contour
- 850.6- 100-Year Flood Contour
- Denotes Iron Monument Found
- Denotes Set, 1/2" x 14" Iron Pipe w/ Plastic Cap inscribed R.L.S. 15230.



SCALE: 1 INCH = 20 FEET

PROPERTY DESCRIPTION: Lot 11, Block 2, CREEK VALLEY ADDITION,
Hennepin County, Minnesota.

BENCHMARK: T.N.H. at #5708 Creek Valley Rd.
Elevation = 873.98.

NOTE: No Search Was Made For Any Easements

NOTE: The location of all utilities shown are from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

W. BROWN LAND SURVEYING, INC.

Woodrow A. Brown
Woodrow A. Brown, R.L.S. MN REG 15230

Dated: 05-19-2014

EXISTING AREA CALCULATION:

Lot Area = 20,762 SF

IMPERVIOUS SURFACE:

House (Including Portion Below Deck) = 2,831 SF
Upper Level Deck (Excluding Portion Above House) = 100 SF
Ground Level Deck Less 150 SF Allowance = 116 SF

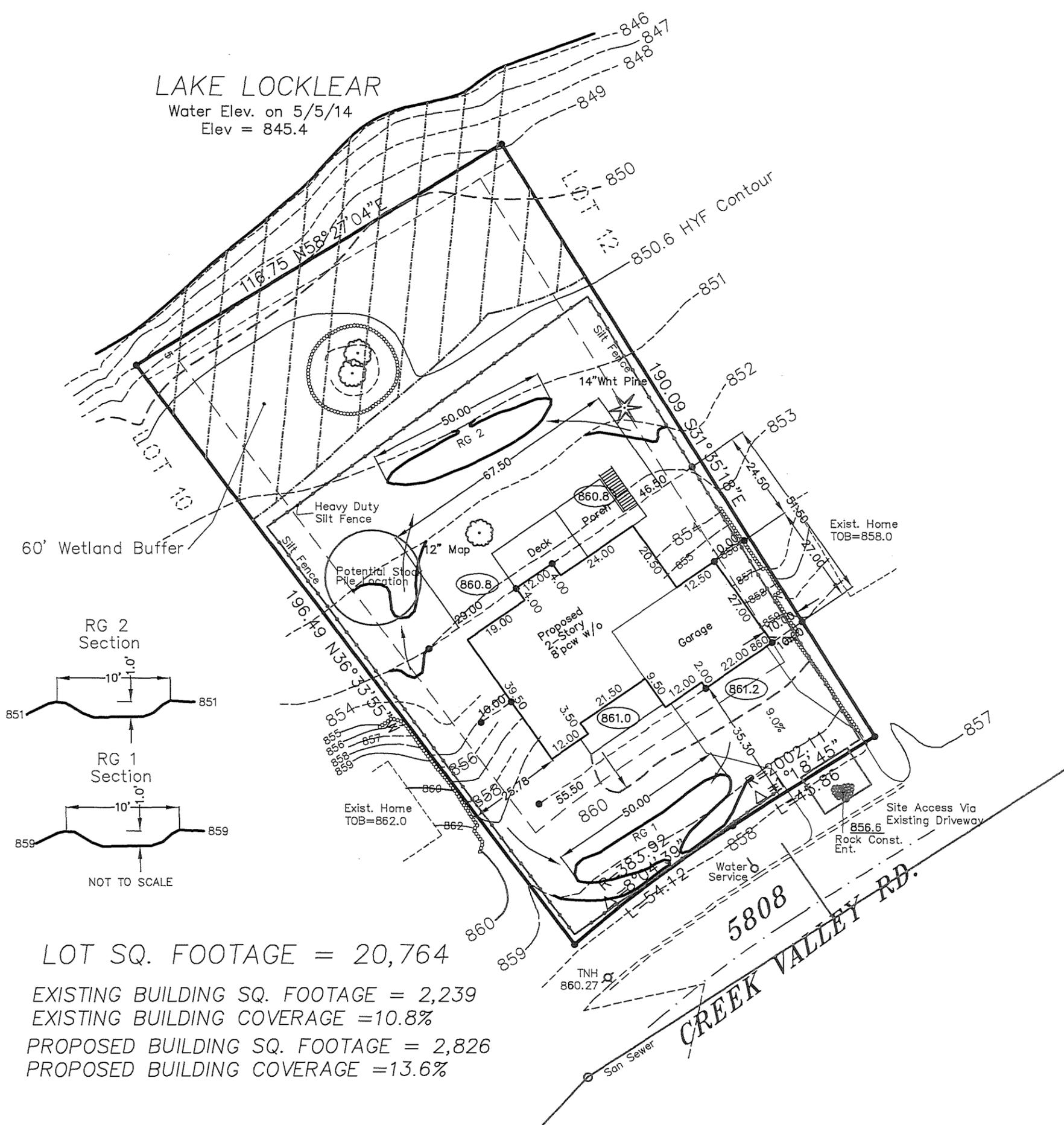
Total = 3,047 SF
= 14.7%

W. BROWN LAND SURVEYING, INC.
8030 Cedar Avenue So., Suite 228.
Bloomington, MN 55425
Bus: (952) 854-4055
Fax: (952) 854-4268

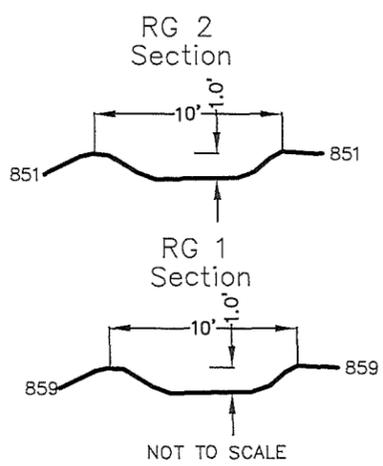
104
27
20

Surveyor's Certificate

SURVEY FOR : Wooddale
