

REPORT / RECOMMENDATION



To: MAYOR AND COUNCIL

Agenda Item #: V.I.D.

From: Cary Teague, Community Development Director

Action

Discussion

Information

Date: September 2, 2014

Subject: PUBLIC HEARING – Comprehensive Guide Plan Amendment, Preliminary Rezoning from POD-1, to PUD and Preliminary Development Plan, Beacon Interfaith Housing Collaborative; 3330 66th Street. Res. No. 2014-93 and Res. No. 2014-94.

Action Requested:

Comprehensive Plan Amendment

Adopt Resolution No. 2014-93, approving the request for a Comprehensive Plan Amendment for the following:

- To allow affordable housing, in addition to senior housing in the Regional Medical District.

Preliminary Rezoning to PUD, Planned Unit Development District & Preliminary Development Plan

Adopt Resolution No. 2014-94, approving the Preliminary Rezoning to PUD, Planned Unit Development, and approving the Preliminary Development Plan.

Planning Commission Recommendation: On August 13, 2014 the Planning Commission recommended the following:

1. Denial of the Comprehensive Plan Amendment to allow affordable housing in the Regional Medical District. Vote: 3 Ayes, 2 Nays.
2. Approval of a Comprehensive Plan Amendment to the Regional Medical District that would incorporate language into the Comprehensive Plan that would allow this type of project. The suggestion is to incorporate guidelines that would allow this type of facility. Vote; 4 Ayes and 1 Nay.
3. Approval of preliminary rezoning from POD-1, Planned Office District-1 to PUD, Planned Unit Development. Vote: 4 Ayes and 1 Nay.

As a result of the Planning Commission recommendation, staff would offer the following options for the Council to consider:

Option 1

Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
<p>RM Regional Medical</p>	<p>Hospitals, senior housing*, medical and dental offices and clinics, and laboratories for performing medical or dental research, diagnostic testing, analytical or clinical work, having a direct relationship to the providing of health services. General office uses and affordable housing** are permitted.</p> <p>* Senior housing may include: independent living, assisted living, memory care, and skilled nursing.</p> <p>**Affordable housing shall be as defined by the Metropolitan Council.</p>	<p>Form-based design standards for building placement, massing and street-level treatment.</p> <p>Pedestrian circulation and open space amenities should be provided for larger sites.</p>	<p>12-80 senior residential and affordable dwelling units per acre.</p> <p>Floor to Area Ratio - Per current Zoning Code: maximum of 1.0 for medical office uses. Density for senior housing and affordable housing shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p>

Option 2

Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
<p>RM Regional Medical</p>	<p>Hospitals, senior housing*, medical and dental offices and clinics, and laboratories for performing medical or dental research, diagnostic testing, analytical or clinical work, having a direct relationship to the providing of health services. General office uses and affordable housing** are permitted.</p> <p>* Senior housing may include: independent living, assisted living, memory care, and skilled nursing.</p> <p>**Affordable housing shall be as defined by the Metropolitan Council. Affordable housing shall require a PUD rezoning, which would include conditions related to provision of supportive services for residents.</p>	<p>Form-based design standards for building placement, massing and street-level treatment.</p> <p>Pedestrian circulation and open space amenities should be provided for larger sites.</p>	<p>12-80 senior residential and affordable dwelling units per acre.</p> <p>Floor to Area Ratio - Per current Zoning Code: maximum of 1.0 for medical office uses. Density for senior housing and specialty housing shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p>

Option 3

Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
RM Regional Medical	<p>Hospitals, senior housing*, medical and dental offices and clinics, and laboratories for performing medical or dental research, diagnostic testing, analytical or clinical work, having a direct relationship to the providing of health services. General office uses and affordable housing** with supportive services*** are permitted.</p> <p>* Senior housing may include: independent living, assisted living, memory care, and skilled nursing.</p> <p>**Affordable housing shall be as defined by the Metropolitan Council.</p> <p>***Supportive services are services to assist residents with maintaining stability in housing and employment.</p>	<p>Form-based design standards for building placement, massing and street-level treatment. Pedestrian circulation and open space amenities should be provided for larger sites.</p>	<p>12-80 senior residential and affordable dwelling units per acre.</p> <p>Floor to Area Ratio - Per current Zoning Code: maximum of 1.0 for medical office uses. Density for senior housing and specialty housing shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p>

