

The City of Edina has received application(s) for the following project(s). For additional information on the projects, meeting dates and times please feel free to contact the Planning Department at 952-826-0369.

## **Planning Project for:**

**Christian Family Church and World Outreach Center/Dr. Tim Peterson**

### **Initial Project Description**

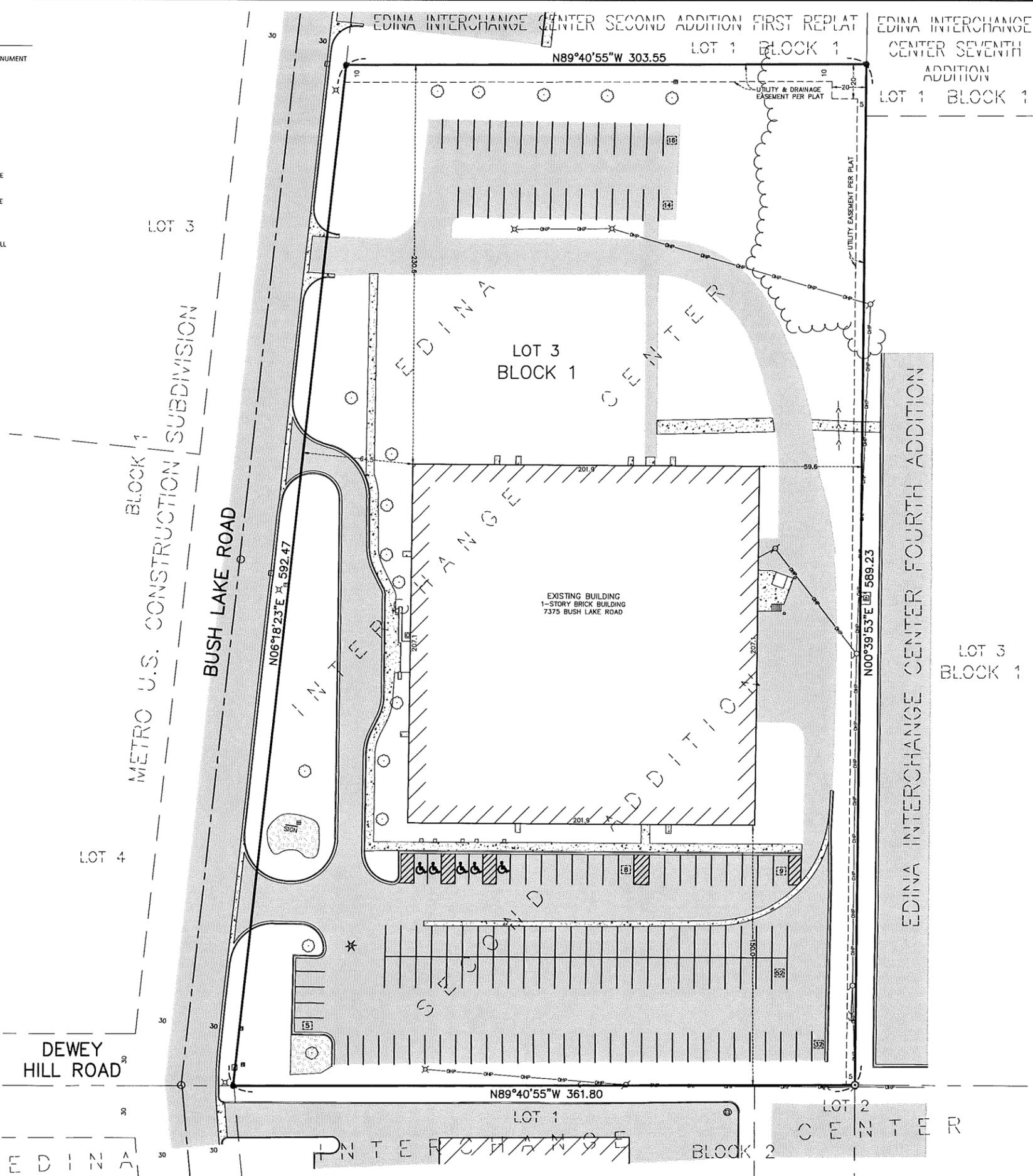
**Conditional Use Permit to remodel the existing structure into a church for the Christian Family Church.**

### **To accommodate the request the following is required:**

**Conditional Use Permit**

**Schematics:**

- LEGEND**
- FOUND MONUMENT
  - FOUND CAST IRON MONUMENT
  - LIGHT POLE
  - SIGN
  - BOLLARD
  - POWER POLE
  - GUY WIRE
  - ELECTRIC OUTLET
  - TRANSFORMER
  - FIBER OPTIC VAULT
  - GAS METER
  - TELEPHONE PEDESTAL
  - TELEVISION PEDESTAL
  - AUTO SPRINKLER
  - GATE VALVE
  - CATCH BASIN
  - CATCH BASIN MANHOLE
  - MANHOLE
  - STORM SEWER
  - OVERHEAD POWER LINE
  - TREE LINE
  - PARKING STALL COUNT
  - DISABLED PARKING STALL
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - LANDSCAPE MATERIAL
  - BITUMINOUS SURFACE
  - CONCRETE SURFACE



**PROPERTY DESCRIPTION**

Lot 3, Block 1, EDINA INTERCHANGE CENTER SECOND ADDITION, Hennepin County, Minnesota.