 DESCRIBED AS : Lot 11, Block 2, CREEK VALLEY ADDITION, City of Edina, Hennepin County, Minnesota and reserving easements of record.



LAKE LOCKLEAR
 Water Elev. on 5/5/14
 Elev = 845.4



LOT SQ. FOOTAGE = 20,764
 EXISTING BUILDING SQ. FOOTAGE = 2,239
 EXISTING BUILDING COVERAGE = 10.8%
 PROPOSED BUILDING SQ. FOOTAGE = 2,826
 PROPOSED BUILDING COVERAGE = 13.6%

PROPOSED ELEVATIONS

- Top of Foundation = 861.7 Finish Flr.=863.3
- Garage Floor = 861.3
- Basement Floor = 853.7
- Aprox. Sewer Service = Verify
- Proposed Elev. =
- Existing Elev. =
- Drainage Directions =
- Denotes Offset Stake =

SCALE: 1 inch = 30 feet

BENCHMARK,

MIN. SETBACK REQUIREMENTS

Front - 30 House Side - 10
 Rear - 60 Garage Side - 10
 From 850 Contour

HEDLUND
 PLANNING ENGINEERING SURVEYING
 2005 Pin Oak Drive
 Eagan, MN 55122
 Phone: (651) 405-6600
 Fax : (651) 405-6606

I HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT REPRESENTATION OF THE BOUNDARIES OF THE ABOVE DESCRIBED PROPERTY AS SURVEYED BY ME OR UNDER MY DIRECT SUPERVISION AND DOES NOT PURPORT TO SHOW IMPROVEMENTS OR ENCROACHMENTS, EXCEPT AS SHOWN.