Option 4

Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
RM Regional Medical	<p>Hospitals, senior housing*, medical and dental offices and clinics, and laboratories for performing medical or dental research, diagnostic testing, analytical or clinical work, having a direct relationship to the providing of health services. General office uses and specialty housing** with supportive services*** are permitted.</p> <p>* Senior housing may include: independent living, assisted living, memory care, and skilled nursing.</p> <p>**Specialty housing may include: a housing need identified in the comprehensive plan to serve a need in the City and also meet development goals established in the PUD Ordinance.</p> <p>***Supportive services are services to assist residents with maintaining stability in housing and employment.</p>	<p>Form-based design standards for building placement, massing and street-level treatment. Pedestrian circulation and open space amenities should be provided for larger sites.</p>	<p>12-80 senior residential and affordable dwelling units per acre.</p> <p>Floor to Area Ratio - Per current Zoning Code: maximum of 1.0 for medical office uses. Density for senior housing and specialty housing shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p>

In addition, the PUD Zoning Ordinance that would be created for the site would specifically regulate the type of use that would be allowed on the site. The PUD Ordinance would be written during the second phase of this review process.

Staff Recommendation: Staff recommends approval of the Comprehensive Plan Amendment, Preliminary Rezoning and Preliminary Development Plan per the findings and conditions outlined in the attached Resolutions.

**Information/Background:
(Deadline for a City Council Decision – October 7, 2014)**

The City Council is asked to consider a redevelopment request of the existing TCF Bank building, located at 3330 66th Street by Beacon Interfaith Housing Collaborative (Beacon). The applicant proposes to remodel and expand the building into 39 units of small studio apartments for young adults (age 18-22) who have experienced homelessness. The size of the units would range from 322-451 square feet. Each unit would contain a full kitchen and bathroom. The building would contain offices for on-site service providers and property management. There would also be a community area for residents; a fitness area; a computer lab and a laundry room. (See applicant narrative and plans within the attached Planning Commission staff report.)

The site is 39,204 square feet in size. The existing bank is 18,179 square feet. The proposed addition would be 10,458 square feet. The building would remain two stories. The remodel of the building would retain the existing brick, and the addition would be brick with metal panels.

There would be 19 surface parking stalls. Proof of parking would total 37 total surface stalls. No enclosed parking is proposed. The applicants have indicated in their narrative that 18% of their residents have cars. Beacon anticipates that no more than 12 stalls would be required for residents. The maximum need for staff parking is 6 stalls. Therefore, they believe they would have adequate parking. Residents are expected to utilize the Metro Transit bus service available across the street at Southdale.

All of the 39 units would be considered affordable housing, and would apply towards the City and Met Council's goal for affordable housing.

The Comprehensive Plan defines the site and area as RM, Regional Medical. The RM allows for senior housing on a case by case basis, however, does not allow other housing. Therefore, a Comprehensive Plan Amendment is required.

This development proposal is subject to a two-step review process. The first step in the process is to obtain the following approvals:

1. A Comprehensive Guide Plan Amendment to allow affordable housing in addition to Senior Housing in the Regional Medical District. (4/5 Vote of the City Council required.)
2. Preliminary Rezoning from POD-1, Planned Office District-1, to PUD, Planned Unit Development and Preliminary Development Plan. (3/5 Vote of the City Council required.)

If the Comprehensive Plan Amendment, Preliminary Rezoning and Preliminary Development Plan are approved by the City Council, the following is then required for the second step:

1. Final Development Plan and Final Rezoning to a PUD.
2. Zoning Ordinance Amendment establishing the PUD District.

This property is located within an area of the City that is designated as a "Potential Area of Change" within the 2008 Comprehensive Plan. (See page A3.) The Comprehensive Plan states that within the Potential Areas of Change, "A development proposal that involves a Comprehensive Plan Amendment or a rezoning will require a Small Area Plan study prior to planning application. However, the authority to initiate a Small Area Plan rests with the City Council." The City Council did not require a Small Area Plan during the Sketch Plan Review.

