

# ELEMENT

7200 France Avenue South, Edina, MN 55435



Parking On Site	
Level	Stalls Per Level
LEVEL P2	267
LEVEL P1	227
LEVEL 1	12
LEVEL 2	506

PARKING SUMMARY		USE	PARKING REQUIREMENT	TOTAL REQUIRED	TOTAL PROVIDED
		140 APARTMENTS	1.75 PER UNIT	245	265
		20 APARTMENTS	2 PER UNIT	40	40
		12,500 SF RETAIL	8/1,000 SF	100	100
		7,500 SF REST.	1 PER 3 SEATS + 1 PER EMPLOYEE	84	101
		<b>TOTAL</b>		<b>469</b>	<b>506</b>

Floor Area Ratio	
Level	FAR Area
LEVEL P1	4,926 SF
LEVEL 1	45,839 SF
LEVEL 1.5	18,585 SF
LEVEL 2	47,664 SF

Floor Area Ratio	
Level	FAR Area
LEVEL 3	30,042 SF
LEVEL 4	30,042 SF
LEVEL 5	28,856 SF
ROOF / LEVEL 5.5	1,106 SF
<b>207,059 SF</b>	

**BUILDING SUMMARY**  
 SITE AREA: 138,650 SF BUILDING AREA: 207,059 SF  
 FAR: 1.49  
 GROSS RENTABLE AREA: 162,670  
 NET RENTABLE ESTIMATE: 152,910  
 UNITS: 160  
 UNITS PER ACRE = 50

Project Team	
<b>OWNER</b>	Administrative Corporation 3523 Dowling Blvd, Suite 215 Minneapolis, MN 55412 Contact: Lori Bostrom Phone: Fax: Email:
<b>ARCHITECT</b>	DJR Architecture, Inc. 233 Washington Avenue N Cedar Park, MN 55001 Contact: Sharon Berg 952.929.2779 912.679.2794 (fax) shberg@djra.com
<b>CONTRACTOR</b>	Name: TBD Address Line #1: Address Line #2: Contact Name: Phone: Email:
<b>STRUCTURAL</b>	Dickson Reed & Associates 2000 Franklin Avenue N Suite 200 C Cedar Park, MN 55001 Contact: Matt Nelson Phone: Fax: Email:
<b>MUNICIPAL &amp; ETHICAL</b>	Name: TBD Address Line #1: Address Line #2: Contact Name: Phone: Fax: Email:
<b>ENV.</b>	Name: SHYD Partners 1220 Franklin Boulevard Minneapolis, MN 55403 Contact: Thomas O'Brien, PE Phone: 763.426.0000 Fax: Email:

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- Project Notes**
- All work shall comply with all applicable state and local codes and ordinances.
  - Work to be completed in accordance with all conditions including permits, specifications and details of contract for work.
  - Owner to provide all financial control documents including contracts and specifications of all supplies for excavation, retaining walls, and retaining. Contractor to provide for coordination of work with adjacent or any other work before proceeding with work.



**DJR**  
 ARCHITECTURE, INC.  
 233 WASHINGTON AVENUE N  
 CEDAR PARK, MN 55001  
 952.929.2779  
 WWW.DJRA.COM

**PRELIMINARY - NOT FOR CONSTRUCTION**

Name: PROJECT/CLIENT/OWNER  
 Date: 10/20/24  
 Drawn: ES/ML  
 Checked: [blank]  
 Date: 10/20/24  
 Project: 14103  
 Sheet: 001

**ELEMENT**  
 COVER SHEET

**G000**

# ALTA/ACSM LAND TITLE SURVEY

PROPERTY ADDRESS: #7200 FRANCE AVE. SO., EDINA, MN 55435

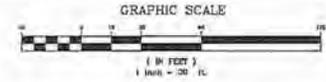
~for~ #7200 France LLC & Anchor Bank, N.A. & Commercial Partners Title, LLC, Old Republic National Title Insurance Company & NHH Companies L.L.C.

## GENERAL NOTES

- Bearings were taken on an assumed datum.
- Boundary area of surveyed premises: 162,024 sq. ft. (3.683 acres)
- The surveyed premises has access to 72nd St. West & France Avenue South, both publicly dedicated right-of-ways.
- Utilities shown herein are observed. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown herein and underground utilities and/or structures may be structural. Contact Center State One Call Notification Center at (651) 454-0001 for verification of utility type and field location prior to excavation.
- Subsurface and environmental conditions were not examined or considered during the process of this survey to determine if such conditions the existence of underground or overhead conditions or facilities that may affect the use or development of the surveyed property.
- There is no observable evidence of building construction or building additions which recent zoning. There is no observable evidence of site use as a solid waste dump, dump or sanitary landfill. There is no observable evidence of recent street or sidewalk repairs within recent months.
- Bearing's were taken on an assumed datum.
- SMALL UTILITIES LOCATED AND SHOWN HEREON PER OTHER STATE ONE CALL TICKET 14282087. CITY UTILITIES PER CITY PLANS AND FIELD OBSERVATIONS. VERIFY WITH CITY PLANS IN DESIGN PROCESS.

P.I.D. #31-028-24-14-0001

**BENCHMARK**  
BASIS FOR ELEVATIONS: NAVD 83 VIA REAL TIME GPS MEASUREMENTS UTILIZING MINNESOTA DEPARTMENT OF TRANSPORTATION VRS NETWORK



- ### LEGEND
- DENOTES IRON MONUMENT FOUND
  - DENOTES SANITARY SEWER MANHOLE
  - DENOTES STORM SEWER MANHOLE
  - DENOTES CATCH BASIN
  - ⊕ DENOTES FIRE HYDRANT
  - ⊖ DENOTES STORM SEWER
  - DENOTES CONCRETE
  - DENOTES BITUMINOUS
  - DENOTES GAS METER/SOK
  - DENOTES UTILITY BOX
  - DENOTES RETAINING WALL
  - DENOTES EXISTING FENCE
  - DENOTES UNDERGROUND TELEPHONE/FIBER OPTIC
  - DENOTES UNDERGROUND GAS
  - DENOTES UNDERGROUND ELECTRIC
  - DENOTES WATERMAIN
  - DENOTES SANITARY SEWER

### PROPERTY DESCRIPTION

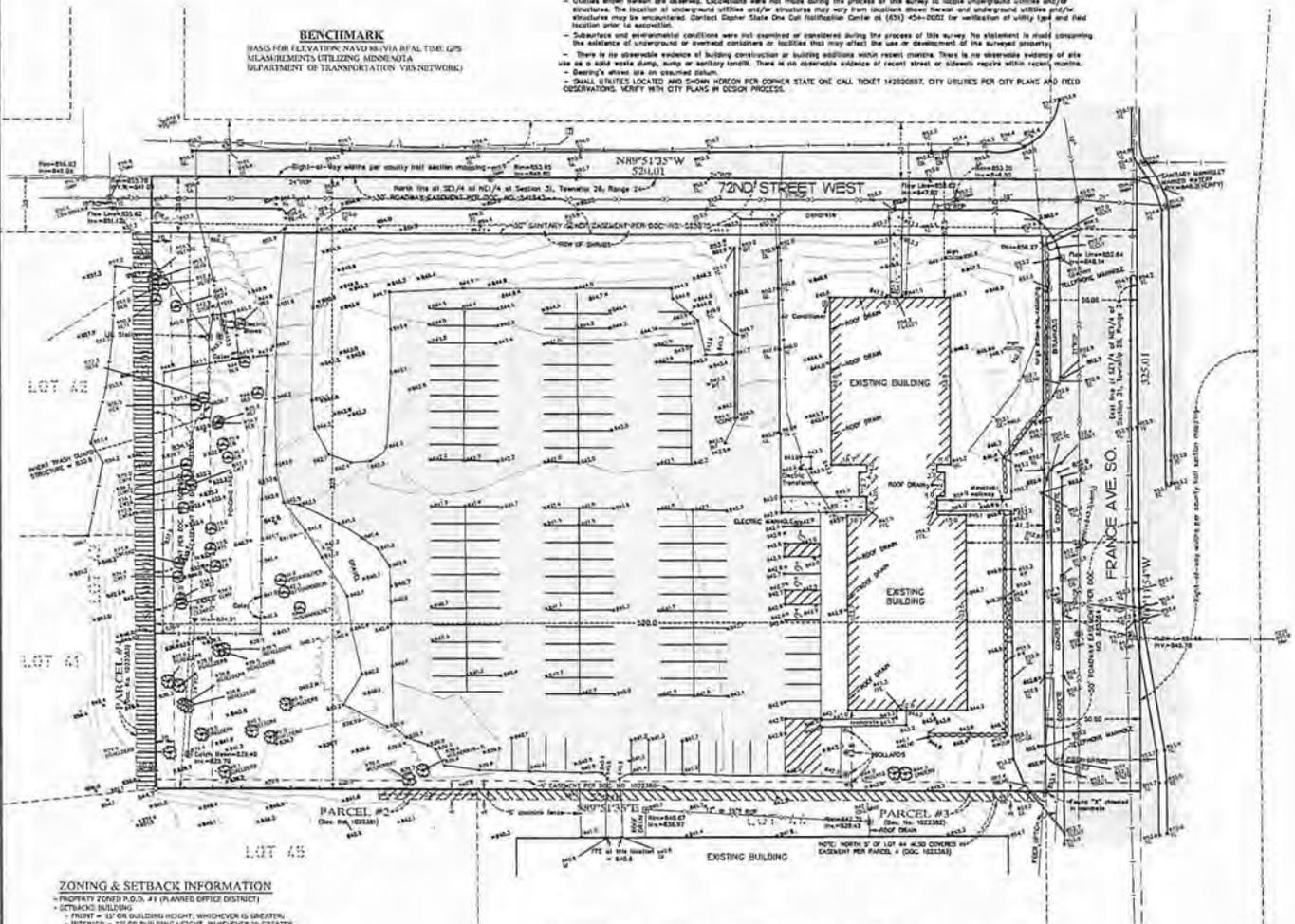
Parcel 1:  
The East 1045 Feet of the South Half of the Northwest Quarter of Section 21, Township 21, Range 24, according to the Governing survey thereof, except that part embraced within the site of Oscar Roberts First Addition.

Parcel 2:  
Together with the benefit of easements for flowage, drainage and storage of surface waters contained in said certain easements dated January 23, 1972, filed February 9, 1972, as Document No. 1022381.

Parcel 3:  
Together with the benefit of the easements for flowage, drainage and storage of surface waters contained in said certain easements dated January 23, 1972, filed February 9, 1972, as Document No. 1022381.

Parcel 4:  
Together with the benefit of the easements for flowage, drainage and storage of surface waters contained in said certain easements dated January 23, 1972, filed February 9, 1972, as Document No. 1022381.

Legal Descriptions per NHH computation.



**ZONING & SETBACK INFORMATION**  
 - PROPERTY ZONE: R-D, #1 (PLANNED OFFICE DISTRICT)  
 - SETBACK: BUILDING  
 - FRONT = 10' OR BUILDING HEIGHT, WHICHEVER IS GREATER.  
 - INTERIOR = 20' OR BUILDING HEIGHT, WHICHEVER IS GREATER.  
 - REAR: SETBACK  
 - 20' FROM STREET  
 - 20' FROM WEST (RESIDENTIAL AREA)  
 - 10' FROM SOUTH  
 \*ABOVE INFORMATION FOR "CITY TALK" AT CITY PLANNING DEPARTMENT (651-426-6446) 9/18/14

I hereby certify in #7200 France LLC & Anchor Bank, N.A. & Commercial Partners Title, LLC, Old Republic National Title Insurance Company & NHH Companies L.L.C. to their heirs, successors and assigns, that I have surveyed the property legally described herein, that this survey is a true, correct and accurate drawing and representation of said property and the description thereof that the map or plan and the survey which is hereon were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," as jointly established and adopted by ALTA and ACSM in 2011, and includes Items 2, 4, 5, 6, 9, 11, 12, 13, 14, 15, 16 and 18 of said "Table A" factor, and except the Accuracy Guarantee as defined by ALTA and ACSM and to reflect on the date of this certification, and that in locating or identifying recorded easements or other recorded encumbrances I have relied upon the Commission for Title Insurance issued by Commercial Partners Title, LLC, dated July 17th, 2014 file no. 391297 filed Supplemental.

REV. 10/07/14, ENGINEER COMMENTS  
 REV. 07/18/14, ENGINEER COMMENTS  
 REV. 07/15/14, ADDITIONAL UTILITY INFO.

Dated July 14th, 2014  
 Eric R. Vetterling, P.L.S., 184123



**ACRE LAND SURVEYING**  
 Serving Twin Cities Metro Area and Beyond  
 763-426-2967 acrelandsurveying.com



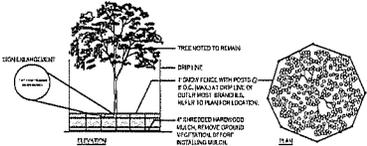






**TREE PRESERVATION & REMOVAL NOTES:**

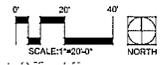
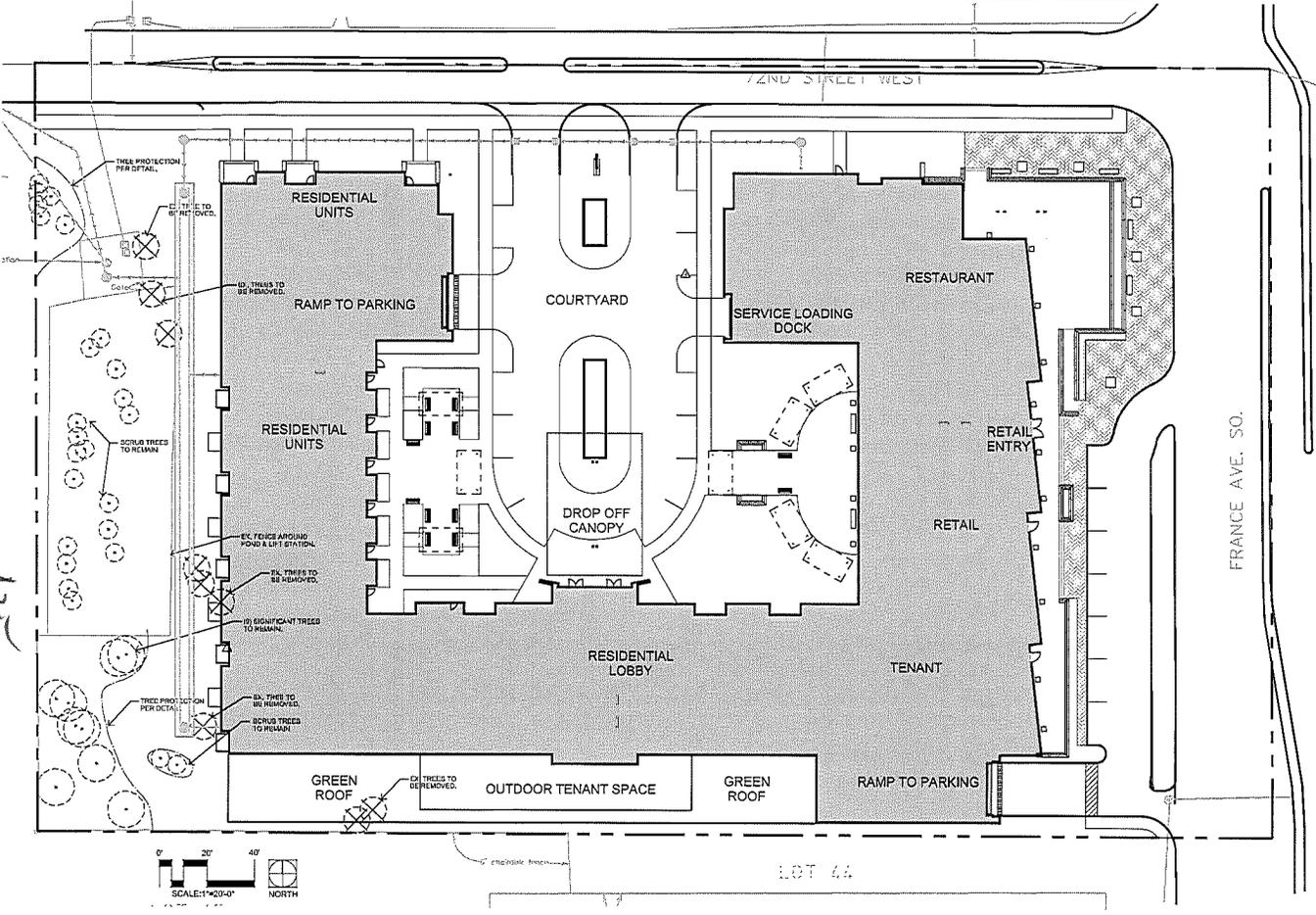
- Existing boundary, location, topographic, and utility information shown on this plan is from a field survey by Acme Land Surveying Co., The contractor is to field verify existing conditions to their satisfaction.
- Do not begin tree clearing work until tree protection measures are in place and to the approval of the City of Edina and the D&E engineer.
- Critical Root Zone:**  
Install high density polyethylene safety fence, 4 ft. high, International Orange, at the Dip Line or at the Critical Root Zone whichever is greater of trees to be preserved per detail, prior to commencement of earthwork activity. (Field-staking of the fence location) subject to City of Edina Forestry approval.
- Where safe fence and proposed tree protection fence overlap, place the tree protection fence on the outside of the safe fence, double-staked at the break-point.
- Refer to Tree Protection Details for root zone and dip line protection.
- The contractor shall prune the canopy of existing trees to remain where the canopy is in jeopardy of damage due to the new improvements shown. It is recommended that the contractor hire a certified arborist to perform the pruning. Any branches broken during construction shall be immediately trimmed and wounds painted to prevent further damage.
- Perform work in accordance with the laws, ordinances, rules, regulations, and orders of public authority having jurisdiction. Secure and pay for permits, governmental fees and licenses necessary for the proper execution of the demolition work.
- Prior to the start of construction, contact the City of Edina Forester at (952) 820-0370. Obtain permits as required by law.
- Provide protective coverings and enclosures as necessary to prevent damage to existing work that is to remain. Existing work to remain may include items such as trees, shrubs, lawn, sidewalks, drives, curbs, utilities, buildings and/or other structures on or adjacent to the demolition site. Provide temporary fences and barricades as required for the safe and proper execution of the work and the protection of persons and property.
- Remove debris, waste, and rubbish promptly from the site. On-site burial of debris is not permitted. Burn no debris on the site. Salvage material not otherwise indicated to be reused shall become the Contractor's property and is to be removed promptly from the site and disposed of in a site accordance with all applicable laws, regulations, and/or ordinances.
- Buildings, features, surfaces, and other descriptive references shown on this drawing are for informational purposes only. Field verify all information relevant to the project prior to proceeding with the work. Visit the site and determine all site conditions and hazards.
- This plan is a guide as to the anticipated amount of disturbance expected due to proposed improvements. The contractor is expected to take all necessary precautions to ensure trees noted to remain are not damaged during construction. Do not store material or drive within the otp line of existing trees to remain. Use areas of overhead branches for clearance of material and equipment.
- This plan is not a guarantee that existing trees will survive during construction, but rather a guide to help assess their protection and greatest chances of survival at the surface level. Further protection measures outside this scope could involve rootpruning, fertilizers and irrigation.
- Notify the Owner's Representative and Engineer when tree protection fencing is taken down to perform work in conjunction with the new improvements noted in this plan set. The contractor is responsible for re-erecting the tree protection fence immediately after the work is complete, when ever possible.
- Trees shown as existing to remain (be preserved) that are damaged / killed as a result of construction activities are subject to replacement per the City of Edina's Tree Replacement penalty. Replacement trees are to be paid for at no additional expense to the Owner.
- Tree Trimming: Trim branches of existing trees to remain with branches overhanging the work zone to a height of no less than 15' above grade. General contractor shall hire a state certified arborist to trim trees and shall not trim. Curbside tree cutting prime cost will season, per city code. Do not disturb Doka between April-June.