**NOTES**

1. Subject property's address is 7375 Bush Lake Road, its property identification number is 08-116-21-14-0003.
2. The bearing system is based on the record plat of EDINA INTERCHANGE CENTER SECOND ADDITION.
3. Field work was completed 6/14/2016.
4. The building(s) and exterior dimensions of the outside wall at ground level are shown on the survey. It may not be the foundation wall.
5. No specific title search for existence or non-existence of recorded or un-recorded easements has been conducted by the surveyor as a part of this survey. Only easements per the recorded plat are shown.
6. The gross area of the subject property is 4,500 Acres or 196,026 square feet.
7. Per the city of Edina Zoning Map, the zoning classification of the surveyed property is PID (Planned Industrial).
8. The parking areas and striping on the surveyed property are shown. There are 5 disabled parking stalls and there are 136 regular parking stalls for a total of 141 parking stalls.

**SURVEYOR'S CERTIFICATE**

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. That this survey does not purport to show all improvements, easements or encroachments, to the property except as shown thereon.

Signed this 16th day of June, 2016

*Marcus F. Hampton*  
 Marcus F. Hampton MN L.S. No. 47481

**James R. Hill, Inc.**  
 PLANNERS / ENGINEERS / SURVEYORS  
 2500 W. Cty. Rd. 42, Suite 120, Burnsville, MN 55337  
 PHONE: (952)890-6044 FAX: (952)890-6244