ATTACHMENTS:

- Resolution No. 2014-93
- Resolution No. 2014-94
- Planning Commission minutes, August 13, 2014
- Planning Commission staff report dated August 13, 2014



RESOLUTION NO. 2014-93

RESOLUTION APPROVING A COMPREHENSIVE PLAN AMENDMENT TO ALLOW ADDITIONAL HOUSING IN THE RMD, REGIONAL MEDICAL DISTRICT

BE IT RESOLVED by the City Council of the City of Edina, Minnesota, as follows:

Section 1. BACKGROUND.

- 1.01 Beacon Interfaith Housing Collaborative (Beacon), is proposing remodel and expand the existing TCF Bank building at 3330 66th Street, into 39 units of small studio apartments for young adults (age 18-22) who have experienced homelessness.
- 1.02 The site is 39,204 square feet in size. The existing bank is 18,179 square feet. The proposed addition would be 10,458 square feet. The building would remain two stories. The remodel of the building would retain the existing brick, and the addition would be brick with metal panels.
- 1.03 There would be 19 surface parking stalls. Proof of parking would total 37 total surface stalls. No enclosed parking is proposed. The applicants have indicated in their narrative that 18% of their residents have cars. Beacon anticipates that no more than 12 stalls would be required for residents. The maximum need for staff parking is 6 stalls. Therefore, they believe they would have adequate parking. Residents are expected to utilize the Metro Transit bus service available across the street at Southdale.
- 1.04 All of the 39 units would be considered affordable housing, and would apply towards the City and Met Council's goal for affordable housing.
- 1.05 The Comprehensive Plan defines the site and area as RM, Regional Medical. The RM allows for senior housing on a case by case basis, however, does not allow other housing. Therefore, a Comprehensive Plan Amendment is required.
- 1.06 The specific Comprehensive Plan amendment is to allow affordable housing in addition to Senior Housing in the Regional Medical District.
- 1.03 On August 23, 2014, the Planning Commission made the following motions:
 1. Denial of the Comprehensive Plan Amendment to allow affordable housing in the Regional Medical District. Vote: 3 Ayes, 2 Nays.
 2. Approval of a Comprehensive Plan Amendment to the Regional Medical that would incorporate language into the Comprehensive Plan that would allow this type of project. The suggestion is to incorporate guidelines that would allow this type of facility. Vote: 4 Ayes and 1 Nay.

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Section 2. FINDINGS

2.01 Approval is subject to the following findings:

1. Affordable housing is identified as a need in the Comprehensive Plan; and the proposed amendment would assist the City in meeting its established affordable housing goal with the Met Council of providing 212 new affordable housing units by the year 2020. This project would include 39 new affordable housing units (100% of the projects units) toward that goal.
2. The proposed density of 43 units per acre is reasonable, and within the density range suggested in the Comprehensive Plan of between 12-80 units per acre.
3. The RM District allows senior housing currently. The proposed affordable housing project would include units that are small in size generally similar to senior housing; and the residents within the proposed project typically do not drive, similar to senior housing.
4. The proposed affordable housing project would generate less traffic than the existing bank facility.
5. The project would utilize sustainability principles. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for storm water management; and pedestrian oriented design.
6. The project would meet the following additional Comprehensive Plan goals and objectives:
 - a) Promotion of a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina residents.
 - b) Promotion of lifecycle housing to support a range of housing options that meet people's preferences and circumstance at all stages of life.
 - c) Encourage an integrated mix of building type, heights and footprints within blocks, rather than single buildings or building groups.
 - d) Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.