NOTE: TREE PROTECTION SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED TO ABE IN RESPONSIBILITY OF OWNER TO MAINTAIN. LOCATE STAKE MARKS ON GROUND TO BE CLEARLY MARKED FROM THE TREE TRUNK AND DISGUISED ABOVE. MAINTAIN THE FENCE INTENTLY AT ALL TIMES THROUGHOUT CONSTRUCTION. INSTALL TREE PROTECTION ZONE GRIDS EVERY 24-48" EXTERIOR GRIDS SHOULD BE TO FENCE.

1 TYPICAL TREE PROTECTION DETAIL

**DETAILS, NOTES, AND SCHEDULES:**



TREE PRESERVATION AND PROTECTION PLAN

**DJR ARCHITECTURE, INC.**  
 11100 W. 34TH AVENUE, SUITE 100  
 EDINA, MN 55425  
 TEL: 763-943-8888 FAX: 763-943-8889  
 WWW.DJRARCHITECTURE.COM

**Calix Design Group, Inc.**  
 Calix Design Group, Inc.  
 15000 Lyndale Avenue S., Suite 100  
 Edina, MN 55425  
 Tel: 763-943-8888 Fax: 763-943-8889  
 www.calixdesign.com

**cdg**

**PRELIMINARY, NOT FOR CONSTRUCTION**

DATE	PROJECT	DATE	BY
11/14/14	72ND STREET WEST	11/12/14	DM
		09/17/14	DM
		08/12/14	DM

**ELEMENT**  
 2022 PAVEMENT & UTILITIES REVISION  
 Tree Preservation and Protection

Planting Palette:

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
4	A	Quercus bicolor	Swamp White Oak	2-3" Cal.	B&B	
6	B	Acer spicatum 'Spartan'	Scarlet Spurred Maple	3-5" Cal.	B&B	
11	C	Cornus occidentalis	Hickberry	1-3" Cal.	B&B	
1	D	Acer rubrum	Red Maple	1-3" Cal.	B&B	
5	E	Prunella virginiana	Black Hills Spice	F. Hgt.	B&B	Tall Form
20	F	Geopelia triflorata var. 'Sagunto'	Shrubland Honeylocust	2-5" Cal.	B&B	
20	G	Thuja occidentalis 'Emerald'	Emerald Columnar Arborvitae	2" Cal.	B&B	
14	H	Thuja occidentalis	Japanese Tree Larch	2" Cal.	B&B	
4	I	Tilia cordata 'Greenstar'	Clammy Crapemyrtle Linden	2" Cal.	B&B	3-Cape Champ

TREES:

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
50	K	Indigofera villosa	Swiss Balmberg	13-18" Sp.	PTZ	
44	L	Zinnia mexicana 'Tumult'	Zinnia Yew	15-21" Sp.	PTZ	
59	M	Corchorus olivaceus 'Baby Spice'	Baby Spice Cosmos	12-18" Sp.	PTZ	
22	N	Cornus alba 'Soleil d'Or'	Artist Eye Dogwood	15-21" Hgt.	PTZ	
47	O	Scilla maritima 'Purpurea'	Dwarf Scilla Lily	15-20" Hgt.	PTZ	
41	P	Artemisia biennis 'Crown of Thorns'	Crown of Thorns Herb	12-18" Hgt.	PTZ	
52	Q	Cornus alba 'Soleil d'Or'	Red Gouture Dogwood	12-18" Hgt.	PTZ	
49	R	Dianthus barbatus 'Cape Gold'	Cape Gold Dianthus	13-18" Hgt.	PTZ	
13	S	Wigandia floribunda 'Bianca'	Bianca Wigandia	12-18" Sp.	PTZ	
147	T	Thymus praecox 'Liberi'	Dwarf Bush Thyme	15-20" Sp.	PTZ	

SHRUBS:

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
27	U	Hydrangea serrata 'Walden's Lace'	Walden's Lace Hydrangea	11" POT		
20	V	Hydrangea serrata 'Blue Bird'	Blue Bird Hydrangea	11" POT		
16	W	Aspidistra 'Royal Heart'	American Lily	11" POT		
102	X	Stachytarpheta jamaicensis 'Purple Passion'	Purple Passion Grass	11" POT		
70	Y	Stachytarpheta jamaicensis 'Red Tropic'	Red Tropic Grass	11" POT		
115	Z	Stachytarpheta jamaicensis	Flame Grass	11" POT		

PERENNIALS:

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
10	AA	Perennianthus octocarpus 'Euphorbia'	Euphorbia Ivy	11" POT		Planted in under

VINES:

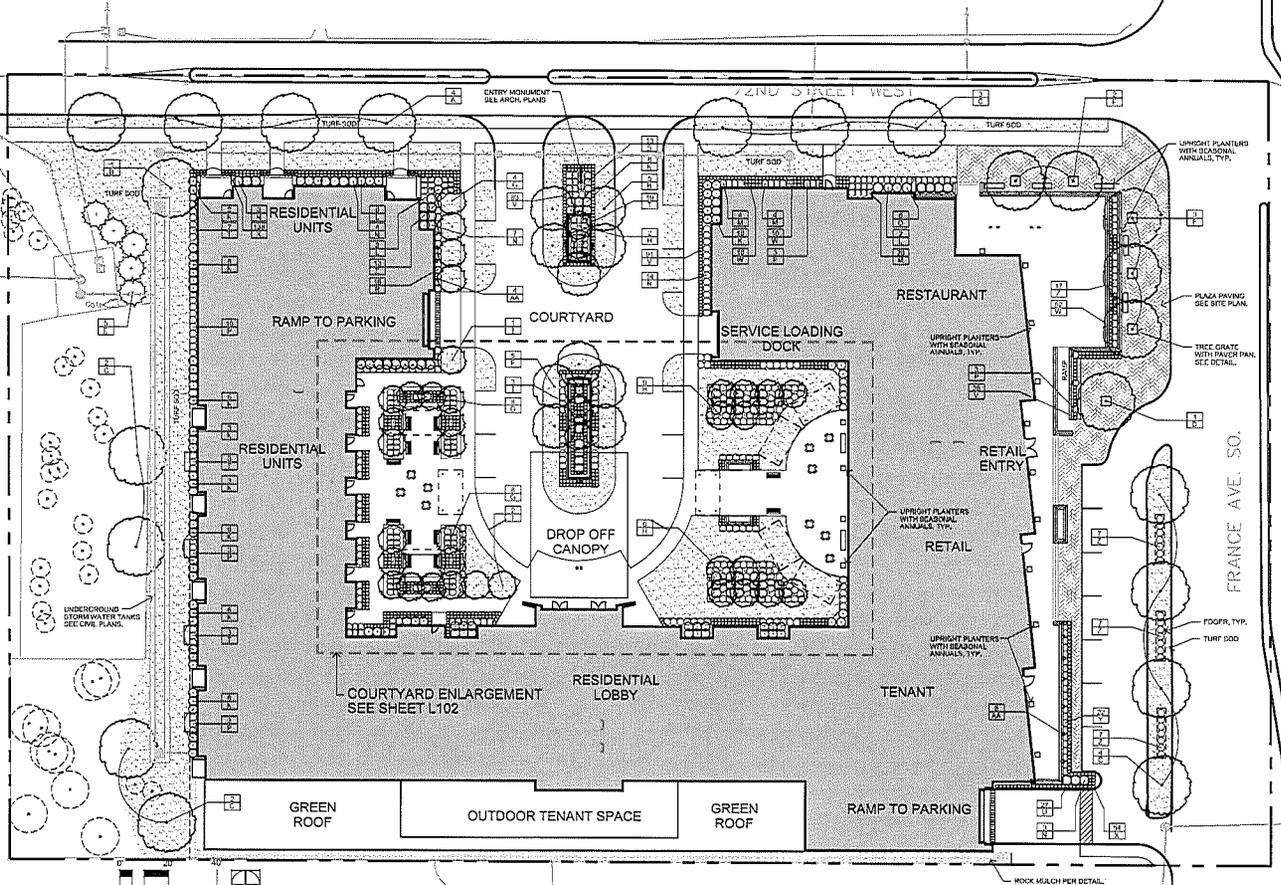
Municipal Landscape Requirements Summary:

Landscape Tree Requirements:  
 42 required trees per property boundary calculation (1,000 SF ÷ 42.3 = 23.6 trees)  
 Required Tree Inventory:  
 01 trees req. at 8.5" DB Diameter or 17' Hgt. Confirmed  
 11 trees req. at 4.0" DB Diameter or 17' Hgt. Confirmed  
 11 trees req. at 3.0" DB Diameter or 7' Hgt. Confirmed  
 11 trees req. at 2.0" DB Diameter or 7' Hgt. Confirmed  
 00 trees req. at 2.0" DB Diameter or 7' Hgt. Confirmed

47 Total Trees Required  
 01 Existing Trees to Retain (Preservation Grade)  
 31 Proposed New Trees Required  
 16 Total Trees Required

Landscape Notes:

- Tree source must be bar rooted (4") depth natural shipping bed hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
- Refer to site plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least C or as the specified source tag. Plant material shall be delivered as specified.
- Plant takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be located and staked as shown.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require client approval.
- The selected landscape contractor shall be held responsible for watering & properly grading of plant materials brought on the site both before and after installation. Shrinkage plant material to comply with associated installation site within 30 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant individual growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or performance, they must bring these deficiencies to the attention of the landscape architect & client prior to the installation. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
- The contractor shall quarantine newly planted material through one calendar year from the date of written owner acceptance. Plants shall exhibit more than 10% dieback damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate fire wrap and desiccant protection measures for the plantings during the warranty period.
- The layout plan confirms our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on available information, public input, sound engineering, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all trees, turf and shrub planting areas. Use commercial-grade irrigation equipment and provide product cut sheets and all copies of the proposed layout plan to the landscape architect for review and approval. Coordinate irrigation connected piping, controller, backflow and valving locations with the architect & general contractor. Irrigation systems shall be zoned such that plants over hilly areas are separate. Coordinate watering locations and do not generate waterlogging without coordinating with existing contractor.
- All edges shall be professional grade black steel edging, 1/2" thick, 12' straight lengths, anchor every 16' (center-to-center). Submit samples.
- Landscape Contractor is responsible for coordination with the General Contractor to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- Unless otherwise indicated, plant beds shall include 4" depth of crushed rock, rock shall meet fabric weed mat, per detail. Submit multiple samples for Owner approval. Do not install weed mat under pavement, with the exception of ornamental grasses.
- Rock mulch areas shall be 30-1/2" inch washed limestone rock, install per detail. Submit multiple samples for approval.
- All planting, seeding, and soiled areas shall be prepared prior to installation activities with a heavy power broom or equivalent to provide a firm planting bed free of stones, debris, compaction debris, etc.
- Turf installation activity shall conform to all rules and regulations as established in the MNDOT Standard, 2014 edition, for turf bed preparation, installation, maintenance and warranty.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the undergrowth from within the work limits to remove dead branches, bushes, trees, weeds and foreign materials. Remove trees more than 40 years old, including the stump to 30" below grade.
- The landscape contractor shall contact Cooper State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of existing on-site vegetation that has been established to the satisfaction of the municipal staff. This includes all certain fences and sidewalk logs situated in the landscape.
- The landscape contractor shall be responsible for making the site become conform with the conditions after grading and installation. Coordinate with the general contractor on matters such as the grading, landscape area conditions, lighting areas, irrigation controller to building, etc.
- See Site and Call Plans for additional information regarding the project.
- All natural areas of the site that are designated on the site plan as open space for landscape shall have no less than 4" of impervious, subsoiled planting, slope away from building.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 100% of water per hour prior to installation of plant materials, topsoil, fertilizer, weed mat, and mulch. Planting areas not capable of meeting the requirement shall have a drainage pit 4" deep that be dug every 20' encounter and filled with MODOT Free-Draining Course Filter Aggregate. Please note sub-grade preparation for compliance to infiltration minimum requirement.
- Fencing (if noted) per Architects Plans and Specifications.
- Landscape contractor shall coordinate tree removal activities and ensure all trees designated for removal are gone before start of landscape installation. Order stump to 30" below grade and back-fill with topsoil.
- Landscape contractor shall include in their bid to remove any existing shrubs, root, edge, beds, and edger that interfere with new improvements shown in this site plan.
- Down Roof layout and grading medium to be specified in construction document set, following initial contractor pricing.