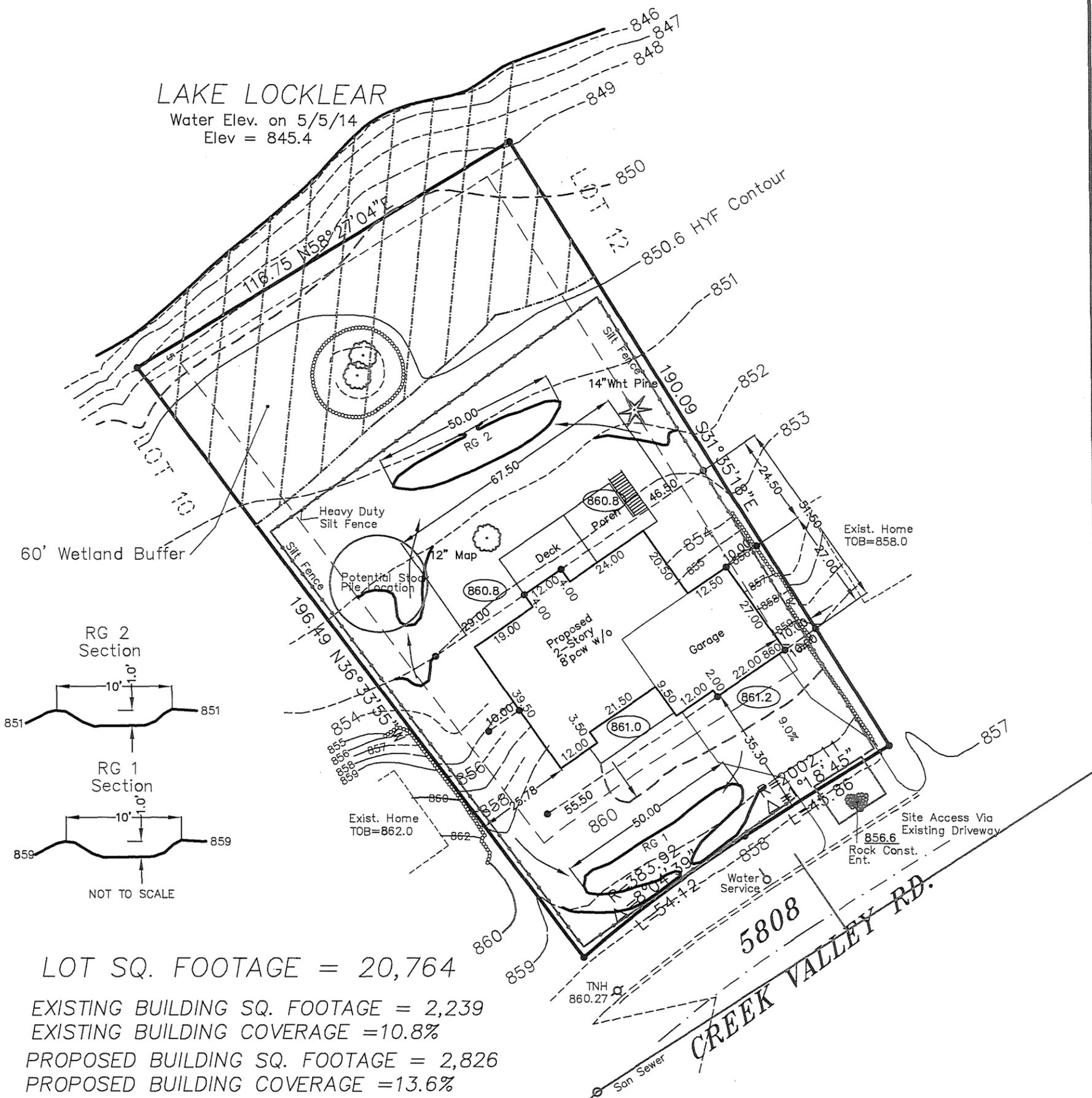
DATE 9 / 3 / 14

JEFFREY D. LINDGREN, LAND SURVEYOR
 MINNESOTA LICENSE NUMBER 14376

JOB NO: 14R-113	
BOOK:	PAGE:
CAD FILE: Misc-14	

Stormwater and Erosion Control Plan

SURVEY FOR : Wooddale
 DESCRIBED AS : Lot 11, Block 2, CREEK VALLEY ADDITION, City of Edina, Hennepin County, Minnesota and reserving easements of record.



LOT SQ. FOOTAGE = 20,764
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- Aprox. Sewer Service = Verify
- Proposed Elev. =
- Existing Elev. =
- Drainage Directions =
- Denotes Offset Stake =

BENCHMARK,

MIN. SETBACK REQUIREMENTS

- Front - 30 House Side - 10
- Rear - 60 Garage Side - 10
- From 850 Contour

SCALE: 1 inch = 30 feet

HEDLUND
 PLANNING ENGINEERING SURVEYING
 2005 Pin Oak Drive
 Eagan, MN 55122
 Phone: (651) 405-6600
 Fax : (651) 405-6606