Section 3. APPROVAL

NOW THEREFORE, it is hereby resolved that the City Council of the City of Edina, approves the Comprehensive Plan amendment as follows, subject to Metropolitan Council approval:

Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
<p>RM Regional Medical</p>	<p>Hospitals, senior housing*, medical and dental offices and clinics, and laboratories for performing medical or dental research, diagnostic testing, analytical or clinical work, having a direct relationship to the providing of health services. General office uses and affordable housing are permitted.</p> <p>* Senior housing may include: independent living, assisted living, memory care, and skilled nursing.</p>	<p>Form-based design standards for building placement, massing and street-level treatment.</p> <p>Pedestrian circulation and open space amenities should be provided for larger sites.</p>	<p>12-80 senior residential and affordable dwelling units per acre.</p> <p>Floor to Area Ratio - Per current Zoning Code: maximum of 1.0 for medical office uses. Density for senior housing and affordable housing shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p>

ATTEST: _____
Debra A. Mangen, City Clerk

James B. Hovland, Mayor

STATE OF MINNESOTA)
COUNTY OF HENNEPIN)SS
CITY OF EDINA)

CERTIFICATE OF CITY CLERK

I, the undersigned duly appointed and acting City Clerk for the City of Edina do hereby certify that the attached and foregoing Resolution was duly adopted by the Edina City Council at its Regular Meeting of September 2, 2014, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this ____ day of _____, 2014.

City Clerk



RESOLUTION NO. 2014-94

**PRELIMINARY REZONING FROM POD-1, PLANNED OFFICE DISTRICT-1, to PUD,
PLANNED UNIT DEVELOPMENT AND PRELIMINARY DEVELOPMENT PLAN FOR
3330 66TH STREET**

BE IT RESOLVED by the City Council of the City of Edina, Minnesota, as follows:

Section 1. BACKGROUND.

- 1.01 Beacon Interfaith Housing Collaborative proposes to remodel and expand the building into 39 units of small studio apartments for young adults (age 18-22) who have experienced homelessness.
- 1.02 The property is legally described as follows:

Lot 2, Block 3, Southdale Acres, Hennepin County Minnesota
- 1.03 To accommodate the request, the following land use applications are requested:
 1. Preliminary Rezoning from POD-1, Planned Office District-1, to PUD, Planned Unit Development; and
 2. Preliminary Development Plan.
- 1.04 On August 13, 2014, the Planning Commission recommended approval of the Preliminary Rezoning and Preliminary Development Plan. Vote: 4 Ayes and 1 Nays.

Section 2. FINDINGS

- 2.01 Approval is based on the following findings:
 1. Affordable housing is identified as a need in the Comprehensive Plan; and the proposed amendment would assist the City in meeting its established affordable housing goal with the Met Council of providing 212 new affordable housing units by the year 2020. This project would include 39 new affordable housing units toward that goal.
 2. The proposed density of 43 units per acre is reasonable, and within the density range suggested in the Comprehensive Plan of between 12-80 units per acre.
 3. The proposed affordable housing project would generate less traffic than the existing bank facility.
 4. The project would utilize sustainability principles. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious

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surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for storm water management; and pedestrian oriented design.

5. Project would meet the following additional Comprehensive Plan goals and objectives:
 - a) Promotion of a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina residents.
 - b) Promotion of lifecycle housing to support a range of housing options that meet people's preferences and circumstance at all stages of life.
 - c) Encourage an integrated mix of building type, heights and footprints within blocks, rather than single buildings or building groups.
 - d) Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.

Section 3. APPROVAL

NOW THEREFORE, it is hereby resolved by the City Council of the City of Edina, approves the Preliminary Rezoning to PUD, Planned Unit Development and Preliminary Development Plan subject to the following conditions:

1. The Final Development Plan must be generally consistent with approved Preliminary Development Plans dated June 20, 2014.
2. Sustainable design. The design and construction of the entire project must be done with the Sustainable Initiatives as outlined in the applicant's narrative within the Planning Commission staff report.
3. All buildings must be built with sprinkler systems, subject to review and approval of the fire marshal.
4. Compliance with all of the conditions outlined in the director of engineering's memo dated July 15, 2014. (See pages A46-A47.)
5. The Final Landscape Plan must meet all minimum landscaping requirements per Chapter 36 of the Zoning Ordinance.
6. The Final Lighting Plan must meet all minimum landscaping requirements per Chapter 36 of the Zoning Ordinance.
7. Final Rezoning is subject to a Zoning Ordinance Amendment creating the PUD, Planned Unit Development for this site.
8. Final Rezoning is subject to review and approval of the Metropolitan Council on the Comprehensive Plan Amendment.