LANDSCAPE PLAN

DETAILS, NOTES, AND SCHEDULES:

**DJR ARCHITECTURE, INC.**  
 1000 W. WASHINGTON AVENUE, SUITE 1000  
 MINNEAPOLIS, MN 55408  
 TEL: 612.338.1111 FAX: 612.338.1112  
 WWW.DJRARCHITECTURE.COM

**Calyx Design Group, LLC**  
 Landscape Architecture • Sustainable Design  
 1000 W. WASHINGTON AVENUE, SUITE 1000  
 MINNEAPOLIS, MN 55408  
 TEL: 612.338.1111 FAX: 612.338.1112  
 WWW.CALYXDESIGN.COM

**ELEMENT**  
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**PRELIMINARY - NOT FOR CONSTRUCTION**

DATE: 11/14/15  
 DRAWING NO.: 15-001  
 SHEET NO.: 15-001-01  
 PROJECT NO.: 15-001

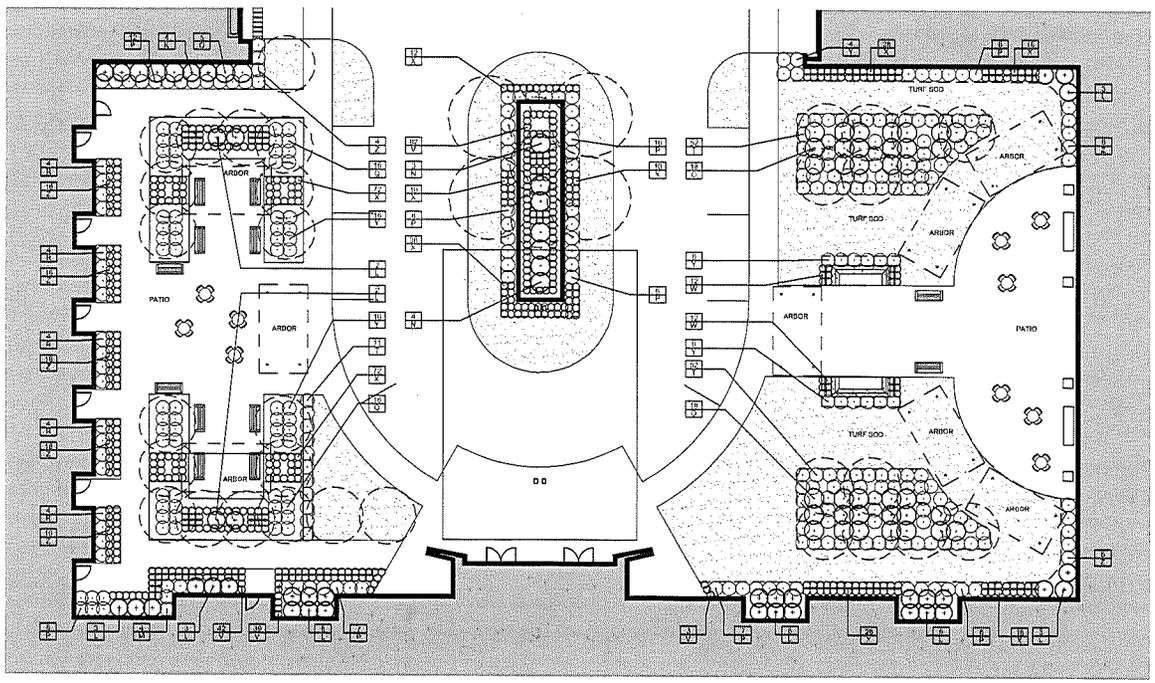
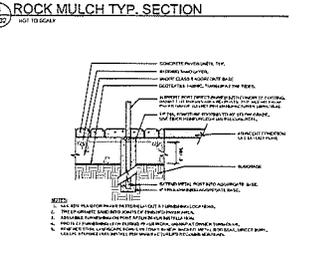
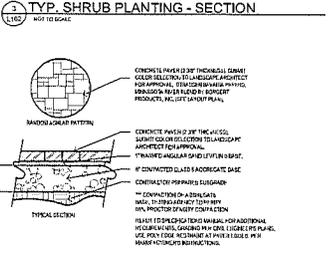
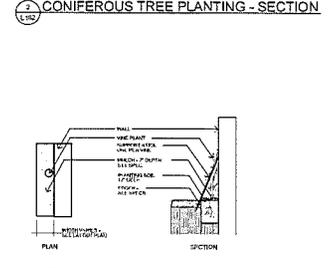
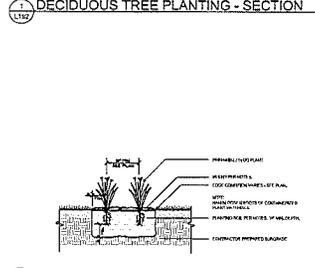
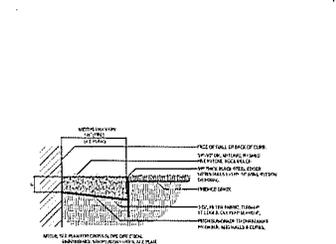
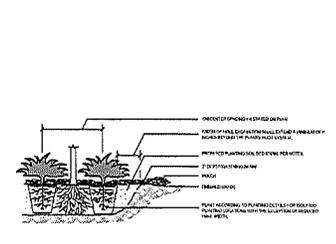
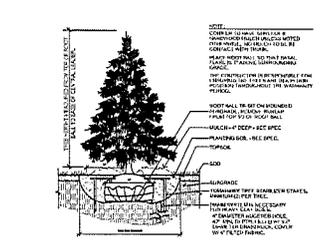
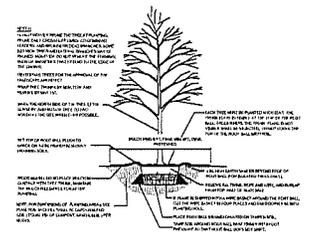
SCALE: 1" = 20'-0"  
 NORTH

SEE SHEET L102 FOR DETAILS AND SPECIFICATIONS

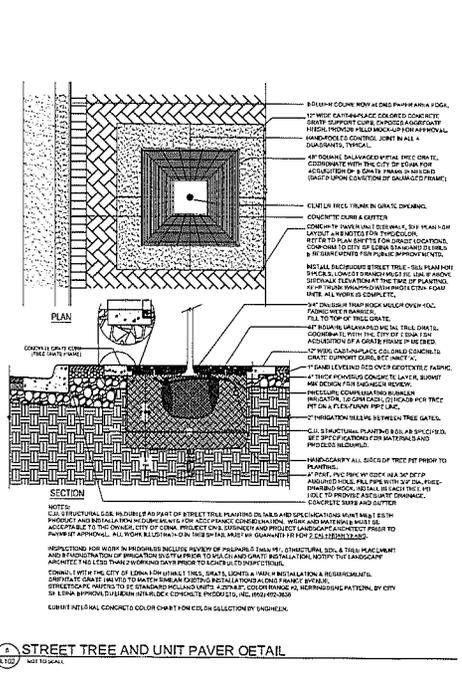
LOT 44

ROCK MULCH PER DETAIL

LANDSCAPE PLAN



SEE SHEET L101 FOR TREE LOCATIONS, PLANT PALETTE, AND NOTES.



**DJR ARCHITECTURE, INC.**  
Landscape Details and Engagements Plan

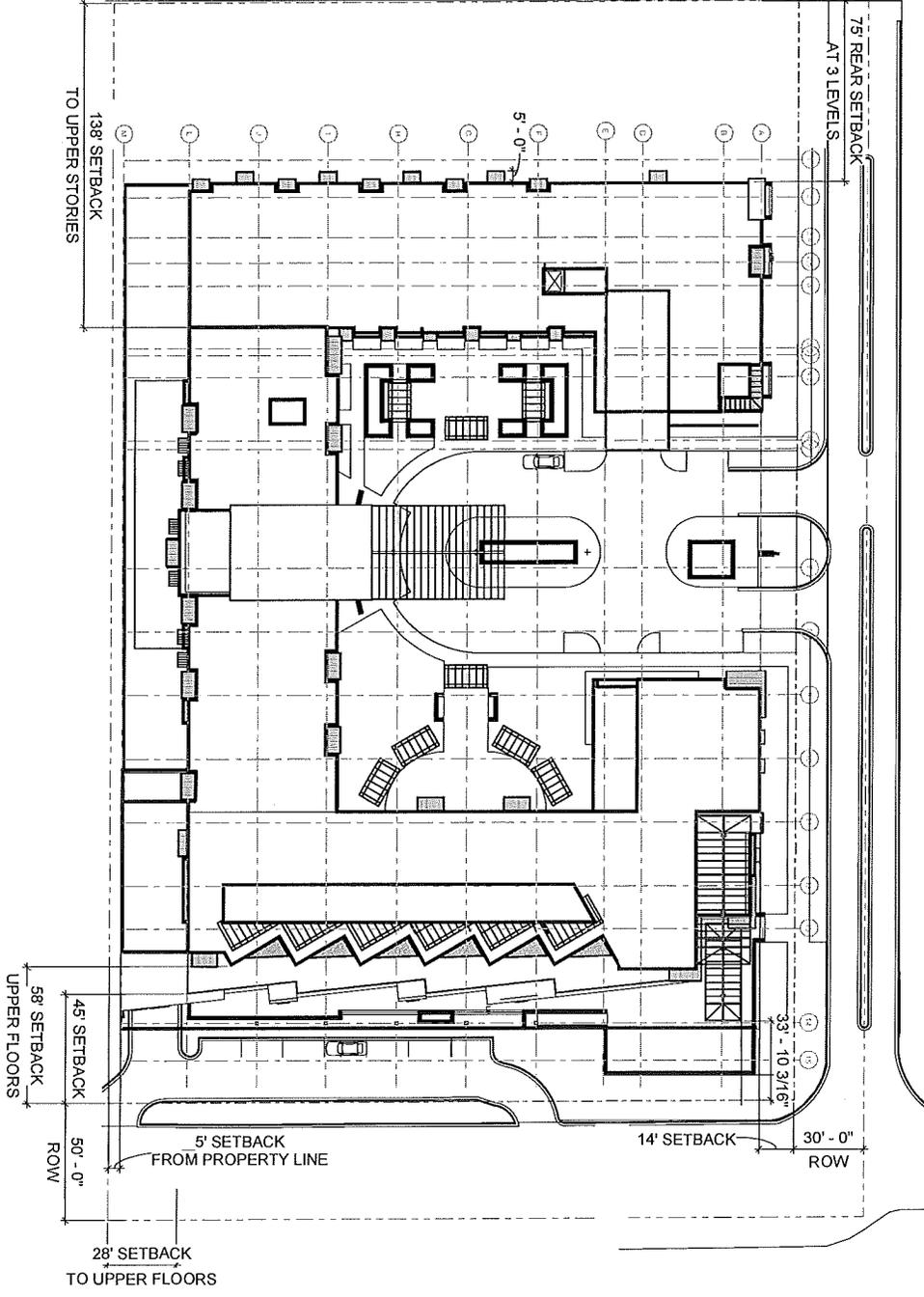
**ELEMENT**  
Landscape Details and Engagements Plan

**PRELIMINARY, NOT FOR CONSTRUCTION**

DATE: 11/11/14  
SCALE: 1/8"=1'-0"

PROJECT: LANDSCAPE ARCHITECTURE  
CLIENT: [REDACTED]

A38



1 SITE 1:1000

**ELEMENT**  
750 PRINCEVILLE SOUTH DR., MI 48438

PRELIMINARY - NOT FOR CONSTRUCTION

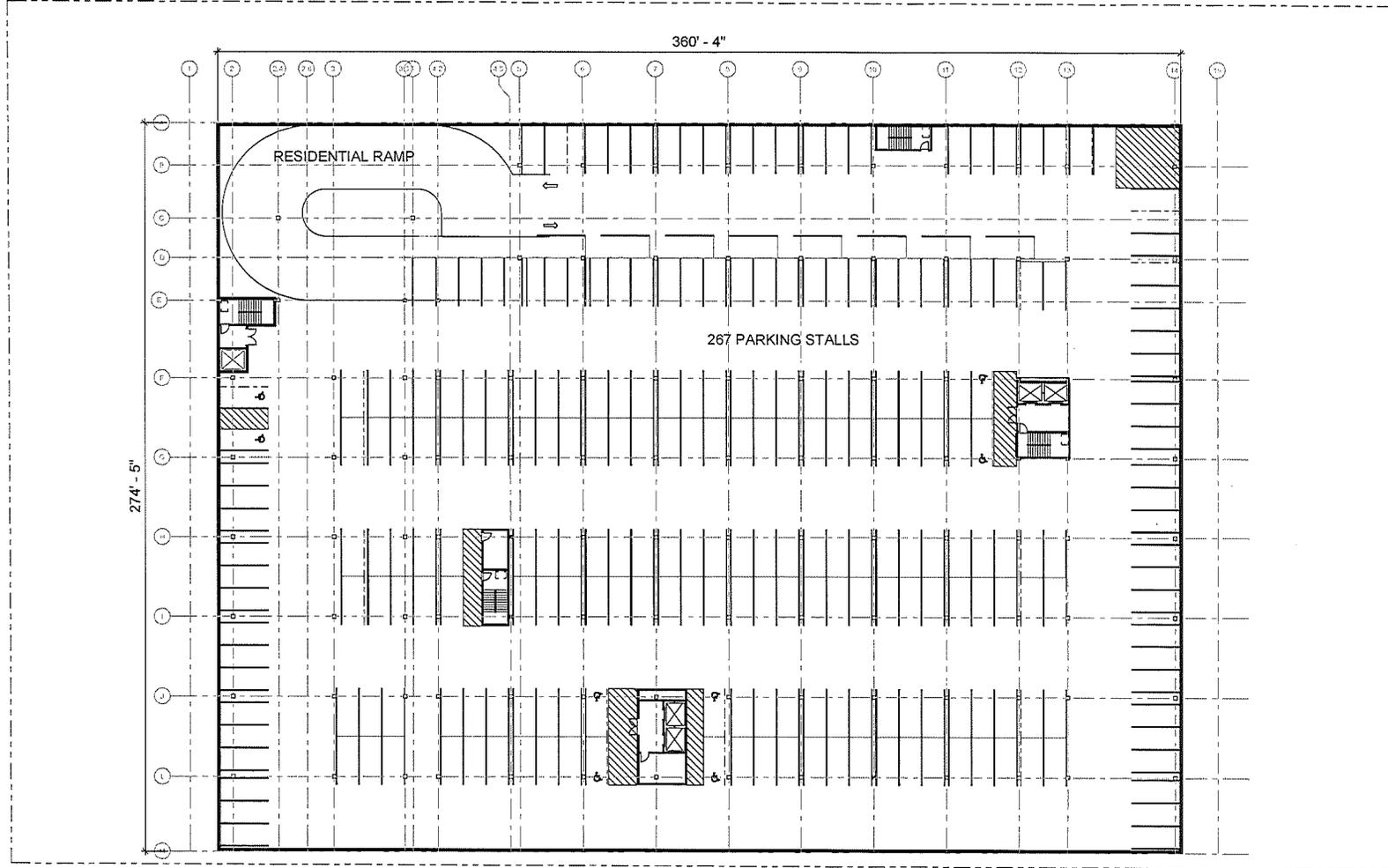
Project #	14-0210
Date	12/28/2014
Drawn by	LM
Checked by	SSB
Client	MAE BODOLLA INC.
Contractor	MAE BODOLLA INC. / MAE BODOLLA SUPPLY
Architect	DJR ARCHITECTURE, INC.
Engineer	DAVID J. RYAN, P.E.
Professional Seal	DAVID J. RYAN, P.E.

**DJR**  
ARCHITECTURE, INC.  
13116 E. 14TH AVE., SUITE 100  
ANN ARBOR, MICHIGAN 48106  
616.272.2700 www.djrarch.com

AS100

SITE PLAN

A3A



1 OP LEVEL P2  
1/4" = 1'-0"

ELEMENT  
LEVEL P2 FLOOR PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	11/12/24	DATE	11/20/24
PREPARED BY	ELIUM	DATE	11/20/24
CHECKED BY	ELIUM	DATE	11/20/24
DESIGNED BY	ELIUM	DATE	11/20/24
CONSTRUCTION	ELIUM	DATE	11/20/24

DJR  
ARCHITECTURE, INC.  
11125 S. 15th Avenue, Suite 100  
Denver, CO 80232

PROJECT NO.  
ARCHITECT ASSOCIATE  
ARCHITECT  
ARCHITECT

A100

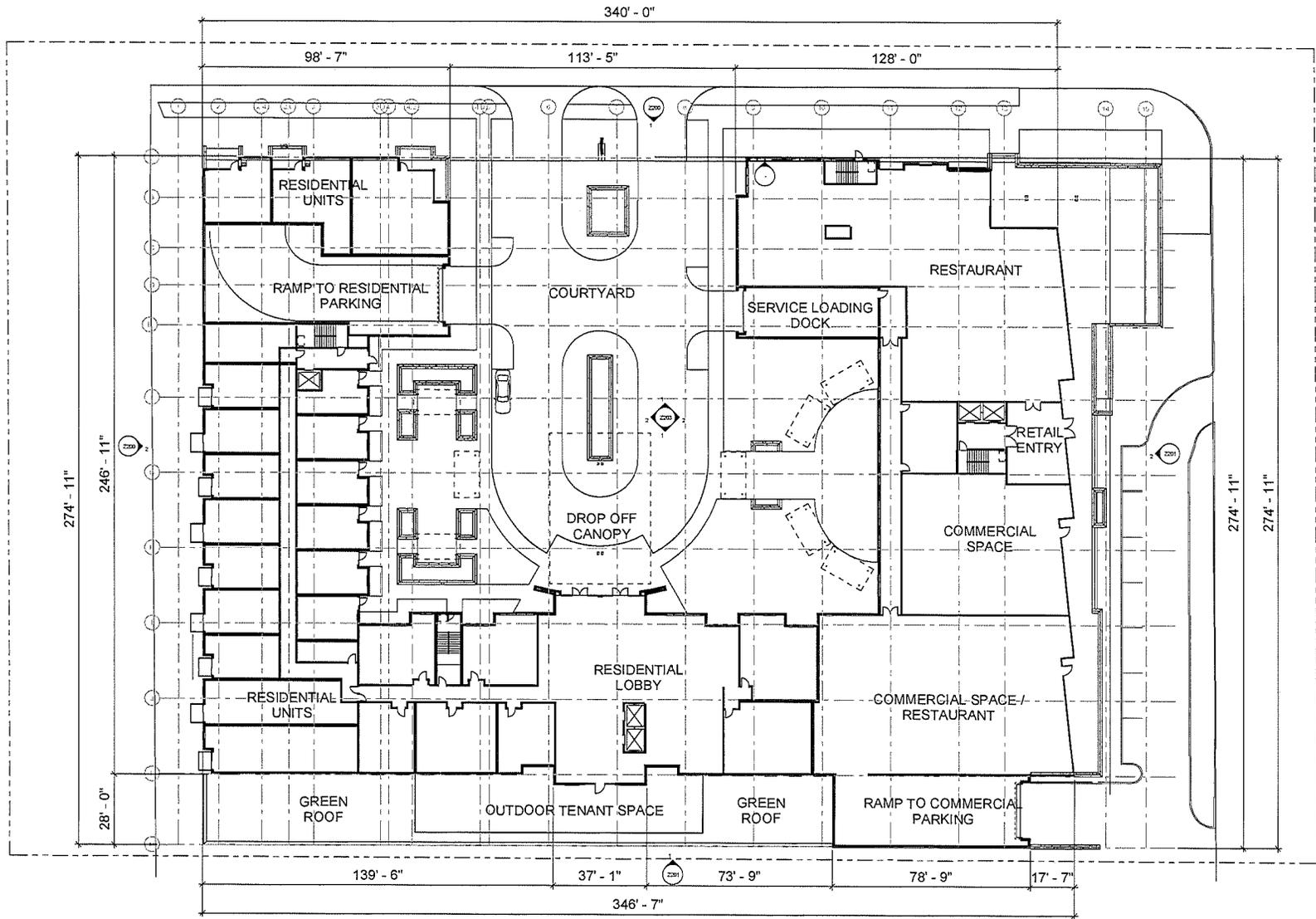


**BUILDING SUMMARY**  
 SITE AREA: 138,650 SF - (3.18 ACRES)  
 BUILDING AREA: 207,059 SF  
 FAR: 1.49  
 GROSS RENTABLE AREA: 162,670  
 NET RENTABLE ESTIMATE: 152,910  
 UNITS: 160 - 50 UNITS PER ACRE