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

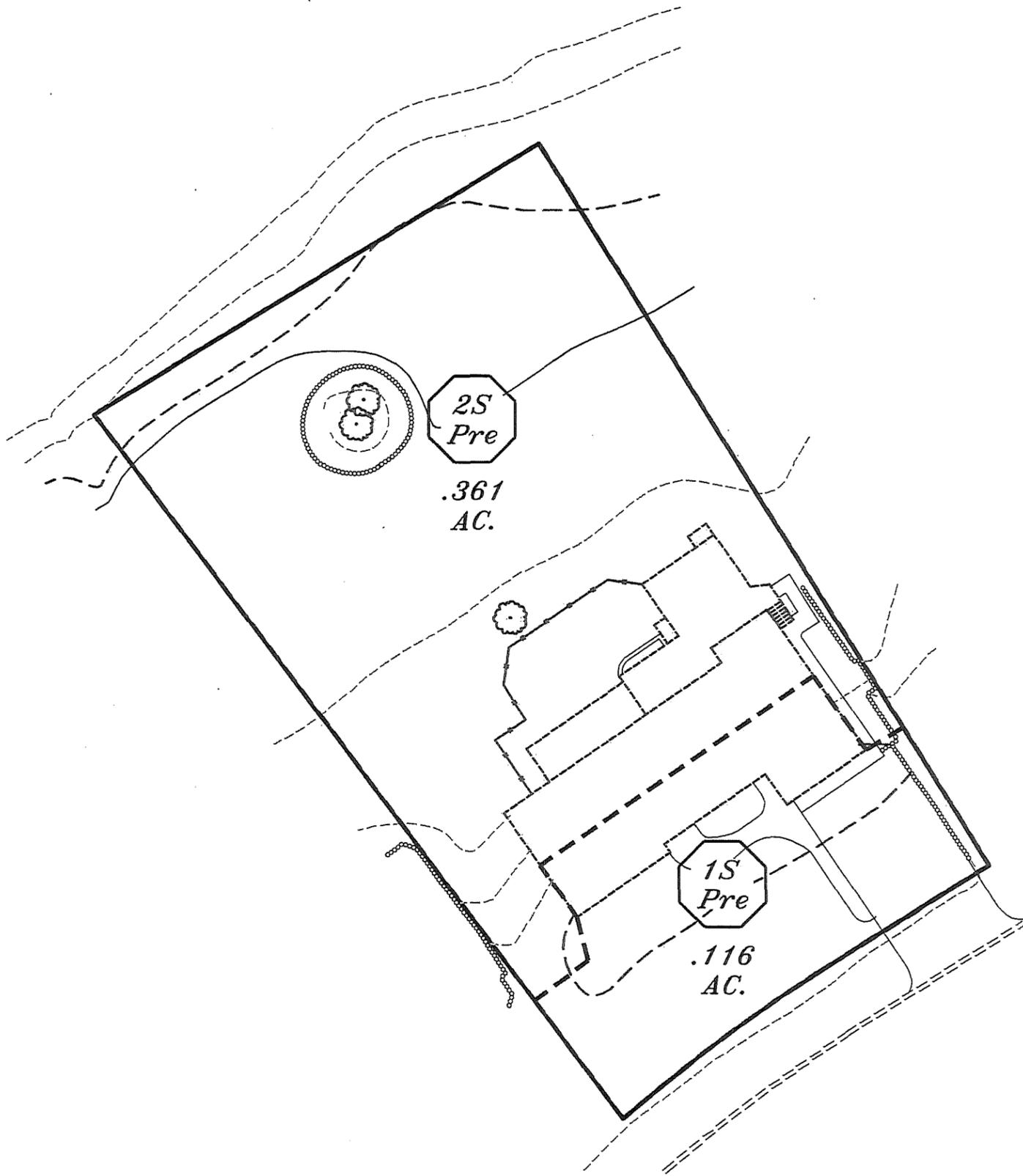
DATE 9 / 2 / 14

RANDALL C. HEDLUND
 MINNESOTA LICENSE NUMBER 19576

JOB NO:
 14R-113
 PAGE:
 1 of 2
 CAD FILE:
 Misc-14

Surveyor's Certificate

SURVEY FOR :
 DESCRIBED AS : EXISTING HOUSE DRAINAGE MAP



PROPOSED ELEVATIONS

- Top of Foundation =
- Garage Floor =
- Basement Floor =
- Aprox. Sewer Service =
- Proposed Elev. =
- Existing Elev. =
- Drainage Directions =
- Denotes Offset Stake =