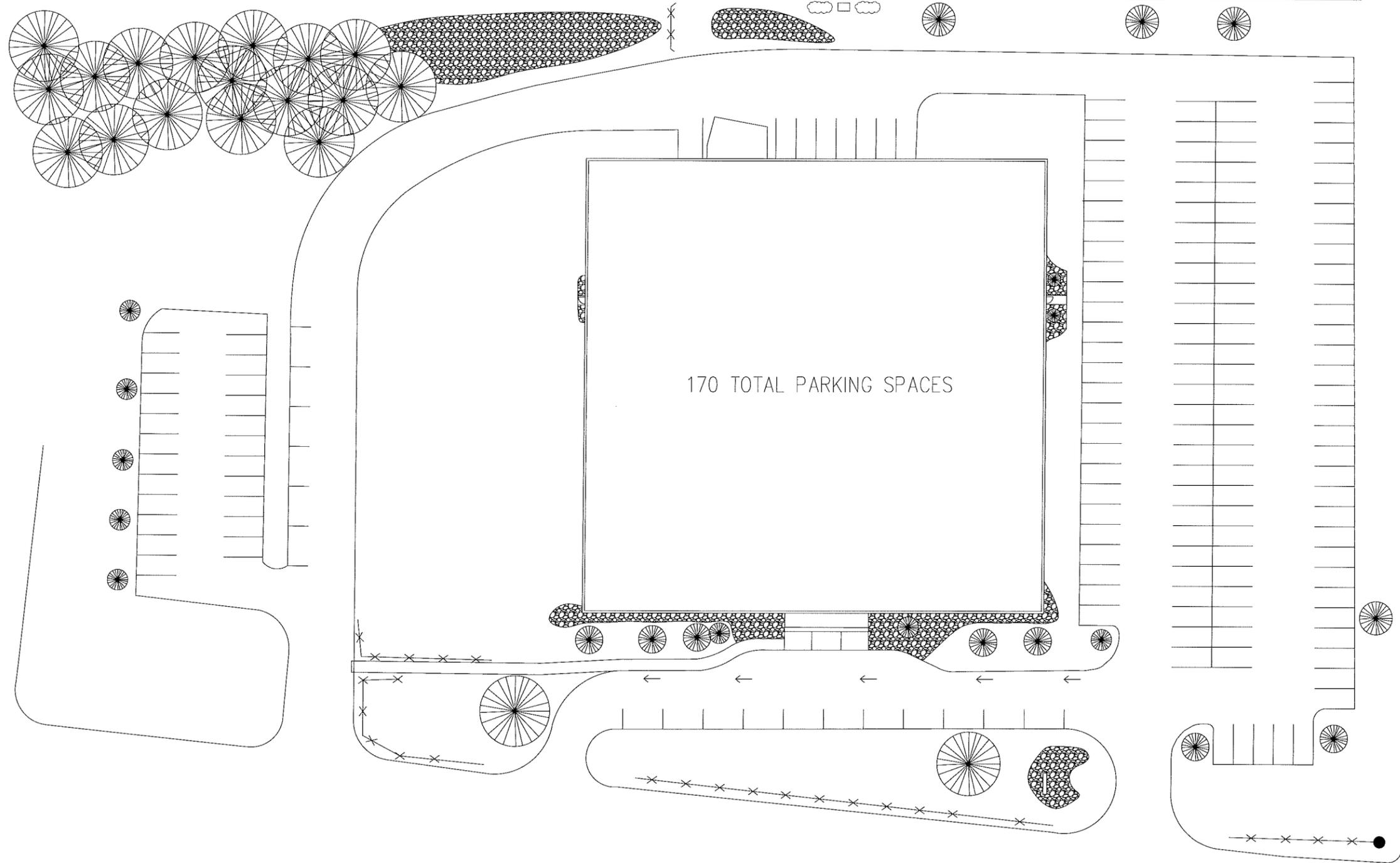


7375 BUSH LAKE ROAD SITE  
 EDINA, MINNESOTA  
 CERTIFICATE OF SURVEY  
 FOR  
 CHARLES MERRITT HOMES

DRAWN BY	PLM
DATE	6/16/16
REVISIONS	
CAD FILE	23295
PROJECT NO.	23295.dwg
FILE NO.	1-16-019
SHEET 1 OF 1	

RECEIVED  
 JUN 17 2016





170 TOTAL PARKING SPACES

REV	BY	CHK'D BY	APP'D BY	DATE	DESCRIPTION	CHURCH EDINA, MN				
						PROJECT	CHURCH EDINA, MN			
						TITLE	Site Layout with Landscaping			
						DATE	DRAWN BY: J.S.J.-J	SCALE	DRAWING NUMBER	
							CHNG BY:		SITE-PLAN	
							APP'D BY:			

**CODE SUMMARY**

**OCCUPANT LOAD**

ASSEMBLY = 17095 SF / 15 = 1140 OCCUPANTS  
 BUSINESS = 10161 SF / 100 = 102 OCCUPANTS  
 SERVICE = 9566 / 300 = 32 OCCUPANTS  
**\* TOTAL CALCULATED OCCUPANT LOAD = 1274**

**EGRESS REQUIREMENTS**

OVERALL EGRESS WIDTH  
 EGRESS WIDTH REQUIRED = 1274 X .15 = 191.1"  
 EXISTING EGRESS WIDTH = 136"  
 PROPOSED EGRESS WIDTH = 204"

**MAIN EXIT EGRESS**

EGRESS WIDTH REQUIRED 1274/2 X .15 = 95.55"  
 EXISTING MAIN EXIT EGRESS WIDTH = 68"  
 PROPOSED MAIN EXIT EGRESS WIDTH = 136"

**\* OVERALL EGRESS WIDTH: NEED TO ADD TOTAL OF 55" OF EGRESS WIDTH (TWO 3'-0" DOORS)**

**\* MAIN EXIT EGRESS WIDTH: NEED TO ADD 27.55" OF EGRESS WIDTH (ONE 3'-0" DOOR)**

**TOILET FIXTURE COUNT**

Existing Fixture Count:  
 Men = 8 Water Closets/ Urinals, 5 Lavatories  
 Women = 8 Water Closets, 5 Lavatories  
 Unisex = 1 Water Closet, 1 Lavatory

ASSEMBLY = 1140 Occupants: 570 Women, 570 Men  
 Required Women: 7.6 Water Closets, 2.85 Lavatories  
 Required Men: 3.8 Water Closets, 2.85 Lavatories

BUSINESS = 102 Occupants: 51 Women, 51 Men  
 Required Women: 2.02 Water Closets, 1.275 Lavatories  
 Required Men: 2.02 Water Closets, 1.275 Lavatories

SERVICE = 32 Occupants: 16 Women, 16 Men  
 Required Women: .16 Water Closets, .16 Lavatories  
 Required Men: .16 Water Closets, .16 Lavatories