Floor Area Ratio	
Level	FAR Area
LEVEL P1	4,926 SF
LEVEL 1	45,839 SF
LEVEL 1.5	18,585 SF
LEVEL 2	47,664 SF

Floor Area Ratio	
Level	FAR Area
LEVEL 3	30,042 SF
LEVEL 4	30,042 SF
LEVEL 5	28,856 SF
ROOF / LEVEL 5.5	1,106 SF
207,059 SF	

Parking On Site	
Level	Stalls Per Level
LEVEL P2	267
LEVEL P1	227
LEVEL 1	12
	506



1 FLOOR PLAN - LEVEL 1  
 1/8" = 1'-0"

A44

**DJR**  
 ARCHITECTURE, INC.  
 11720 BAYVIEW BLVD., SUITE 100  
 BAYVIEW, CA 94026  
 TEL: 415.341.1111 FAX: 415.341.1112

---

PROJECT: 14-00000000000000000000  
 DATE: 11/15/14  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT MANAGER: [Name]  
 ARCHITECT: [Name]  
 REGISTERED ARCHITECT NO. 11111  
 REGISTERED ARCHITECT NO. 11111  
 REGISTERED ARCHITECT NO. 11111

---

PRELIMINARY - NOT FOR CONSTRUCTION

---

ELEMNT  
 7201 RANCHO AVENUE, SUITE 100, MENLO PARK, CA 94025  
 TEL: 650.321.1111 FAX: 650.321.1112  
 WWW.ELEMENTARCHITECTS.COM

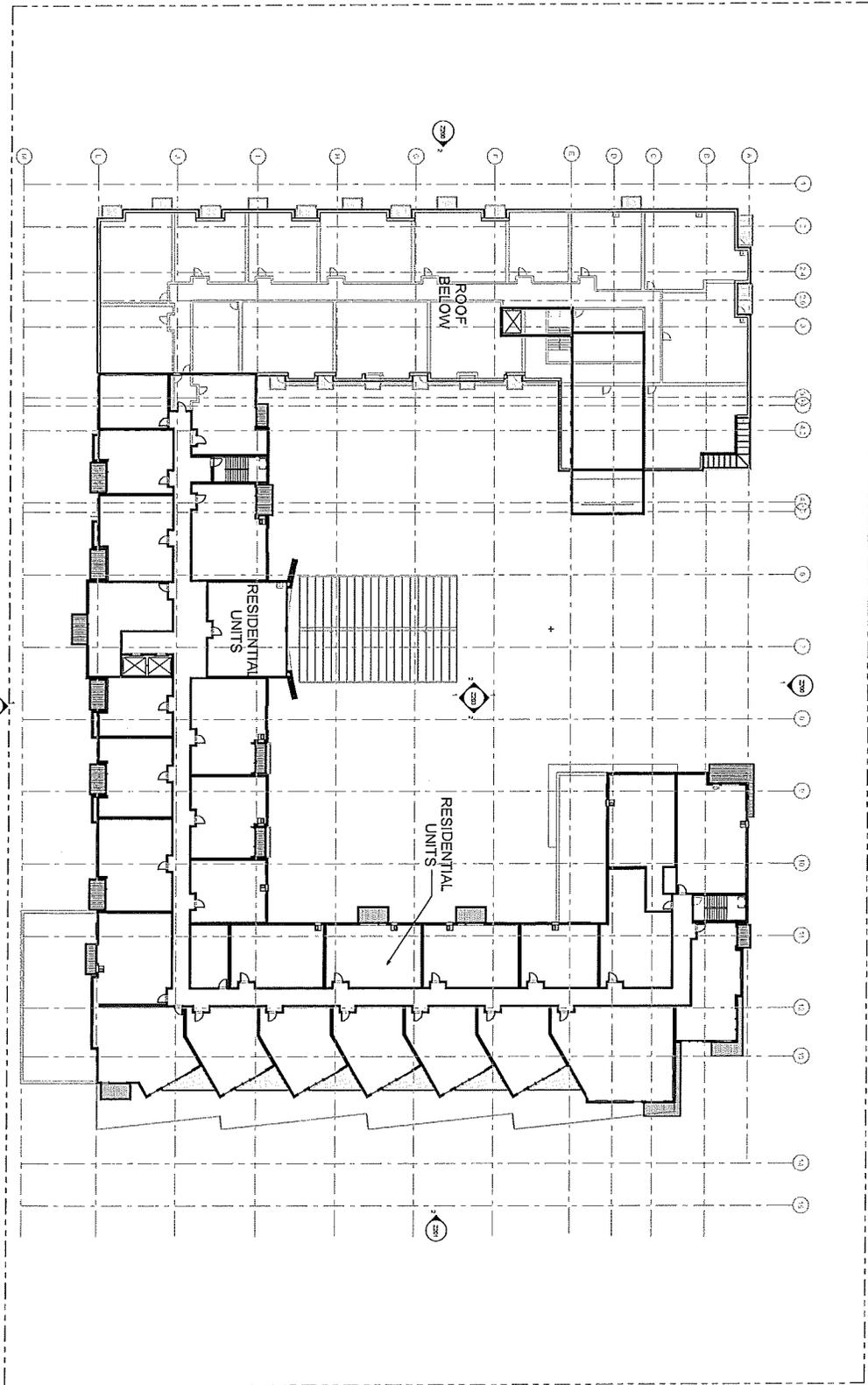
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LEVEL 1 FLOOR PLAN





AG4



1 2nd LEVEL 3  
TYPE = 112

**ELEMENT**  
 722 PRINCEVILLE SOUTH RD. #110543  
**LEVEL 3 FLOOR PLAN**

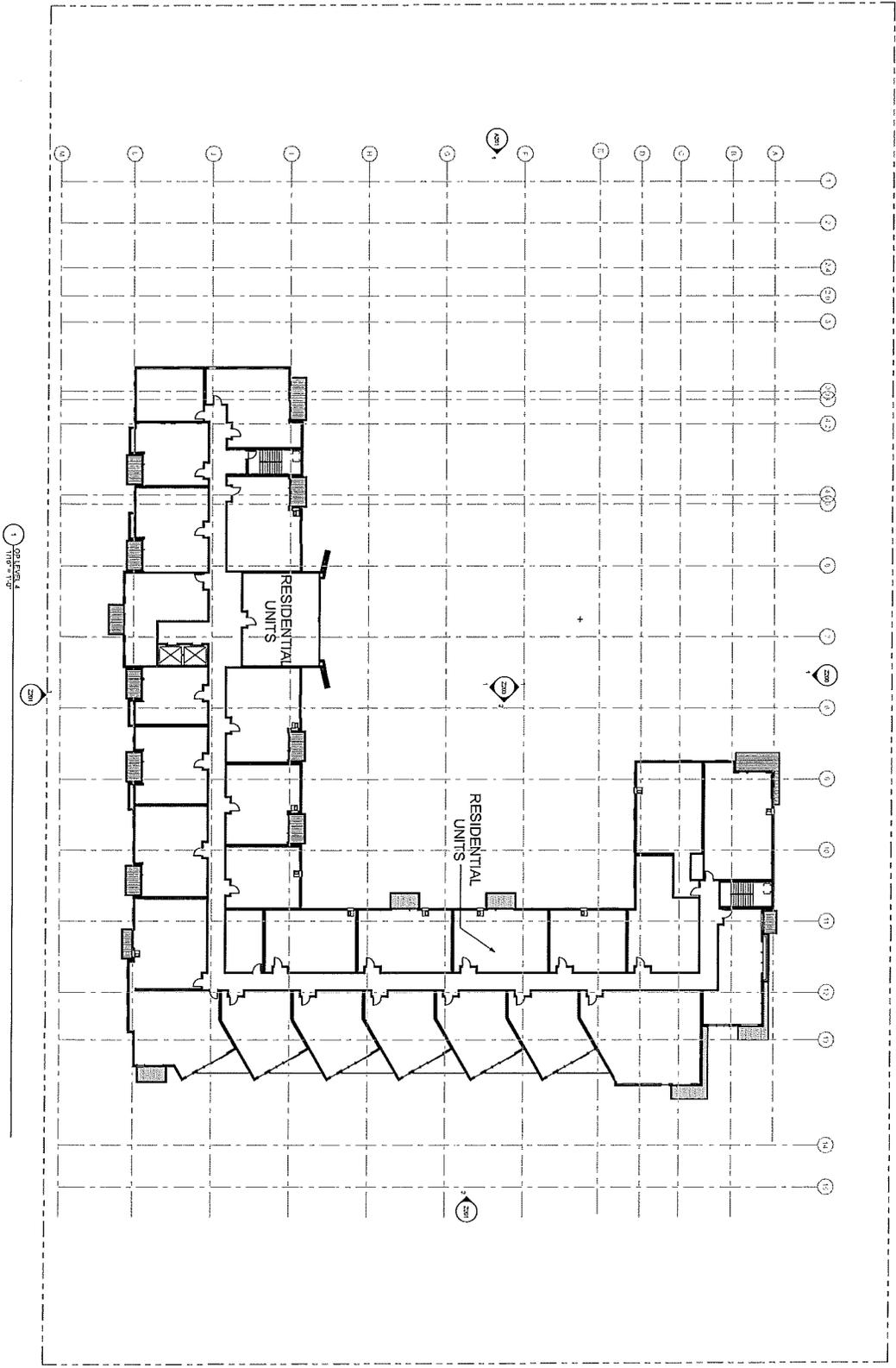
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	12/12/2014	PROJECT	14003
PREPARED BY	ES, UA	DATE	12/30/2014
DRAWN BY	ES, UA	CLIENT	MR. JAMES M. COPELAND
CHECKED BY	COB	CONTRACTOR	MR. JAMES M. COPELAND

**DJR**  
 ARCHITECTURE, INC.  
 722 PRINCEVILLE SOUTH RD. #110543  
 PRINCETON, N.C. 27570  
 919.416.2700 www.djr.com

A130

MS



10  
CORRIDOR  
10' x 10'

10

RESIDENTIAL UNITS

RESIDENTIAL UNITS

**ELEMENT**  
 122 FRANCE APTS COURTESY MMS&S  
**LEVEL 4 FLOOR PLAN**

A140

PRELIMINARY - NOT FOR CONSTRUCTION

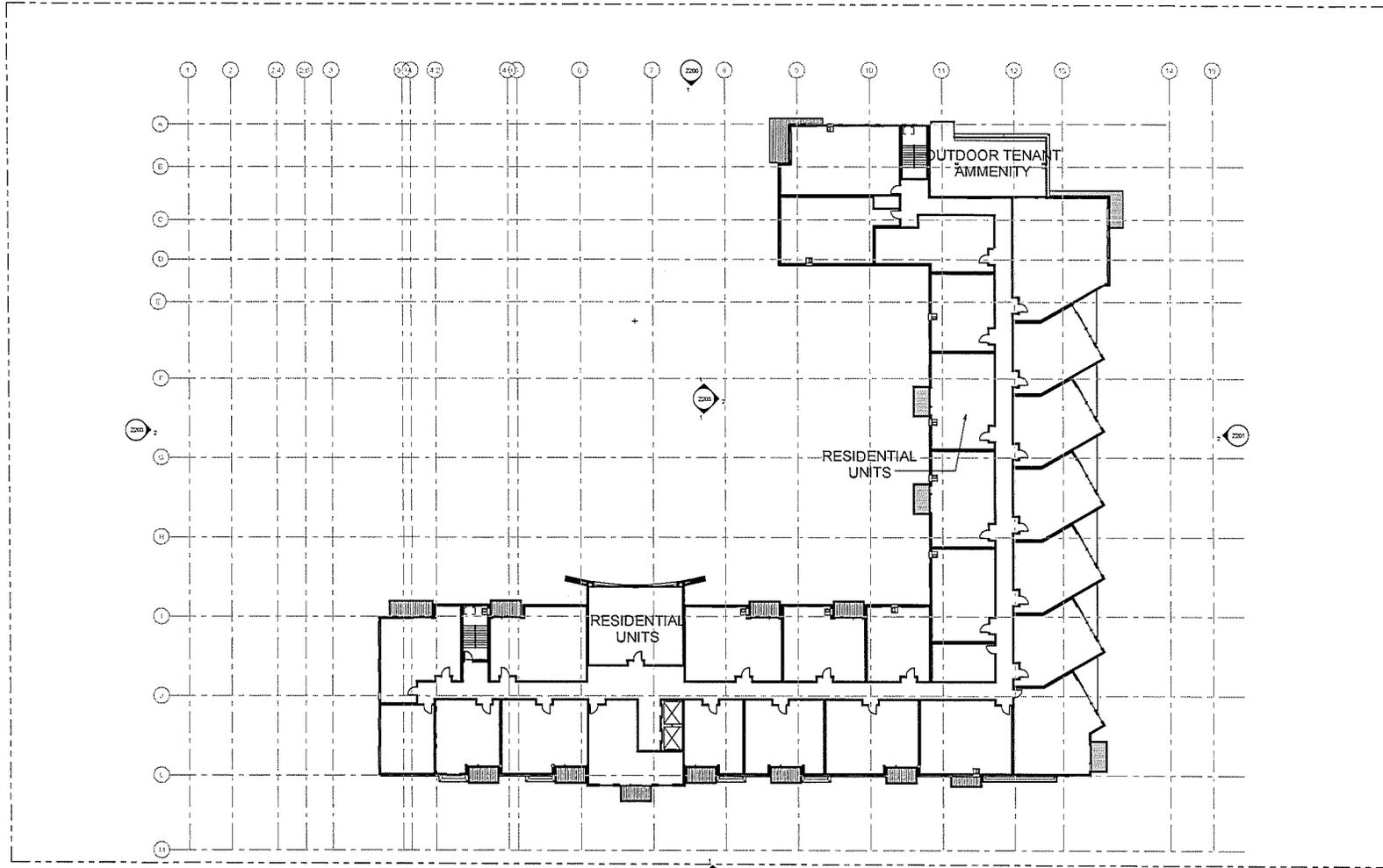
Issue	Date	Project #	14-003
PRELIMINARY DEVELOPMENT	10/12/2014	Date	10/20/2014
Drawn by	ES, LH	Checked by	SOB

THIS DOCUMENT IS THE PROPERTY OF DJR ARCHITECTURE, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DJR ARCHITECTURE, INC.