SCALE: 1 inch = 30 feet

BENCHMARK,

MIN. SETBACK REQUIREMENTS

- Front - House Side -
- Rear - Garage Side -

HEDLUND

PLANNING ENGINEERING SURVEYING

2005 Pin Oak Drive
 Eagan, MN 55122
 Phone: (651) 405-6600
 Fax : (651) 405-6606

I HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT REPRESENTATION OF THE BOUNDARIES OF THE ABOVE DESCRIBED PROPERTY AS SURVEYED BY ME OR UNDER MY DIRECT SUPERVISION AND DOES NOT PURPORT TO SHOW IMPROVEMENTS OR ENCROACHMENTS, EXCEPT AS SHOWN.

DATE ____/____/____

JEFFREY D. LINDGREN, LAND SURVEYOR
 MINNESOTA LICENSE NUMBER 14376

JOB NO:

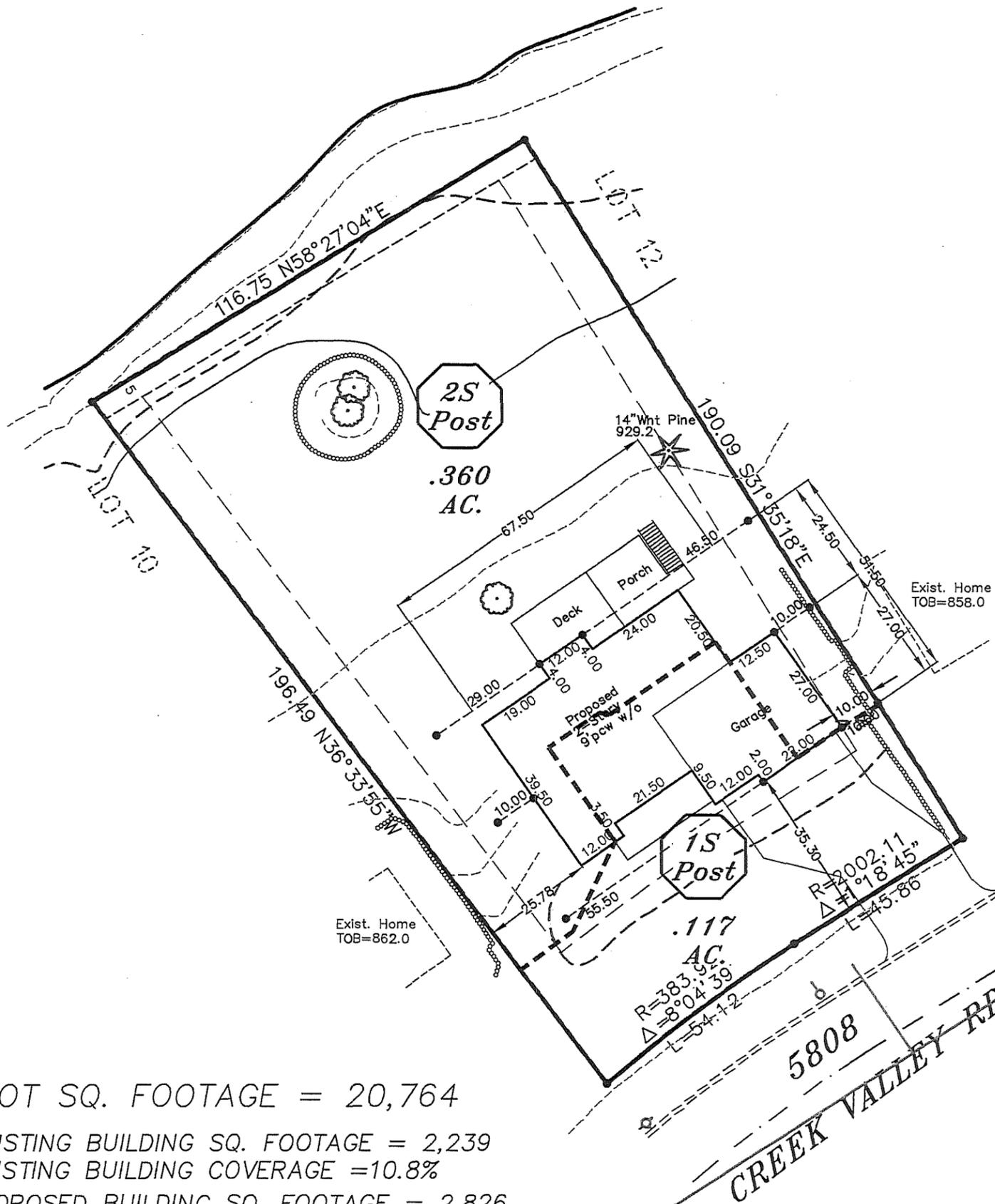
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Surveyor's Certificate