Adopted by the city council of the City of Edina, Minnesota, on September 2, 2014.

ATTEST: _____
Debra A. Mangen, City Clerk

James B. Hovland, Mayor

STATE OF MINNESOTA)
COUNTY OF HENNEPIN)SS
CITY OF EDINA)

CERTIFICATE OF CITY CLERK

I, the undersigned duly appointed and acting City Clerk for the City of Edina do hereby certify that the attached and foregoing Resolution was duly adopted by the Edina City Council at its Regular Meeting of September 2, 2014, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this ____ day of _____, 2014.

City Clerk

P.C.
8/13/2014

D. Rezoning, Comprehensive Plan Amendment. Beacon Interfaith Housing. 3330 West 66th Street

Planner Presentation

Planner Rothstein informed the Commission to consider a redevelopment request of the existing TCF Bank building, located at 3330 66th Street by Beacon Interfaith Housing Collaborative (Beacon). The applicant proposes to remodel and expand the building into 39 units of small studio apartments for young adults who have experienced homelessness. The size of the units would range from 322-451 square feet. Each unit would contain a full kitchen and bathroom. The building would contain offices for on-site service providers and property management. There would also be a community area for residents, a fitness area; a computer lab and a laundry room.

Continuing, Rothstein told the Commission the site is 39,204 square feet in size. The existing bank is 18,179 square feet. The proposed addition would be 10,458 square feet. The building would remain two stories. The remodel of the building would retain the existing brick, and the addition would be brick with metal panels.

There would be 19 surface parking stalls. Proof of parking would total 37 total surface stalls. No enclosed parking is proposed. The applicants have indicated in their narrative that 18% of their residents have cars. Beacon anticipates that no more than 12 stalls would be required for residents. The maximum need for staff parking is 6 stalls. Therefore, they believe they would have adequate parking. Residents are expected to utilize the Metro Transit bus service available across the street at Southdale.

All of the 39 units would be considered affordable housing, and would apply towards the City and Met Council's goal for affordable housing.

Rothstein further explained that the Comprehensive Plan defines the site and area as RM, Regional Medical. The RM allows for senior housing on a case by case basis, however, does not allow other housing. Therefore, a Comprehensive Plan Amendment is required. Rothstein added this development proposal is subject to a two-step review process. The first step in the process is to obtain the following approvals:

1. A Comprehensive Guide Plan Amendment to allow affordable housing in addition to Senior Housing in the Regional Medical District.
2. Preliminary Rezoning from POD-1 Planned Office District-1, to PUD, Planned Unit Development and Preliminary Development Plan. (3/5 Vote of the City Council required.)

If the Comprehensive Plan Amendment, Preliminary Rezoning and Preliminary Development Plan are approved by the City Council, the following is then required for the second step:

1. Final Development Plan and Final Rezoning to a PUD.
2. Zoning Ordinance Amendment establishing the PUD District.

Rothstein further noted that the property is located within an area of the City that is designated as a "Potential Area of Change" within the 2008 Comprehensive Plan. The Comprehensive Plan states that within the Potential Areas of Change, "A development proposal that involves a Comprehensive Plan Amendment or a rezoning will require a Small Area Plan study prior to planning application. However, the authority to initiate a Small Area Plan rests with the City Council." The City Council did not require a Small Area Plan during the Sketch Plan Review.