**DJR**  
 ARCHITECTURE, INC.  
 771 Westwood Avenue, Suite 110  
 Westwood, New York 10988  
 845.432.2000 www.djrarch.com

PROJECT: 122 FRANCE APTS COURTESY MMS&S  
 DATE: 10/20/2014  
 DRAWN BY: ES, LH  
 CHECKED BY: SOB

ATTN



1 OP LEVEL 5  
 1/16" = 1'-0"

**ELEMENT**  
 CONSTRUCTION DOCUMENTS 10/15/2014  
**LEVEL 5 FLOOR PLAN**

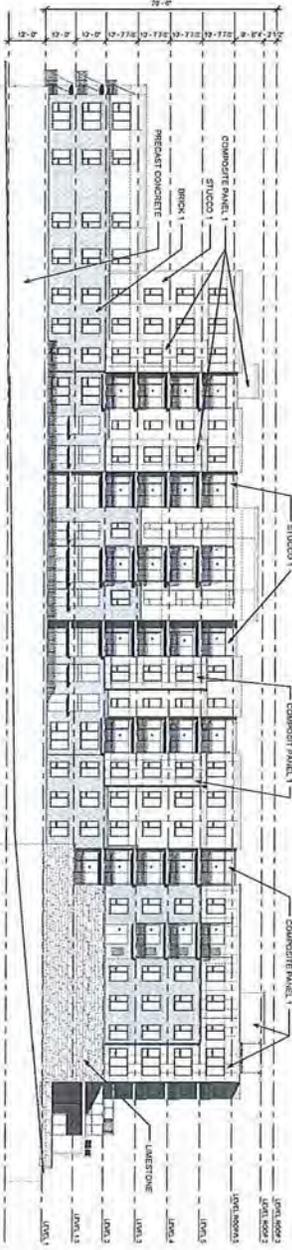
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	DESCRIPTION
11/12/2014	PRELIMINARY DEVELOPMENT
11/20/2014	REVISED
01/22/2015	REVISED
02/11/2015	REVISED
03/11/2015	REVISED
04/11/2015	REVISED
05/11/2015	REVISED
06/11/2015	REVISED
07/11/2015	REVISED
08/11/2015	REVISED
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01/11/2030	REVISED

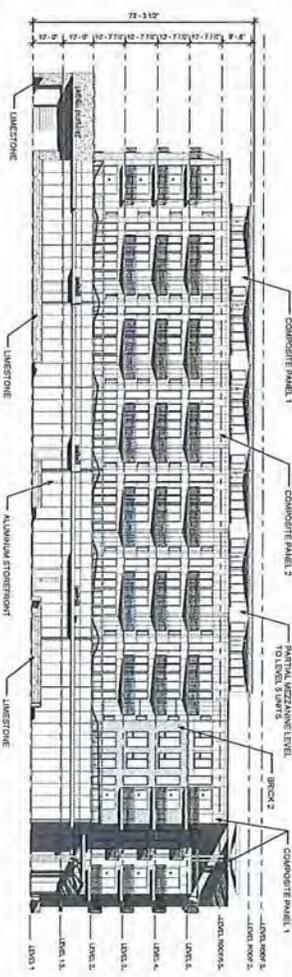
**DJR**  
 ARCHITECTURE, INC.  
 11400 WEST 10TH AVENUE, SUITE 100  
 DENVER, CO 80231  
 TEL: 303.751.1000  
 FAX: 303.751.1001  
 WWW.DJRARCHITECTURE.COM

DATE: 02/11/2024  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 PROJECT: 11400 WEST 10TH AVENUE, SUITE 100  
 SHEET: 11400 WEST 10TH AVENUE, SUITE 100 - LEVEL 5 FLOOR PLAN

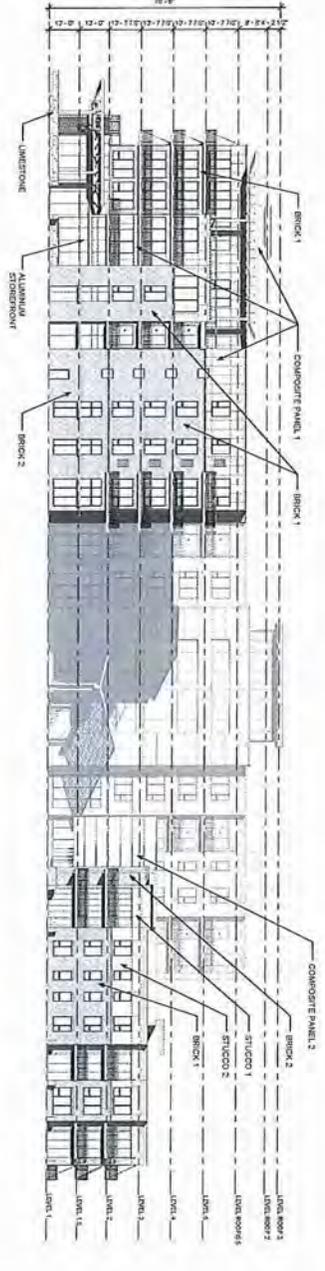
L7X



3 SOUTH EXTERIOR ELEVATION  
TYPE #102



2 EAST EXTERIOR ELEVATION  
TYPE #102



1 NORTH EXTERIOR ELEVATION  
TYPE #102

ELEMENT  
750 FRANCES FARMER SOUTH BEND PA 14348

PRELIMINARY - NOT FOR CONSTRUCTION

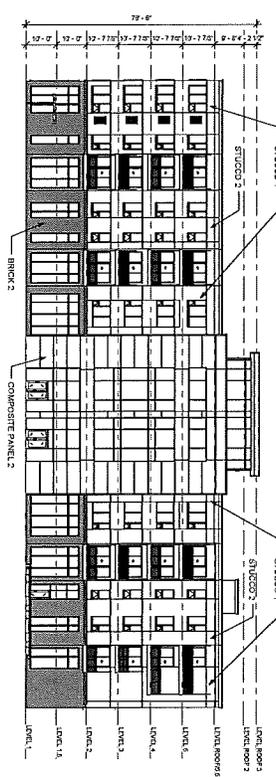
Proj #	14300
Date	12.20.2014
Drawn by	ES:CB
Checked by	SSB
Scale	AS SHOWN
Project	PRELIMINARY DEVELOPMENT
Client	13.13.2014

GENERAL CONTRACTOR: [Blank]  
 ARCHITECT: DJR ARCHITECTURE, INC.  
 1333 W. STATE ST. SUITE 200  
 SOUTH BEND, IN 46601  
 PH: 765.235.1111  
 FAX: 765.235.1112  
 WWW.DJRARCHITECTURE.COM

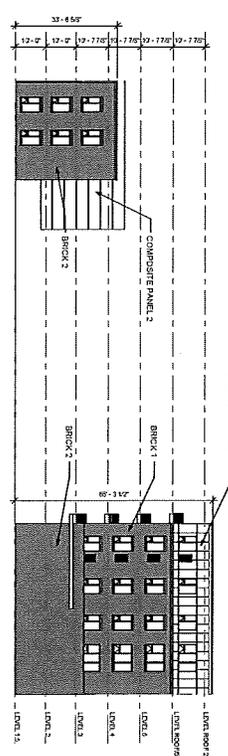
DJR  
ARCHITECTURE, INC.

A200

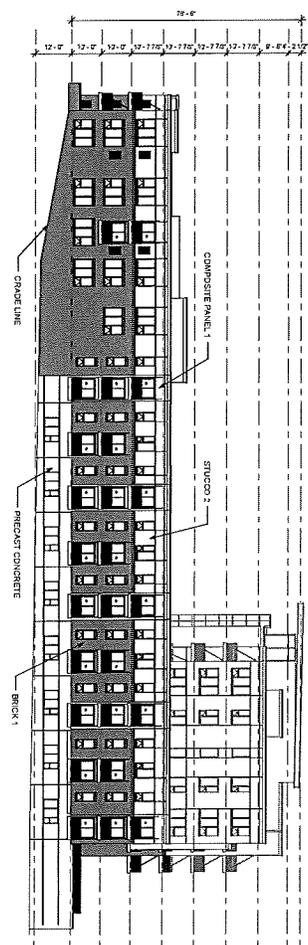
ACS



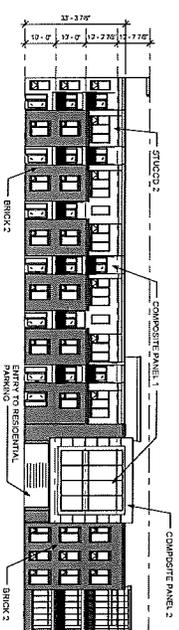
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TYPE 1'0"



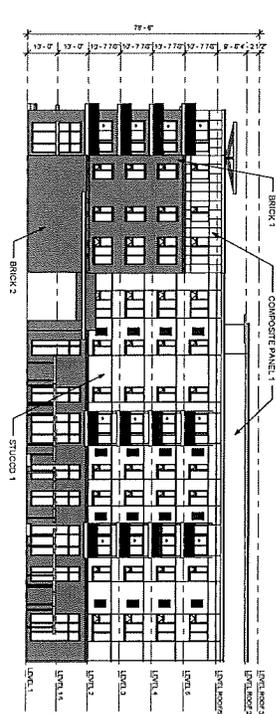
4 COURTYARD SOUTH  
TYPE 1'0"



1 WEST EXTERIOR ELEVATION  
TYPE 1'0"



3 COURTYARD EAST  
TYPE 1'0"



5 COURTYARD WEST  
TYPE 1'0"

PRELIMINARY - NOT FOR CONSTRUCTION

Task	Date	Project #	140015
PRELIMINARY DEVELOPMENT	10/12/14	Date	10/20/14
Drawn by	ESL	Checked by	SSB

**ELEMENT**  
 720 FRENCH AVENUE SOUTH, EDEN PRAIRIE, MN 55424  
 TEL: 952.935.3333 FAX: 952.935.3334  
 WWW.ELEMENTARCHITECTURE.COM

**DJR ARCHITECTURE, INC.**  
 311 WEST WASHINGTON STREET, SUITE 200  
 MINNEAPOLIS, MN 55401  
 TEL: 612.576.2700 FAX: 612.576.2701  
 WWW.DJRARCHITECTURE.COM

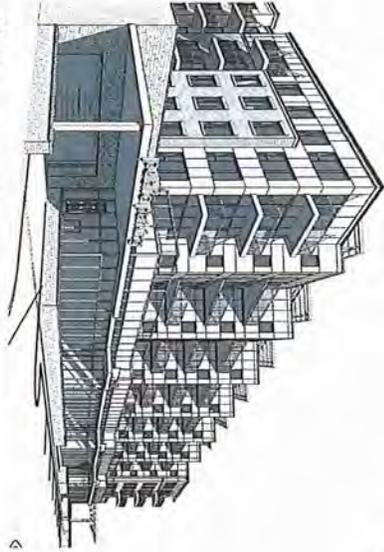
CLIENT: **MINNEAPOLIS COMMUNITY DEVELOPMENT DEPARTMENT**  
 CONTRACTOR: **MINNEAPOLIS COMMUNITY DEVELOPMENT DEPARTMENT**  
 ARCHITECTURAL CONSULTANT: **MINNEAPOLIS COMMUNITY DEVELOPMENT DEPARTMENT**  
 DATE: **10/20/14**

A201

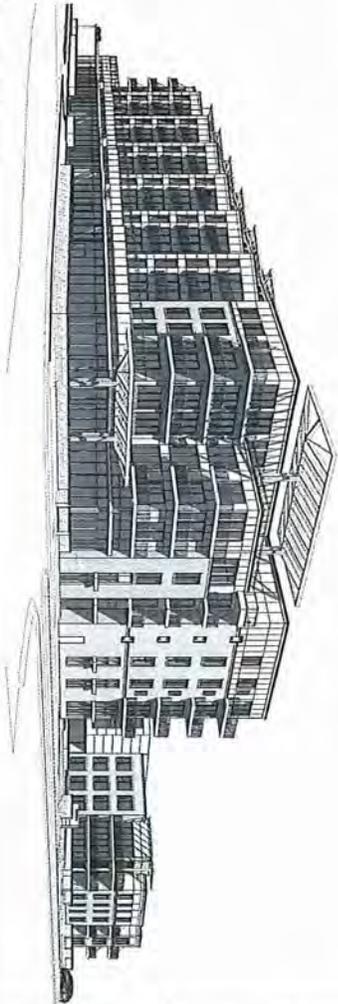
EXTERIOR ELEVATIONS

btA

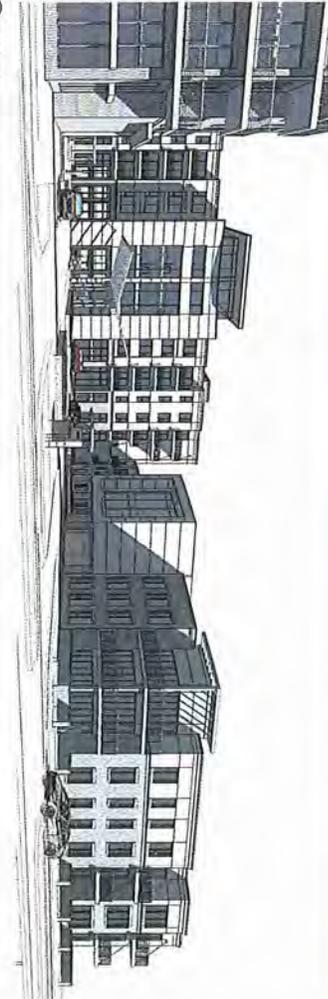
1 NORTH ELEVATION EXTERIOR PERSPECTIVE



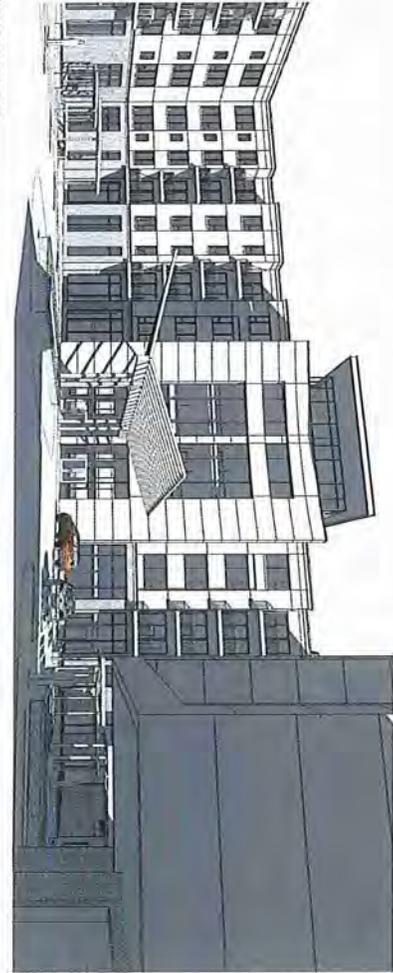
1 SOUTH ELEVATION EXTERIOR PERSPECTIVE



2 TOWN A COURT



3 COURTYARD PERSPECTIVE



**ELEMENT**  
750 FRANCE AVENUE SOUTH BEND, IN 46708

PRELIMINARY - NOT FOR CONSTRUCTION

THIS SET OF DRAWINGS IS PREPARED BY THE ARCHITECT FOR THE CLIENT'S USE ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

Client	DATE	Project	14/015
PRELIMINARY DEVELOPMENT	13/10/2014	Date	13/25/2014
		Drawn by	ES 138
		Checked by	CSB

CLIENT: [REDACTED]  
ARCHITECT: [REDACTED]  
DATE: [REDACTED]

PROJECT: [REDACTED]  
ADDRESS: [REDACTED]  
CITY: [REDACTED]

**DJR**  
ARCHITECTURE, INC.  
11100 WOODBURN AVENUE, SUITE 200  
BIRMINGHAM, ALABAMA 35244  
205.988.2700 www.djrarch.com

A250



1 NORTH EXTERIOR ELEVATION  
1" = 30'-0"

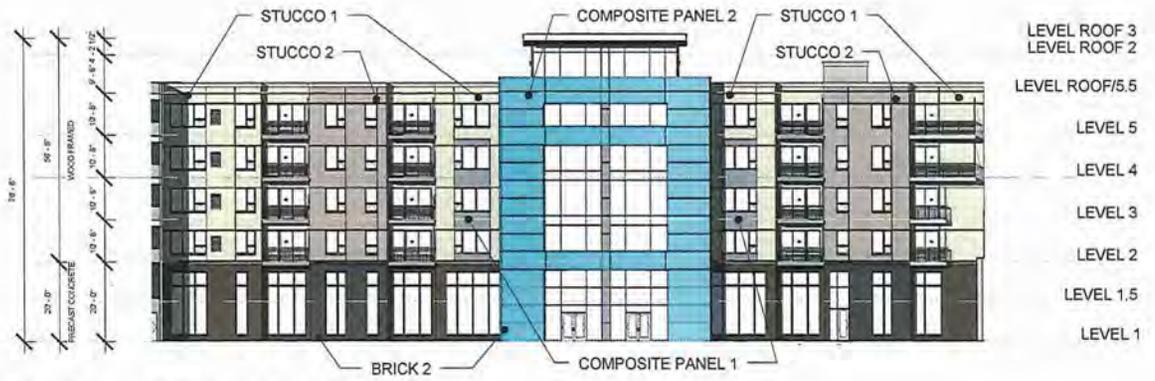


2 WEST EXTERIOR ELEVATION  
1" = 30'-0"

A50



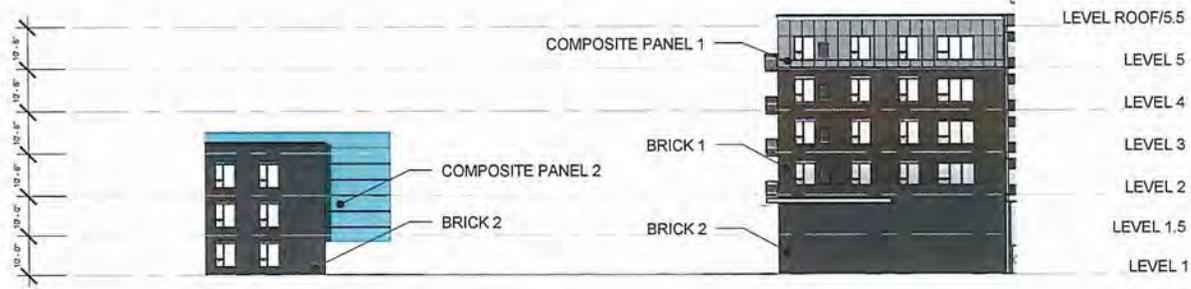
AS2



1 COURTYARD NORTH ELEVATION  
1" = 30'-0"



2 COURTYARD WEST ELEVATION  
1" = 30'-0"

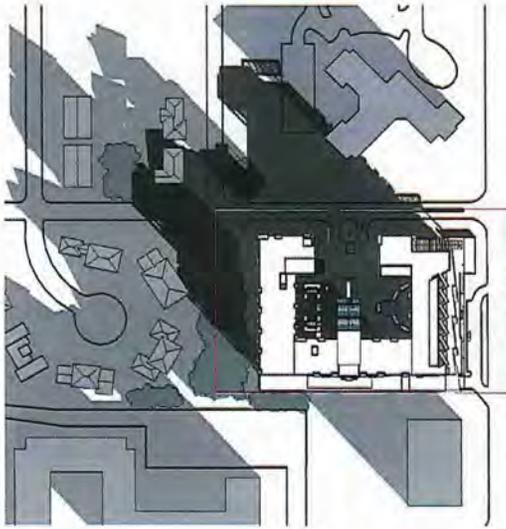


1 COURTYARD SOUTH ELEVATION  
1" = 30'-0"

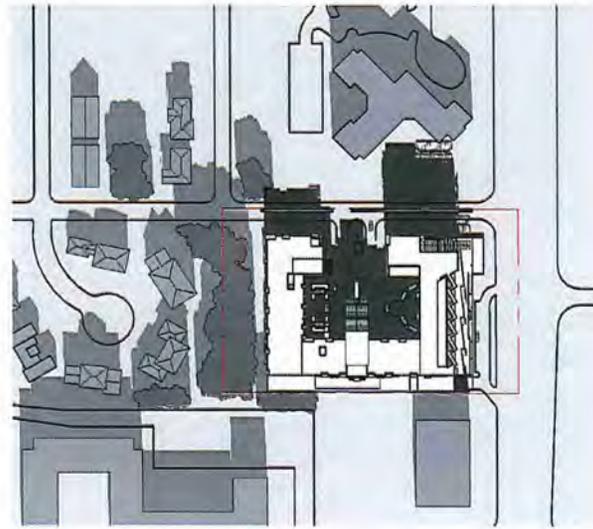


2 COURTYARD EAST ELEVATION  
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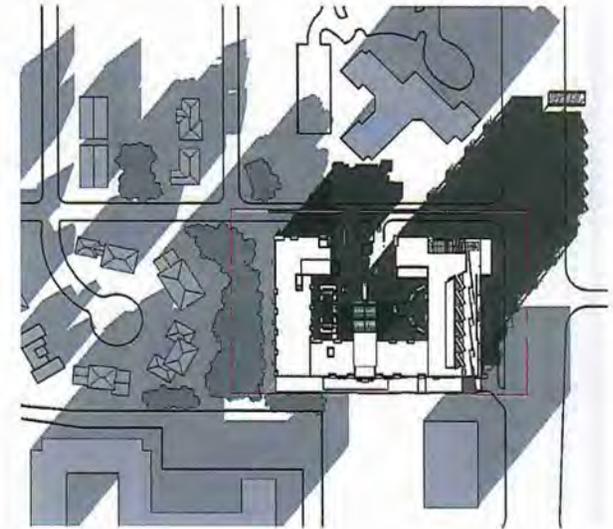
A53