SURVEY FOR : Wooddale
 DESCRIBED AS : Lot 11, Block 2, CREEK VALLEY ADDITION, City of Edina, Hennepin County,
 Minnesota and reserving easements of record.
 PROPOSED HOUSE DRAINAGE MAP



LOT SQ. FOOTAGE = 20,764
 EXISTING BUILDING SQ. FOOTAGE = 2,239
 EXISTING BUILDING COVERAGE = 10.8%
 PROPOSED BUILDING SQ. FOOTAGE = 2,826
 PROPOSED BUILDING COVERAGE = 13.6%

PROPOSED ELEVATIONS

- Top of Foundation =
- Garage Floor =
- Basement Floor =
- Aprox. Sewer Service =
- Proposed Elev. =
- Existing Elev. =
- Drainage Directions =
- Denotes Offset Stake =



SCALE: 1 inch = 30 feet

BENCHMARK,

MIN. SETBACK REQUIREMENTS

- Front - House Side -
- Rear - Garage Side -

HEDLUND
 PLANNING ENGINEERING SURVEYING

2005 Pin Oak Drive
 Eagan, MN 55122
 Phone: (651) 405-6600
 Fax : (651) 405-6606

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DATE 0 / 0 / 0

JEFFREY D. LINDGREN, LAND SURVEYOR
 MINNESOTA LICENSE NUMBER 14376

JOB NO:
 14R-113

BOOK: PAGE:

CAD FILE:
 Misc-14

Stormwater and Erosion Control Plan

SURVEY FOR : Wooddale
 DESCRIBED AS : Lot 11, Block 2, CREEK VALLEY ADDITION, City of Edina, Hennepin County, Minnesota and reserving easements of record.

SITE MAINTENANCE

- Maintenance for site cleanliness and mainting erosion control will be by Dave Pautz of Pautz Const. Phone (952) 447-1299
- Concrete washout will not be permitted on site unless an approved disposal container is supplied
- No temporary pumping of standing water allowed. Standing water must infiltrate or evapourate

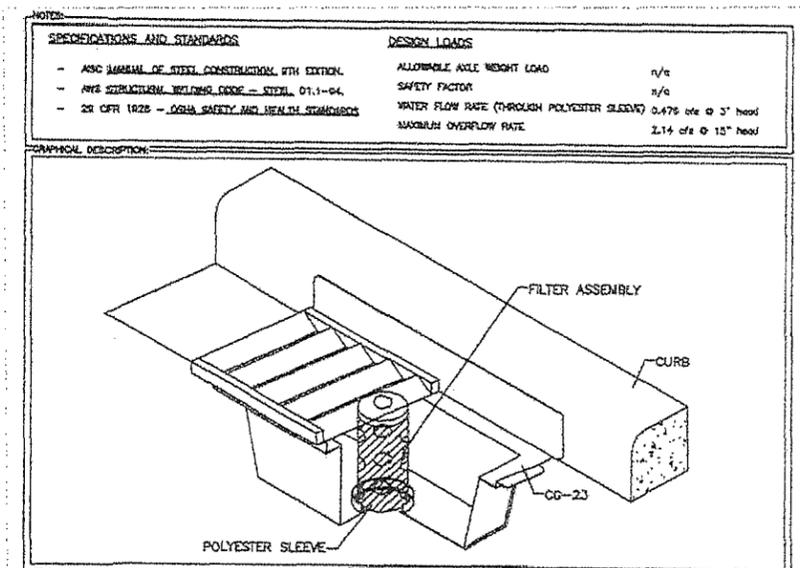
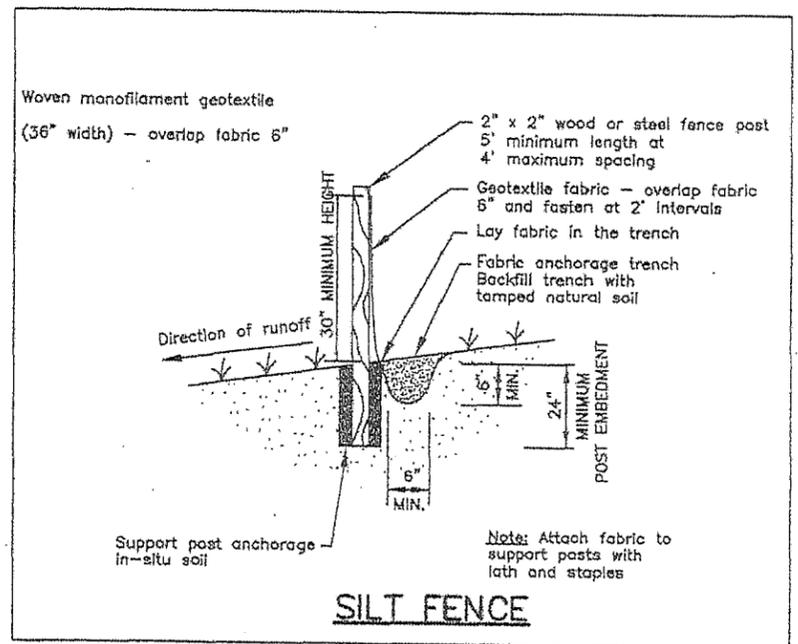
SEDIMENT & EROSION CONTROL NOTES