Planner Rothstein stated staff believes the proposed Comprehensive Plan Amendment is reasonable for the site for the following reasons:

1. Affordable housing is identified as a need in the Comprehensive Plan; and the proposed amendment would assist the City in meeting its established affordable housing goal with the Met Council of providing 212 new affordable housing units by the year 2020. This project would include 39 new affordable housing units toward that goal. That would make up 100% of the total units in the project.
2. The proposed density of 43 units per acre is reasonable, and within the density range suggested in the Comprehensive Plan of between 12-80 units per acre.
3. The RM District allows senior housing currently. The proposed affordable housing project would include units that are small in size generally similar to senior housing; and the residents within the proposed project typically do not drive, similar to senior housing. The proposed affordable housing project would generate less traffic than the existing bank facility.
4. The project would utilize sustainability principles. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for storm water management; and pedestrian oriented design.
5. Project would meet the following additional Comprehensive Plan goals and objectives:
 - a) Promotion of a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina residents.
 - b) Promotion of lifecycle housing to support a range of housing options that meet people's preferences and circumstance at all stages of life.

- c) Encourage an integrated mix of building type, heights and footprints within blocks, rather than single buildings or building groups.
- d) Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.

Rothstein explained the housing proposed by Beacon would not have a direct connection to the RM, Regional Medical District. The structure would be located several blocks from the hospital. There would not be a direct tie in to any medical use in the area.

The Regional Medical Zoning District contemplates a 10 acre minimum lot size. It is intended for larger medical type uses along with senior housing which benefits from being in close proximity to medical uses.

Planner Rothstein concluded that staff recommends that the City Council approve the request for a Comprehensive Plan Amendment to allow affordable housing in the RMD District subject to the following findings:

1. Affordable housing is identified as a need in the Comprehensive Plan; and the proposed amendment would assist the City in meeting its established affordable housing goal with the Met Council of providing 212 new affordable housing units by the year 2020. This project would include 39 new affordable housing units (100% of the projects units) toward that goal.
2. The proposed density of 43 units per acre is reasonable, and within the density range suggested in the Comprehensive Plan of between 12-80 units per acre.
3. The RM District allows senior housing currently. The proposed affordable housing project would include units that are small in size generally similar to senior housing; and the residents within the proposed project typically do not drive, similar to senior housing.
4. The project would utilize sustainability principles. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for storm water management; and pedestrian oriented design.
5. The project would meet the following additional Comprehensive Plan goals and objectives:
 - a) Promotion of a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina residents.
 - b) Promotion of lifecycle housing to support a range of housing options that meet people's preferences and circumstance at all stages of life.

- c) Encourage an integrated mix of building type, heights and footprints within blocks, rather than single buildings or building groups.
- d) Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.

Rothstein further recommended the City Council approve the Preliminary Rezoning and approve the Preliminary Development Plan, based on the following findings:

1. Affordable housing is identified as a need in the Comprehensive Plan; and the proposed amendment would assist the City in meeting its established affordable housing goal with the Met Council of providing 212 new affordable housing units by the year 2020. This project would include 39 new affordable housing units toward that goal.
2. The proposed density of 43 units per acre is reasonable, and within the density range suggested in the Comprehensive Plan of between 12-80 units per acre. The proposed affordable housing project would generate less traffic than the existing bank facility.
2. The project would utilize sustainability principles. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for storm water management; and pedestrian oriented design.
3. Project would meet the following additional Comprehensive Plan goals and objectives:
 - a) Promotion of a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina residents.
 - b) Promotion of lifecycle housing to support a range of housing options that meet people's preferences and circumstance at all stages of life.
 - c) Encourage an integrated mix of building type, heights and footprints within blocks, rather than single buildings or building groups.
 - d) Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.

Preliminary approval is also subject to the following conditions:

1. The Final Development Plan must be generally consistent with approved Preliminary Development Plans dated June 20, 2014.
2. Sustainable design. The design and construction of the entire project must be done with the Sustainable Initiatives as outlined in the applicant's narrative within the Planning Commission staff report.
3. All buildings must be built with sprinkler systems, subject to review and approval of the fire marshal.