**9:00 AM**  
SCALE 1"=200'-0"



**NOON**  
SCALE 1"=200'-0"



**3:00 PM**  
SCALE 1"=200'-0"



AS4

**ELEMENT**

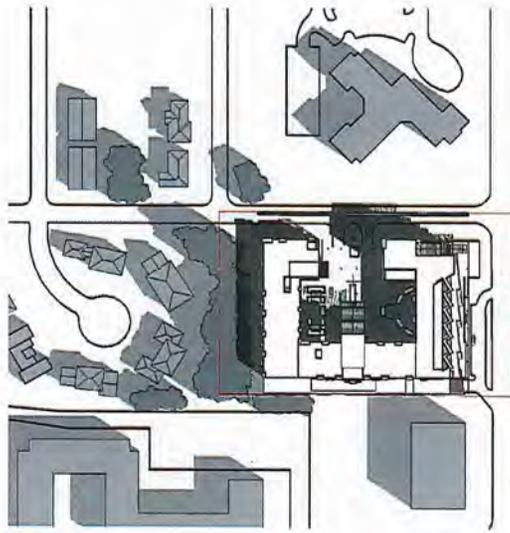
Edina, Minnesota

November 4, 2014

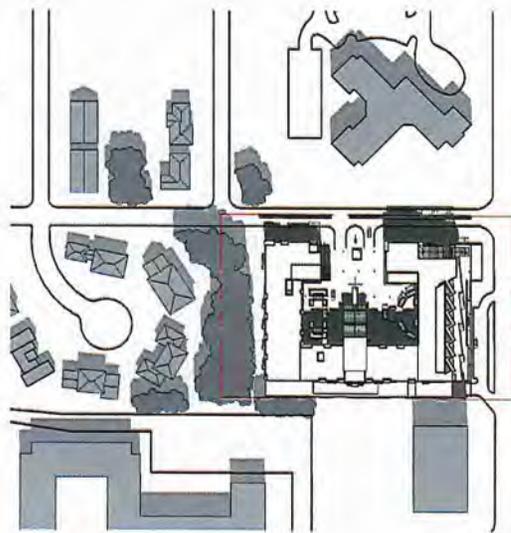
SHADOW STUDY **DECEMBER 21**

1148015.0

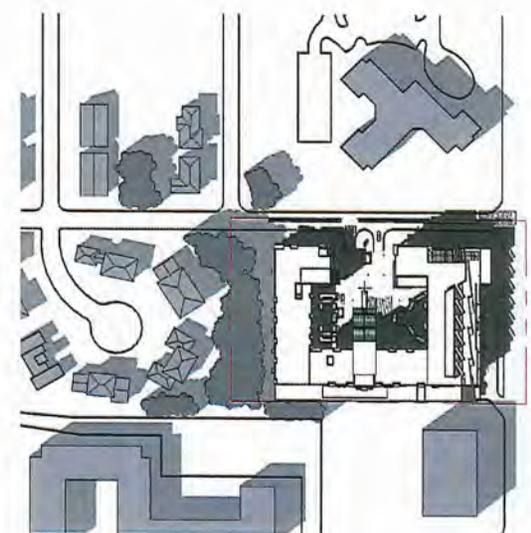
**DJR**  
ARCHITECTURE INC.



**9:00 AM**  
SCALE 1"=200'-0"



**NOON**  
SCALE 1"=200'-0"



**3:00 PM**  
SCALE 1"=200'-0"



457

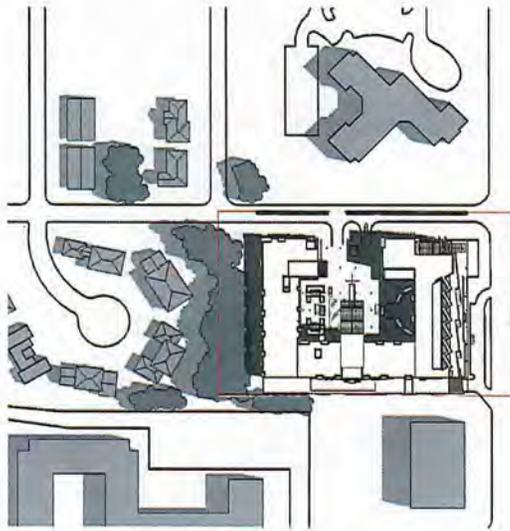
**ELEMENT**

Edina, Minnesota

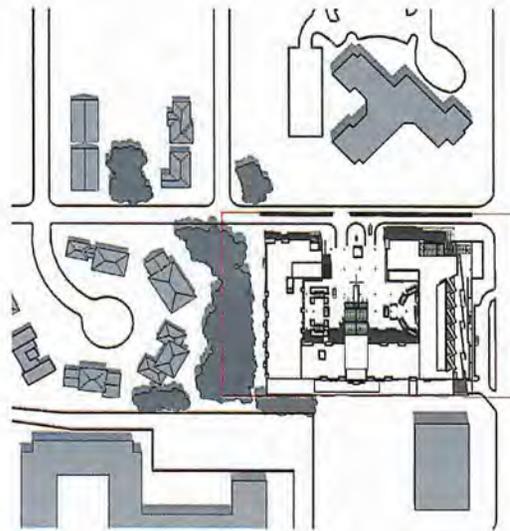
November 4, 2014

SHADOW STUDY MARCH 20 / SEPT. 20

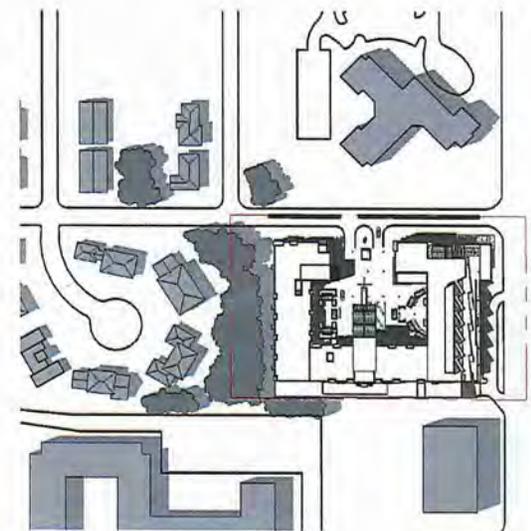
11440019.0



9:00 AM  
SCALE 1"=200'-0"



NOON  
SCALE 1"=200'-0"



3:00 PM  
SCALE 1"=200'-0"



P56

## ELEMENT

Edina, Minnesota

November 4, 2014

SHADOW STUDY JUNE 21

114-0018.0

**DJR**  
ARCHITECTURE INC.



A57

# 72ND AND ERANICE MIXED USE

Edina, Minnesota

June 14, 2014

Sketch Rendering



## 72ND AND FRANCE MIXED USE

Edina, Minnesota

June 11, 2014

Sketch Rendering

**DJR**  
ARCHITECTURE INC.



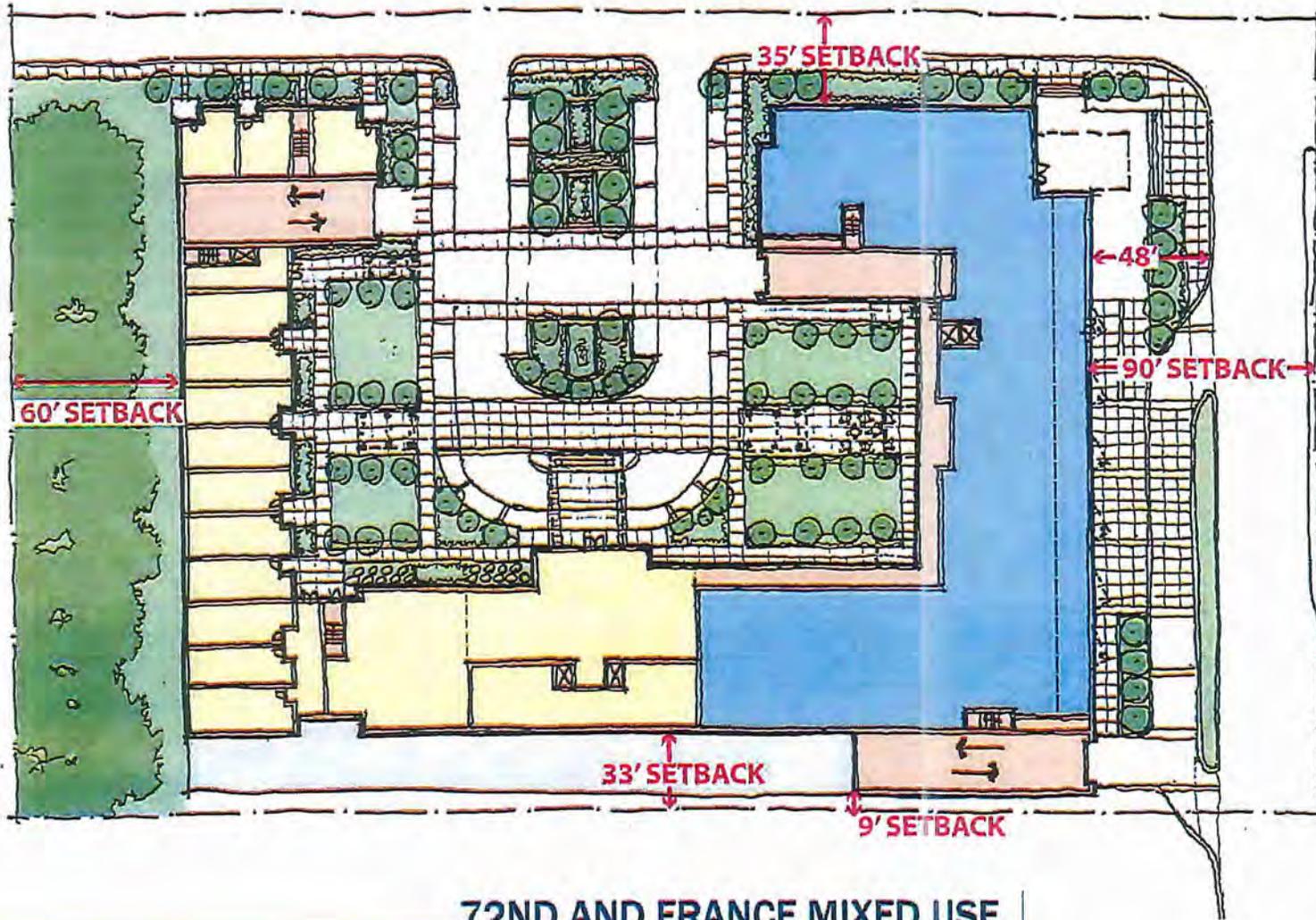
A59

## 72ND AND ERANICE MIXED USE

Edina, Minnesota

June 11, 2014

Sketch Rendering



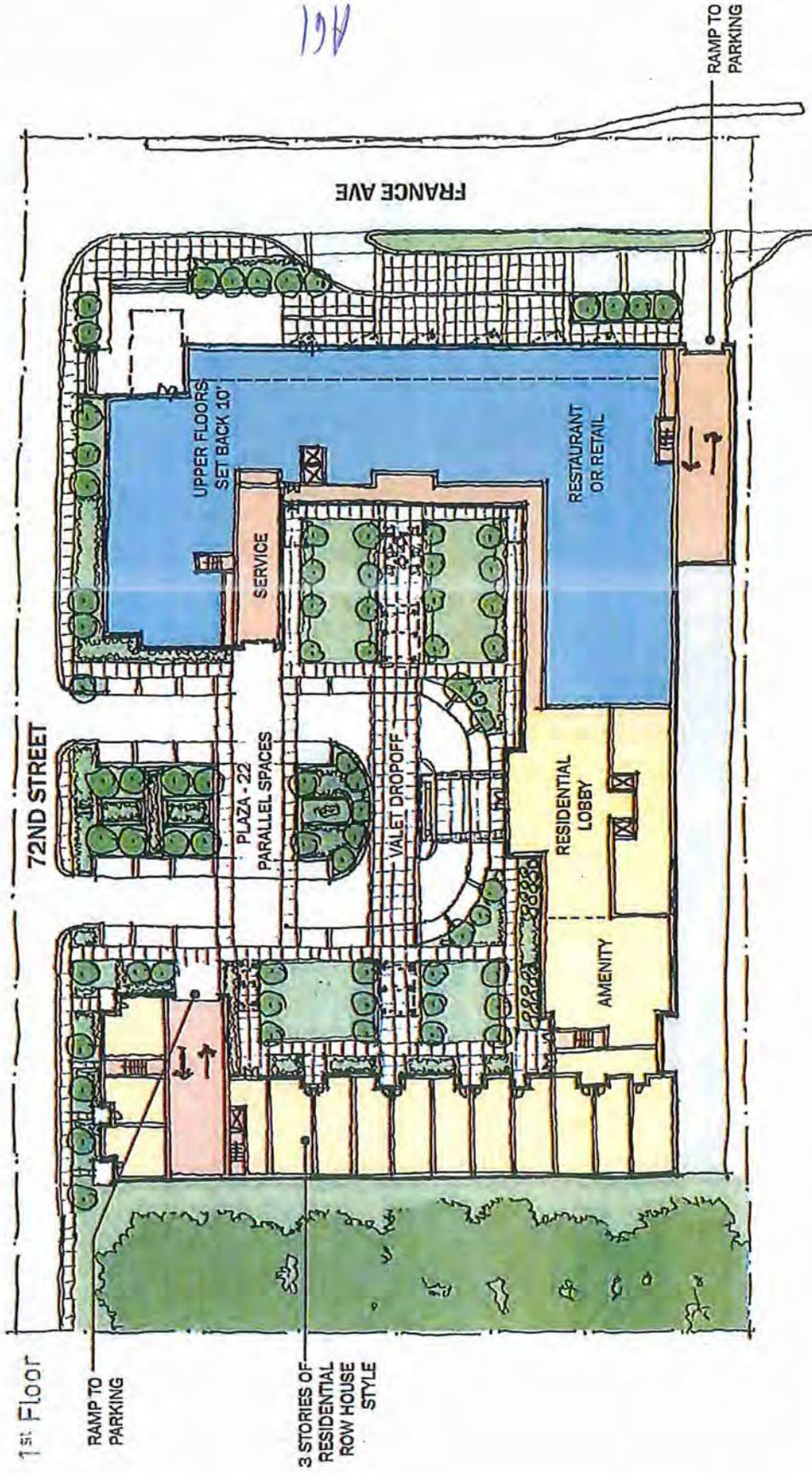
AGG

# 72ND AND FRANCE MIXED USE

Edina, Minnesota

June 11, 2014

First Floor Plan



NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

**BOISCLAIR**  
CORPORATION

~~Ayes Scherer, Schroeder, Carr and Staunton. Nay, Lee, Olson, Platteter and Forrest.  
Motion failed 4-4.~~

~~Commissioner Carr moved to recommend preliminary rezoning approval contingent on approval of the variances. Commissioner Scherer seconded the motion. Ayes; Scherer, Schroeder, Olson, Carr, Platteter, Forrest, Staunton. Nay, Lee. Motion to rezone approved 7-1.~~

~~A discussion ensued on what would happen if the site was approval and the double wasn't built; would the single family home be nonconforming. Planner Teague explained it would be nonconforming; however, if rebuilt as a single family home it would have to be built exactly as is today.~~

P.C. Minutes

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## VII. REPORTS/RECOMMENDATIONS

### A. Sketch Plan – 7200 France Avenue

#### Planner Presentation

Planner Teague informed the Commission a request to consider a sketch plan proposal to redevelop the 3.51 acre parcel at 7200 France Avenue has been made. Teague said the applicant is requesting consideration of a proposal to tear down the existing office building on the site, and redevelop it with a six and four-story mixed use development project that would include the following:

- 170 unit apartment (6 stories) (20% affordable)
- 25 units of row housing. (4 stories)
- 45,500 square feet of retail space including two restaurants.
- A two-level underground parking ramp.