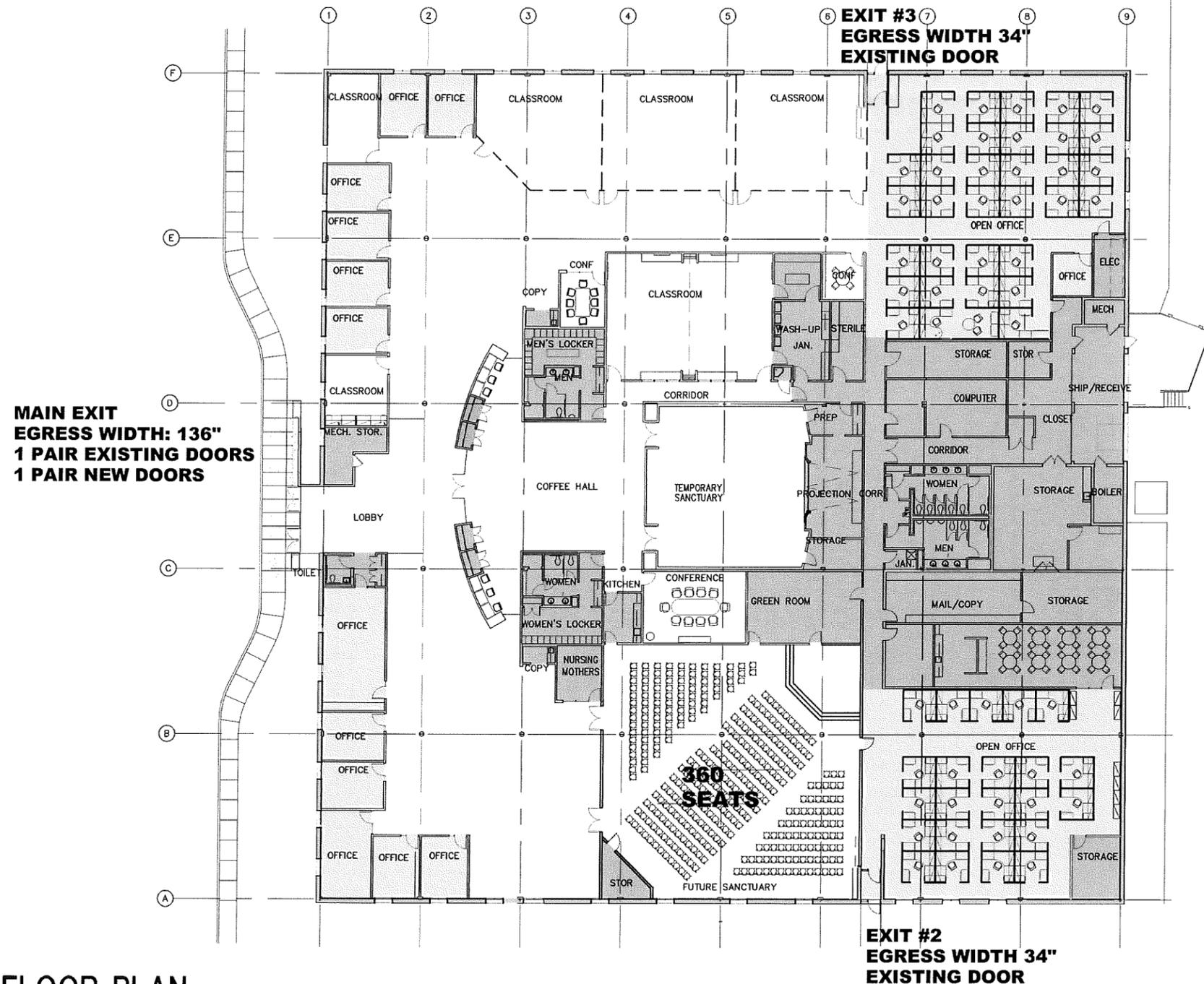
**TOTAL REQUIRED**

Required Women: 9.78 Water Closets, 4.285 Lavatories  
 Required Men: 5.98 Water Closets, 4.285 Lavatories

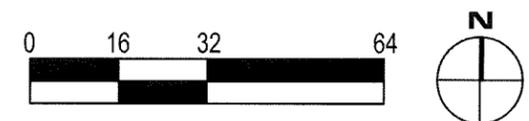
**\*BASED ON CONCURRENT OCCUPANCY OF BOTH ASSEMBLY AND BUSINESS OCCUPANCIES, IT APPEARS THAT THE BUILDING IS TWO WATERCLOSETS SHORT FOR WOMEN.**

**LEGEND**

- ASSEMBLY
- BUSINESS
- SERVICE



**1 PROPOSED FLOOR PLAN**  
 1/32" = 1'-0"



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PROJECT **CHRISTIAN FAMILY CHURCH**  
 7375 BUSH LAKE ROAD, EDINA, MN

TITLE **PROPOSED FLOOR PLAN**

COMM NO **2017020.00**

DATE **16 JUNE 2016**

DRAWING NO



**a**  
**1.01** 400 Clifton Avenue  
 Minneapolis, MN 55403 612.874.4100