- All exposed soil areas, including temporary stockpiles, must be stabilizes as soon as possible but in no case later than 14 days after construction activity in that portion of the site has temporarily or permanently ceased. Stabilize with temporary seed and straw mulch applied at 2 tons per acres.
- Silt fence shall be installed and at the locations shown on the plan and around any stockpiles. Silt fence shall be inspected and maintained weekly (and within 24 hrs of a 0.5 inch rainfall) until final seeding and mulching (or sodding) of lot.
- A rock construction entrance shall be installed and maintained at the location shown on the plan.
- Contractor or Permittee shall provide and maintain inlet protection on all storm drain inlets that will receive sediment laden flow as a result of construction. Inlet protection and maintenance shall remain in place until all sources with potential for discharge into the inlet have been stabilized. Inlet protection may be removed from a particular inlet if a specific safety concern (such as flooding) has been identified. The permittee must receive written correspondence from the City of Edina verifying the need for removal. Permittee shall conduct a visual inspection to determine which inlets need protection.
- If down gradient sediment practices are overloaded, additional up gradient erosion control practices will be installed to reduce loading.
- Dust control is the responsibility of the permit holder. The permit holder must eliminate dust problems upon receiving notice from the Building Official that there is a dust problem.
- NINE MILE CREEK WATERSHED DISTRICT.
 A separate permit may be required, Call (952) 835-2078
- Street cleaning shall occur daily or as needed.

STORM WATER

This Stormwater Management Plan (in narrative form) must detail how stormwater will be controlled to prevent damage to adjacent property and adverse impacts to the public storm water drainage system.

- Permit holder shall inspect and maintain sediment and erosion control devices (i.e.: silt fence and inlet protection) weekly (or within 24 hrs of a 0.5 inch or more rainfall). Sediment must be removed when it is 1/3 the height of the sediment and erosion control device.
- Final grading on the lot shall minimize concentrated flow. Final drainage patterns shown are similar to the existing conditions of the lot.
- Maintain ten feet of existing vegetation in front of the down slope silt fence for storm water dissipation and cleaning
- No increase in peak flow or volume to private properties to the south will occur with this new construction



**CATCH BASIN INLET PROTECTION
 WIMCO ROAD DRAIN**

HEDLUND

PLANNING ENGINEERING SURVEYING

2005 Pin Oak Drive
 Eagan, MN 55122
 Phone: (651) 405-6600
 Fax : (651) 405-6606

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DATE 9 / 2 / 14

Randall C. Hedlund
 RANDALL C. HEDLUND
 MINNESOTA LICENSE NUMBER 19576

JOB NO:
 14R-113

PAGES:
 2 of 2

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