Teague noted the retail space would be located on the France side of the project. Access to the residential portion of the development would be from 72<sup>nd</sup> Street. Access to the retail portion would be off of France Avenue. The existing vegetation and trees on the west side of the site would remain to provide screening from the residential area to the west.

To accommodate the request, three amendments to the Comprehensive Plan would be required:

- Building Height – from 4 stories to 6 stories.
- Housing Density – from 30 units per acre to 50.
- Floor Area Ratio – from .5 to 1.88.

A rezoning of all the property would then be required to PUD, Planned Unit Development.

### **Appearing for the Applicant**

Dean Dovolis DJR Architects and Laurie Boisclair, Boisclair Corporation.

### **Discussion**

Commissioner Lee asked what the zoning of the subject site is and if the existing building was non-conforming. Planner Teague responded the subject site is zoned POD, Planned Office District and the building is non-conforming. Teague said the redevelopment is proposed to incorporate elements of the mixed use zoning district.

### **Applicant Presentation**

Mr. Dovolis addressed the Commission and explained in his opinion the geometry of the site works well with the proposed redevelopment. Dovolis explained the goal is to create a gracious entry off of France Avenue that would be an improvement for the City and will enhance the character of the neighborhood. Dovolis pointed out the mixed use aspects of the proposed redevelopment would provide the following:

- The proposed building will replace an existing building with paved surface parking lot.
- 26,500 square feet of retail/office space.
- 195 residential housing units to include an affordable housing element (20%).
- 570 parking spaces.
- Majority of the parking spaces would be located within the building (underground) creating a better visual environment.
- Maintain and enhance green space area to the west.
- Development of roof deck(s), green space and rain gardens.
- Commercial traffic off France Avenue.
- Residential traffic off West 72<sup>nd</sup> Street.
- Improvement of storm water rates.
- Amendments to the Comprehensive Plan.

Dovolis concluded in his opinion the proposed redevelopment would be a nice evolution along France Avenue providing both housing and retail. Dovolis introduced Laurie Boisclair to further speak to the affordable housing element of the project.

Ms. Boisclair explained that there is an 80%/20% split of market rate to affordable housing. Boisclair said a survey found that the pay rate of those qualifying for "affordable" housing make between \$18.00-\$25.00 per hour.

### **Discussion**

With respect to the affordable housing element Commissioner Scherer asked when the units "turn-over" will the affordability component also carry over. Ms. Boisclair responded in the affirmative.

Commissioner Forrest asked if a square footage per unit was established. Ms. Boisclair responded that she believes a one bedroom unit would be roughly 800 square feet. Unit size would increase thereafter.

Chair Staunton asked if the proposed townhomes are vertical. Mr. Dovolis responded in the affirmative.

Commissioner Kilberg commented that he appreciates the step down element of the building and that special attention was paid to retaining the landscaped buffer on the west. Kilberg said in his opinion the proposal as presented does a good job of balancing density and height. Kilberg acknowledged that the area was designated in the Comprehensive Plan as four stories; however, at first look the proposal appears promising to him. Concluding, Kilberg encouraged the development team to pay special attention to finding traffic solutions pointing out this area is heavily travelled.

Commissioner Lee said she finds the proposal interesting and exciting; however does have concerns with traffic. She added it has been her experience that the speed of traffic along this stretch of France Avenue is high and suggested the addition of turn lanes and broadening the zone along France Avenue. Mr. Dovolis agreed traffic needs to be carefully considered adding the project introduces a "slip lane" that is needed to guide and calm traffic into the site. Continuing, Lee questioned why six stories are needed. Dovolis said height is needed to afford the underground parking. He said the proposed density allows amenities and improves the aesthetics of the site by locating the majority of parking underground. Dovolis acknowledged there is a balance of density to use.

Commissioner Platteter said he also finds this an interesting project. He further suggested when formal application is made that the applicant provide materials indicating building heights in the surrounding area. Platteter added he is also concerned with the slip lane and ramp access/valet parking. Continuing, Platteter said he appreciates the podium height; however there may be too much height on France Avenue. Platteter stated he's not opposed to six stories; however much depends on where those six stores are located.

Commissioner Carr said she too is interested in the proposal; however, finds the building mass along France Avenue too much. Carr suggested more articulation in building wall through colors or angles. Continuing, Carr asked where guest parking was located. Mr. Dovolis responded that guest parking would be in the underground garage, adding there are also a few "short term" parking spaces at grade. Commissioner Carr asked if bike racks are provided. Dovolis responded in the affirmative.

Commissioner Olsen acknowledged the mix of uses; however, said she was struggling with the density, building mass and traffic. Olsen said in her opinion much hinges on the traffic study and what it reveals. She also said the development team needs to work carefully with a traffic engineer and with the County. Concluding, Olsen suggested a more straight connectivity and the addition of a traffic signal. Mr. Dovolis responded they are working with a traffic engineer and are looking at introducing a curb less design will bollards. Dovolis said they are trying to achieve a different effect with this redevelopment. Continuing, Dovolis said he would continue to focus on traffic and the pedestrian mix with the hopes of "enhancing this area". Dovolis said he was also considering tying the project with the open space to the north by developing a playground/public area that would benefit not only the residents of the building but the City.

Commissioner Forrest acknowledged sustainability aspects of the project; however asked the applicant to provide a more detailed and measurable plan prior to formal application.

Commissioner Schroeder said at this time he doesn't have an issue with the mix of uses or density; however, does have a concern that future residents of the building will cut through the neighborhood to go north/west. Schroeder pointed out a residential neighborhood and school are located to the north and west of the subject site and special attention needs to be paid to the potential for cut through traffic. Continuing, Schroeder said he also has a concern with traffic maneuvering and traffic movements from both France and West 72<sup>nd</sup> Street. Schroeder acknowledged while the project has much to like about it he believes traffic will be the major drawback. Schroeder said he was supportive of connecting the open space to the north with the project as a playground/public space; however, believes that area may be "open space" to filter storm water for the neighborhood. Concluding, Schroder said the architecture is good, but the access points are difficult.

Chair Staunton stated he echo's comments from other Commissioners, adding he likes the mixed use aspect of the project but believes there are some challenges with circulation; acknowledging that the mixed use concept does spread out the traffic. Continuing, Staunton said he was not alarmed by the height; however, there was a reason the Comprehensive Plan deliberately guided this area for no more than four stories. Staunton acknowledged at the time the Comprehensive Plan was revised the City was operating on the premise that four stories west of France Avenue was best. Staunton said in this instance the Commission and Council need to figure out if this is still the case and what this area of Edina can handle. Concluding, Staunton said he's not opposed to the redevelopment plan; it has promise; however, the City needs to be sure this type of density can be handled in this area.

Chair Staunton thanked Mr. Dovolis and Ms. Boisclair for their presentation, adding he looks forward to the formal application.

## **B. Sketch Plan – 4121 West 50<sup>th</sup> Street**

### **Planner Presentation**

Planner Teague said the Planning Commission is being asked to consider a sketch plan request to allow a change in use of the existing two-story apartment building at 4121 West 50<sup>th</sup> Street. The proposal is to continue the multi-family use on the first floor and lower level, and remodel the second floor into office space. A PUD rezoning is therefore proposed to allow for the mixed use within the building.

The existing building contains nine residential units. Most units have 2 bedrooms, with 1.5 bathrooms and are roughly 1,000 square feet in size. The building recently was significantly remodeled. There are no plans to expand or modify the exterior of the building. The proposal would simply be for a remodel of the 2<sup>nd</sup> floor interior and change of use. The proposed plan would maintain the two residential units in the basement or lower level; maintain the four units on the first floor; and remodel the three units on the third floor into office space

The property is currently zoned Planned Residential District 4, PRD-4 and is guided, MXC, Mixed Use Center. The MXC allows multifamily residential and office space. Therefore, the proposed use would be consistent with the Comprehensive Plan.

The following would therefore be required to accommodate the request:

- Rezoning from PRD-4, Planned Residential District-4 to PUD, Planned unit development

Ben Hacker, 7105 Gloucester Avenue, addressed the Council.

**Member Swenson made a motion, seconded by Member Sprague, to close the public hearing.**

Ayes: Bennett, Brindle, Sprague, Swenson, Hovland  
Motion carried.

Mr. Teague addressed issues raised during public testimony on types of variances that had been considered in this area. Mr. Mortenson indicated his building footprint included all uses on the block but even when considering only the residential-type uses; his proposal remained in line with the average structure. The Council discussed the proposal and asked questions of Mr. Mortenson and Mr. Teague relating to use of the lower level and site drainage. Support was expressed for the improved design, sustainability aspects, and redevelopment of a site bordered on either side by a parking lot.

Council Discussion & Action

Council concern was expressed related to the requested lot coverage variance, lack of hardship required for variance consideration, storm water drainage, ineffective location of two rain gardens at the rear of the property, and potential risk of sanitary infiltration and inflow due to proposed excavations that lacked positive surface drainage. **Member Swenson introduced and moved adoption of Resolution No. 2014-79, Denying Preliminary Rezoning from R-1 to R-2; Lot Area and Width Variances; Building Coverage Variances; and, Side Yard Setback Variances, based on the following findings:**

- 2.01 The variance criteria are not met.**
- 2.02 The current zoning is consistent with the Comprehensive Plan.**
- 2.03 The multiple variances requested demonstrate the property is not suitable for R-2 zoning.**
- 2.04 There are no practical difficulties in complying with the Zoning Ordinance. The property owner does not propose to use the property in a reasonable manner prohibited by the Zoning Ordinance. It is not reasonable to deviate from the ordinance requirements when there is nothing unique about the property that justifies the variances. The need for variances is caused by the applicant's desire to build such a large two-family dwelling on the site.**
- 2.05 Reasonable use of the property exists with the two-story single family currently located on the property.**
- 2.06 The size of the proposed structure creates the need for the lot coverage variance, and the side yard setback variance.**
- 2.07 The City has traditionally not granted variances for building lot coverage when tearing down a home (single-family home or duplex) and building a new one.**
- 2.08 Proposed building coverage would be nearly triple the building coverage that exists today with the single family home.**

Member Sprague seconded the motion.

Ayes: Bennett, Sprague, Swenson, Hovland  
Nays: Brindle  
Motion carried.

**VII. COMMUNITY COMMENT**

No one appeared to comment.

**VIII. REPORTS / RECOMMENDATIONS**

**VIII.D. SKETCH PLAN – 7200 FRANCE AVENUE – REVIEWED**

Mayor Hovland explained the purpose of sketch plan review, which did not include a public hearing, noting the application process that followed included four opportunities for public testimony.



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## Minutes/Edina City Council/July 15, 2014

It was noted the proposal was to redevelop the 3.51-acre parcel at 7200 France Avenue to tear down the existing outdated office building and redevelop it with a six- and four-story mixed use development project.

### Proponent Presentation

Dean Dovolis, DJR Architects, presented elements of the project that included 195 residential units with 40 units being affordable; 26,000 square feet of commercial space; and, underground parking. Mr. Dovolis displayed colored artist renditions of exterior elevations.

Bruce Johnson, landscape architect, presented a landscape plan, noting it would create a lush environment through the use of plants, stones, and water and include winter interest.

Laurie Boisclair, Boisclair Corporation and project co-sponsor, described the company's housing portfolio and intention to request housing revenue bonds to allow setting aside 40 affordable units as well as Tax Increment Financing (TIF) to cover the gap in rental disparity between affordable units (81 cents/square foot) to market rate units (\$1.19 per square foot). The affordability threshold would be 50% of area median income. Ms. Boisclair described the tenant base for affordable units that would be scattered throughout the buildings and of varied design and number of bedrooms.

Mat Pascina, SRF Consulting, presented the findings of the independent preliminary traffic analysis. He reported current trip generation from this site was 500 daily trips and the proposed land use would increase it to 2,500 daily trips with retail (accessed from France Avenue) making up two-thirds of that number. Mr. Pascina stated France Avenue, a six-lane facility, could feasibly handle 40,000 to 50,000 vehicles per day. The roadway was currently handling 28,000 vehicles per day, identifying that additional capacity was available. Mr. Pascina explained how the project would minimize impacts to 72<sup>nd</sup> Street and recommended developing travel demand strategies for residents and employees. In conclusion, Mr. Pascina addressed points of access, turning movements, sight lines, and truck maneuvers.

### Community Development Director Presentation

Mr. Teague explained that to accommodate this request, three amendments to the Comprehensive Plan would be required: building height from four stories to six stories; housing density from 30 units per acre to 50 units per acre; and, floor area ratio from .5 to 1.88. A rezoning would also be required to PUD, Planned Unit Development. Mr. Teague reviewed concerns of the Planning Commission related to height and density, traffic, and to require podium height on the France Avenue side.

### Council Discussion

The Council supported this location for multi-residential housing, having a 140-foot setback from the closest single-family house to the west, building design elements, underground parking, providing varied (1-3 bedroom) workforce units, not displacing relatively affordable housing, offering a variety of housing units (townhomes and apartments), landscape features, and creation of a green berm/buffer.

The Council offered the following recommendations: reduce intensity of the land use (height, massing, floor area ratio, and density); improve the pedestrian streetscape experience; consider eliminating the sidewalk cut-in and extend the curb; provide a significant podium on France Avenue without creating a step-up facing single-family residential; address traffic circulation to prevent neighborhood impact; encourage multimodal transportation by enhancing bicycle facility and providing interior storage; address stormwater management; provide recreational opportunities for tenants; replace asphalt with green space; and, address and mitigate impacts to the City's infrastructure and schools.

The Council acknowledged the City would hire, at the developer's expense, a consultant to conduct a traffic study. The development team was encouraged to keep the neighborhood's interests in mind.

## ~~VIII.E. FINAL ALIGNMENT OF NINE MILE CREEK REGIONAL TRAIL - APPROVED~~



**DATE:** November 3, 2014  
**TO:** Cary Teague – Planning Director  
**CC:** Chad Millner – City Engineer  
**FROM:** Ross Bintner P.E. - Environmental Engineer  
**RE:** **7200 France Avenue – Development Review**

The Engineering Department has reviewed the subject property for street and utility connections, grading, storm water, erosion and sediment control.

#### *Planning Concerns*

1. Significant planning level concerns for sanitary inflow, stormwater and flood storage exist. Preliminary approvals should be held until agreement is reached on a preliminary stormwater management plan.

#### *Survey*

2. Consider platting lot and provide 30' right of way for 72<sup>nd</sup> Street.

#### *Soils*

3. Provide soil borings logs and soils report including piezometer groundwater readings to confirm infiltration rates and support groundwater mounding analysis.
4. Provide copy of phase I environmental review.

#### *Details*

5. City Standard Plates available here: [http://edinamn.gov/index.php?section=construction\\_standards](http://edinamn.gov/index.php?section=construction_standards)

#### *Traffic and Street*

6. Provide traffic analysis and expand scope of 72<sup>nd</sup> street improvements to provide dedicated left turn lane from 72<sup>nd</sup> Street to building.
7. Entrance and driveway must accommodate a design vehicle of Pierce fire truck 12205. See attached sheets.
8. Some architectural sheets show pedestrian access across France Avenue, remove these markings.
9. Provide widths for 72<sup>nd</sup> Street driving paths and medians.
10. Show pedestrian access across 72<sup>nd</sup> street and receiving pedestrian ramp on north side of intersection.
11. Proposed France Avenue lighting must remain consistent with Canto light fixtures.

#### *Sanitary and Water Utilities*

12. Depth of sanitary will required pumped outlet from 2 level underground parking garage.
13. Soil infiltration feature is sited adjacent to and up-gradient of 2 level underground parking. Provide groundwater mounding analysis and design infiltration feature such that groundwater elevation will not intercept low floor garage elevation.
14. Provide hydrant access in the courtyard.



### *Storm Water Utility*

15. France Avenue low point currently flows into 7200 France property. Hydrologic model needs to address modified EOF path for this condition, and grading plan needs to prevent inflow into parking garage.
16. Downstream stormwater system has limited capacity. Provide existing conditions lift station design. Rate will be limited to 0.5cfs or existing conditions, whichever is less.
17. Applicant may review local drainage features at the following links: <https://maps.barr.com/edina/> and [http://edinamn.gov/index.php?section=engineering\\_water\\_resource](http://edinamn.gov/index.php?section=engineering_water_resource)
18. The subject property provides conveyance of stormwater and flood storage for adjacent properties to the south through three private easements noted on the ALTA title survey. Provide hydrologic and hydraulic report detailing the proposed changes to rate, volume, flow, flood storage and peak flood elevations.
  - a. Use NOAA Atlas 14 storm probabilities
  - b. Provide storage for LE\_20 flood waters
19. Building low floor elevation must follow CWRMP policy 3.1.1.1, be a minimum of 2' above the 100 year HWL of basin.
20. Provide private maintenance agreement for lift station and associated stormwater infrastructure.

### *Grading, Erosion and Sediment Control*

21. MPCA SWPPP will be required for development plans.

### *Other Agency Coordination*

22. Apply for Nine Mile Creek Watershed District permit and schedule preliminary plan review with District Engineer.
23. Other agency permits such as Hennepin County Public Works, MNDH, MPCA, MCES may be required.

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#### **ENGINEERING DEPARTMENT**

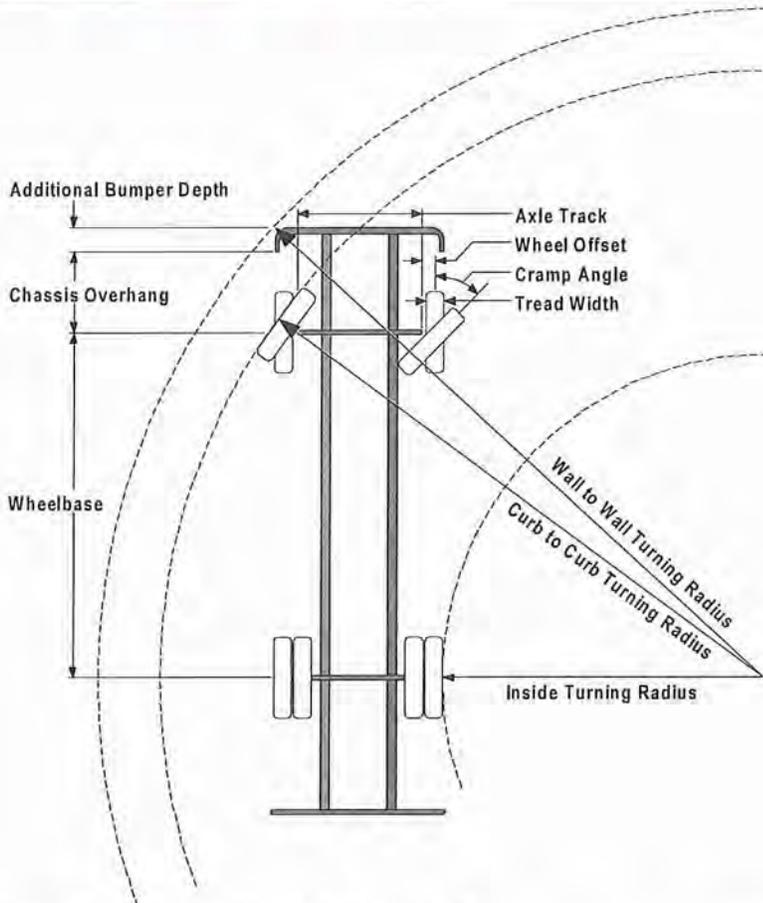
7450 Metro Boulevard • Edina, Minnesota 55439  
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392

AG9



# Turning Performance Analysis

5/1/2013



### Parameters:

Inside Cramp Angle:	45.00 °
Axle Track:	81.92 in.
Wheel Offset:	5.25 in.
Tread Width:	16.60 in.
Chassis Overhang:	65.99 in.
Additional Bumper Depth:	19.00 in.
Front Overhang:	84.99 in.
Wheelbase:	258.00 in.

### Calculated Turning Radii:

Inside Turn:	20 ft. 4 in.
Curb to Curb:	36 ft. 8 in.
Wall to Wall:	41 ft. 1 in.

### Comments:

Truck 12205

Components	PRIDE #	Description
Front Tires	0078244	Tires, Michelin, 425/65R22.50 20 ply XZY 3 tread
Chassis	0070220	Dash-2000, Chassis, PAP/SkyArm/Midmount
Front Bumper	0123625	Bumper, 19" extended, Imp/Vel
Aerial Device	0006900	xxxAerial, 100' Pierce Platform

### Notes:

Actual Inside Cramp Angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for a 9.00 inch curb.



## Turning Performance Analysis

5/1/2013

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### Definitions:

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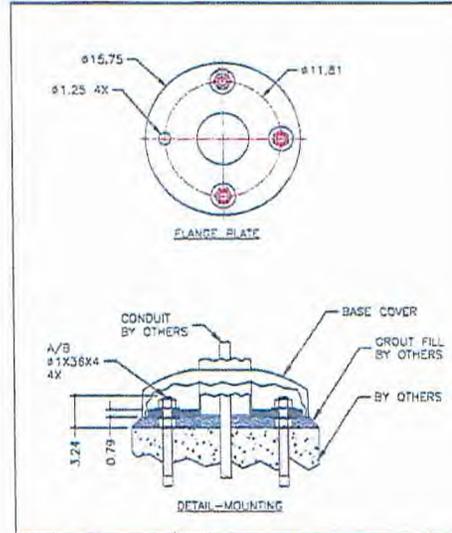
Inside Cramp Angle	Maximum turning angle of the front inside tire.
Axle Track	King-pin to king-pin distance of the front axle.
Wheel Offset	Offset from the center-line of the wheel to the king-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance from the center-line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Depth	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicle's front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle inside of which the vehicle's tires can turn. This measurement assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle inside of which the entire vehicle can turn. This measurement takes into account any front overhang due to the chassis, bumper extensions and/or aerial devices.

# CANTO LIGHT FIXTURE



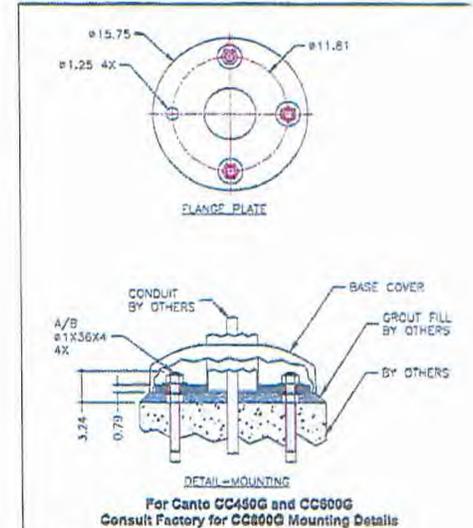
CANTO STANDARD

## Mounting Detail



CANTO G

## Mounting Detail





## Traffic Impact Study for 7200 France Avenue in Edina, MN

Prepared for:

**CITY OF EDINA**

Prepared by:

**WENCK ASSOCIATES, INC.**

1800 Pioneer Creek Center

P.O. Box 249

Maple Plain, Minnesota 55359-0249

(763) 479-4200

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## 1.0 Executive Summary

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The purpose of this Traffic Impact Study is to evaluate the traffic impacts of the proposed new residential and restaurant/retail development located at 7200 France Avenue in Edina, MN. The project site is located in the southwest corner of the France Avenue/72<sup>nd</sup> Street intersection. The proposed project location is currently occupied by a three story office building.

This study examined weekday a.m. and p.m. peak hour traffic impacts of the proposed redevelopment at the following intersections:

- France Avenue/70th Street
- France Avenue/Hazelton Road
- France Avenue/72<sup>nd</sup> Street
- France Avenue/Gallager Drive
- France Avenue/proposed access
- 72<sup>nd</sup> Street/proposed access

### Proposed Development Characteristics

The proposed project will involve removal of the existing office building and constructing a new residential and restaurant/retail building. The project includes 521 on-site parking spaces.

The proposed land uses and sizes are shown below.

**Proposed Land Uses and Sizes**

Land Use	Size	Unit
Apartments	160	DU
Quality restaurant	5,000	SF
Quality restaurant	9,000	SF
Retail	6,000	SF

SF = square feet, DU = dwelling units

As shown in the site plan, the project includes access on both 72<sup>nd</sup> Street and France Avenue. The access as proposed prohibits left turns onto 72<sup>nd</sup> Street from the development through the construction of a center median. Left and right turns in and right turns out are allowed. This type of access configuration is known as a three-quarter access because three of the four access movements are allowed. The access on France Avenue is restricted to right turns in and out by the existing center median.

As proposed, all residential trips will use the 72<sup>nd</sup> Street access while all retail and restaurant trips will use the France Avenue access. The project is expected to be completed by the end of 2016.

## Jackie Hoogenakker

---

**From:** Sita. k. Dash <drdash.uaslabs@gmail.com>  
**Sent:** Tuesday, November 04, 2014 11:30 AM  
**To:** Jackie Hoogenakker  
**Cc:** Sita. k. Dash  
**Subject:** Case File: 2014.017

TO: City of Edina Planning Department  
4801 West 50th Street  
Edina, MN 55424

Thank you for giving me the opportunity to review the proposal to build a 5-story, 160 unit apartment building with 20,000 square feet of retail on the first level on the property address 7200 France Ave, Edina, MN.

I do object to this proposal and object to any change to the current zoning of the property at 7200 France Ave, Edina, MN.

Sincerely,

Sita Kantha Dash  
7300 France Ave S. Suite 208  
Edina, MN 55435

O: 651-583-7281  
C: 612-325-1693  
F: 952-405-6240

## Jackie Hoogenakker

---

**From:** Paul Hughes Sr. <paul.sr@peoplehelpinc.com>  
**Sent:** Monday, November 03, 2014 2:01 PM  
**To:** Jackie Hoogenakker  
**Subject:** case file 2014.017

My concern for approval of this request is as follows:

1. Traffic flow Assumption being that a significant number of this proposed apartment residents will have an automobile. Regardless of previous studies indicating amount of vehicle France ave will manage you can only turn South on France off of 72nd. This will cause major traffic congestion in the early am for those using 72nd to get onto France ave. "If those in the proposed parking wish to turn left onto 72nd out of the parking this will only add to my first sentence expression of traffic congestion. And finally, those turning left out of the apartment complex will be added unnecessary neighborhood traffic around the assisted living facility and the elementary school traffic. In the late afternoon or early evening return of residents heading north bound on France and turning onto 72nd heading west bound this could become a nightmare attempting to enter the designated turn lane (which holds only about 4-5 cars) becoming stacked up waiting to make their left hand turn onto 72nd - should that happen then you have north bound traffic problem on France ave.

Frankly, the investors will profit from approval of this and we residents will pay the price in a combination of congested traffic, potential accidents and bodily injuries. The plan is flawed with underestimated concerns for the already overburdened traffic counts on France Ave, period!

2. A 5 story building with 160 apartments My personal opinion is that the number of apartment units is excessive! And in this latest memo there is no reference to 'low income' housing. Earlier there was mentioned of this accommodating police and nurse personnel unable to afford housing in Edina. I am sorry, if they cannot afford living in Edina they can't afford it. Those of us residence who have invested in the 'cost' of living in Edina over several decades have paid the price for the life style that living in Edina has provided. We are proud of that! and the desirability to be a resident will diminish with planning commission members/city council members warranting more and more 'low cost' housing when the cost is the cost. These members know that one can have any car they want to drive as long as they can afford it and if a person can't afford a certain car than they have to find an alternative.

It would be appropriate to learn what is the underlying motivation of each individual on the planning commission and city council is for considering the disruption of established neighborhoods (the real motivation - not the political one's) with these type of proposals. The city would be served well if the residents within the the 1000 feet of this proposed building project were allowed to vote yes or no on acceptance. I have greater confidence in their ability to discern the merits of this request than the planning commission or city councils arms length mind sets.

My fear is that those two entities have protocol to follow and minds are often made up before we residents are communicated with and even with our input these type issues get jammed down our throats and then we are informed. That is their typical pattern of process.

## Jackie Hoogenakker

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**From:** ChadNSmith@eaton.com  
**Sent:** Sunday, November 02, 2014 12:56 PM  
**To:** Jackie Hoogenakker  
**Subject:** Case file 2014.017

Hello

I am against the proposed development on 7200 France Ave by applicant 7200 LLC. The traffic in this area is already too congested. There are two apartment complexes behind Byerlys that will increase the congestion.

Cornelia Elementary is within 2,000 ft of the proposed development. The kids in this neighborhood walk to school and will be affected by the increase in population.

Is this areas utilities capable of handling the increase in sewer demands?

Chad Smith  
7017 Bristol Blvd  
Edina, MN 55435  
612-207-6006

## Jackie Hoogenakker

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**From:** Kathy <oconnellgang@comcast.net>  
**Sent:** Wednesday, November 05, 2014 9:54 PM  
**To:** Jackie Hoogenakker; Kevin Staunton  
**Subject:** 72 and France

I see there is a new application for a proposed development at 72nd and France. I have sent my concerns on this previously about the high density nature of the proposal, the impacts on infrastructure, such as schools, streets, water and sewer, traffic patterns, police, fire and telecommunications band width.

The newly proposed plan still has high density, with traffic enter 72nd street where access is forced back through the neighborhood. It is not much different than the original proposal that was previously denied.

My understanding is that Edina has a comprehensive plan to guide development in the city, and zoning laws to support the plan.

This request is asking for significant variances to the comp. plan and zoning rules. It doesn't fit our current view of the city.

I also just attended the Edina 20 year comprehensive plan meeting. In that meeting we discussed that the city needs this new plan to help guide decisions like the one proposed here.

Based on the above, I propose the planning commission deny this request until the new Edina 20 year comprehensive plan is clear. This makes the most sense too have a vision of what we want the city to look like, have a plan to build the proper underlying infrastructure to support the plan , and approve development like the one above if they meet the new plan. This new plan is to be in front of the city council in the beginning of 2015.

Please pass along this email to the city council, planning commission, and city manager, to be read at the upcoming meetings on this proposal.

Tom O'Connell

## Jackie Hoogenakker

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**From:** Ruth and Lewis Marshall <mars7101@comcast.net>  
**Sent:** Monday, November 17, 2014 3:05 PM  
**To:** Jackie Hoogenakker  
**Subject:** building at 7200 France Av.

Hi Jackie, would you please forward my letter to the city council for the December 2nd meeting?

Please keep to the Master Comprehensive Plan as it applies to the building at 7200 France. We know the developer wants many variances so they can put up a development they can make money on. Making money is fine, but not at others expense. They don't live in the neighborhood. They won't have to live with the traffic problems it would cause in the neighborhood. Something similar was proposed for the location that the Sunrise building is located on. Sunrise is a quiet neighbor. The building the developer proposed would have generated a lot of traffic in the neighborhood. The developer was giving inaccurate information to the council so they could get a building permit. Fortunately the inaccuracies were discovered before the permit to build was issued. We neighbors feel the same thing is happening with this developer. It seems they make the facts match the story that they are telling, even if the facts are known not to be accurate. Please don't give in to the pressure they will be putting on you to change the rules just for them.

Sincerely, Lewis Marshall  
7101 Cornelia Drive  
Edina, Mn 55435

To all members of the Planning Commission and City Council,

I was unable to attend the November 12<sup>th</sup> meeting concerning the 72<sup>nd</sup> Street proposal and would appreciate it if you would read my letter voicing my concerns.

Once again I have to plead with city officials to protect the integrity of my residential neighborhood. I should not have to do this. You should have respect for the buffers that are in place to protect residential neighborhoods from encroaching density. You should refuse to waste all of our time by listening to proposals by deceitful and disrespectful developers who blatantly insult us with their rule defying proposals! When you agree to hear such proposals, you send the message to home owners that you don't care about preserving the quality of our neighborhood. You also give developers the impression that they can count on your connivance and that you are willing to deceive residents with "pretend" zoning ordinances.

I hope you can understand how incredibly frustrating it is for our neighborhood to see our government show indifference towards the ordinances set up to protect us!

These developers blatantly show their disrespect for our intelligence by padding their presentation with misleading information. For example, they inaccurately draw the height of the building as lower than actuality. They further contrive to skew the size of their structure by drawing the side street wider than reality with vehicles facing the wrong direction, a tactic used to deceive the eye by drawing attention away from the building.

It would be unsafe to increase the number of vehicles using 72<sup>nd</sup> Street, one of only a few exit/entry points for our neighborhood! This is a major concern given the current congestion on France Avenue and the future congestion coming with the Pentagon Park developments!

Furthermore, I caution you to be careful how much housing you allow with respect to our schools' building and functional capacity now and in the distant future.

So I hope you will make the correct decision to veto this monstrous building. I hope you will also show homeowners you respect our property values, our safety, and our right to protect our homes from encroaching density, by putting an end to your policy of wasting all our time by agreeing to view projects that don't adhere to our zoning laws!

We need strong zoning laws that will preserve the integrity of our neighborhood as it bumps up against the Southdale commercial area. We need appropriate buffers and moderated traffic levels for our safety and sanity! It would show great weakness in city government if this buffer is not enforced!

There will be more appropriate proposals for this area once you let developers know they need to produce appropriate designs! Please preserve the safety and quality of our neighborhood. Please do the right thing for your homeowner constituents and put an end to wasting all of our time with unacceptable projects. Thank you!

Marie Sullivan (4512 Hibiscus Ave., Edina)

## Jackie Hoogenakker

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**From:** Pam Tezak <pam.tezak@comcast.net>  
**Sent:** Saturday, November 15, 2014 1:40 PM  
**To:** Jackie Hoogenakker  
**Subject:** 72nd and France Development

I strongly believe that the existing Comp Plan with its 4 story height limit, FAR requirements, and prohibition of retail on the parcel at the corner of 72nd and France is and will continue to be valid. We decry the fact that developers feel like they can extort inappropriate concessions from the city. We would like to see both the Commission and the Council tell this and any other developer that this particular site **MUST BE REDEVELOPED IN COMPLIANCE WITH THE EXISTING MASTER PLAN**. There is ample history to support this position from a professional perspective as to what is in the best interest of your and our city - neighborhood value protection, traffic issues on both 72nd and France, safety of school children, etc. There is also a track record given previous meeting minutes as the same issues were present in the precedent setting decision with regard to the Sunrise Assisted Living Project. This is not a difficult call nor does it require lengthy analysis. We ask that you will do the right thing and voice for all of us the City's opinion that on this particular site the redevelopment requirements are set. Thank you.

Respectfully yours,  
Pam Tezak  
7200 York Ave S #605  
Edina, MN 55435