4. Compliance with all of the conditions outlined in the director of engineering's memo dated July 15, 2014.
5. The Final Landscape Plan must meet all minimum landscaping requirements per Chapter 36 of the Zoning Ordinance.
6. The Final Lighting Plan must meet all minimum landscaping requirements per Chapter 36 of the Zoning Ordinance.
7. Final Rezoning is subject to a Zoning Ordinance Amendment creating the PUD, Planned Unit Development for this site.
8. Final Rezoning is subject to review and approval of the Metropolitan Council on the Comprehensive Plan Amendment.

Appearing for the Applicant

Lee Blons, Beacon Interfaith Housing Collaborative

Applicant Presentation

Ms. Blons addressed the Commission giving a brief history of Beacon Interfaith. Blons said this is their first in Edina and Beacon is collaborating with Edina Community Lutheran Church. Continuing, Blons reported that the 39 studio apartment unit project would serve suburban homeless young adults. Blons said they believe the location of 66 West is terrific. She pointed out it is located directly on a bus line and is within walking distance of retail and medical. Blons introduced Carol Lansing of Faegre and Benson and Bart Nelson of Urban Works.

Ms. Lansing reported that the term "affordable" housing isn't a vague term it's a recognized term.

Mr. Nelson with the aid of graphics gave a brief description of the units, parking stall count and the Proof of Parking agreement. Nelson also reported access to the site would be off Barrie Road. Continuing, Nelson said that per the request of the Commission the fence was removed to create a more welcoming site. Nelson said a rain garden would be incorporated and the vegetation planted would be at least 50% native plantings. Concluding, Nelson said the exterior of the building will have a contemporary look.

Continuing, Ms. Blons explained the concept for the project adding their intent is to build relationships between tenants and the neighborhood. The units are independent living with an on-site property manager. She further explained that multiple support services are provided, nutrition, independent living skills, etc., adding their intent is for all residents to have support. Blons reported there will be three full time staff to include overnight staffing. Blons thanked the Commission for their support.

Discussion

Commissioner Forrest asked if the residents of the building are considered permanent. Ms. Blons responded in the affirmative, adding the "stay" rate is usually six months to three

years. Forrest asked how the project is funded. Blons responded that this type of project works backward. Approval is first; funding next. Continuing, Blons said a project like 66 West has diversified funding including private contributions. Forrest questioned age requirements. Blons responded the majority of the tenants are between 18 -21 years. Forrest further asked where the tenants come from. Blons explained that the majority of the tenants come through referrals. Forrest asked the turnover rate. Blons responded that 7-10 residents move in/out throughout the year. Forrest questioned if the tenant mix will be male, female or both. Blons responded that hadn't been decided yet; however their other buildings service both young men and women.

Continuing, Forrest explained she is struggling with amending the Comprehensive Plan to include "affordable" housing in the RM guided area. Ms. Lansing told Commissioner Forrest that the Commission has the discretion on policy

Commissioner Platteter asked if the tenants are required to sign a lease. Ms. Blons responded in the affirmative, adding the residents are expected to comply with all requirements in the lease. She said if a tenant doesn't comply with the requirements their lease would be terminated, adding staff would guide them to other housing if appropriate. Commissioner Platteter questioned security/safety. Ms. Blons explained the entrances are secured entrances with security cameras. Platteter asked about the daytime hours. Blons said during the day staff is present and access is secured visitors can be "buzzed in".

Commissioner Platteter said in viewing the landscaping plan he would like to see additional landscaping added to the west. Mr. Nelson responded he would be willing to look at that. He added their goal is to save as many existing trees as possible.

A discussion ensued with Commissioners discussing the makeup of the proposed housing. It was acknowledged that what is requested is different from a "regular" apartment building. It's a residence with support services that include everything from nutrition to transition coaches. Some Commissioners suggested that the services provided at the proposed residence could be considered compatible with the Comp Plan RM guided area.

Public Hearing

Chair Staunton opened the public hearing.

The following spoke to the issue:

Sheila Rzepecki, 6617 Normandale Road, addressed the Commission.

Ms. Sims, 6433 Barrie Road, addressed the Commission.

Mrs. Prince, 7200 York Ave #602, addressed the Commission

Rev. Erik Strand, Edina Community Lutheran Church, 5732 Abbott Ave, addressed the Commission.

Marilyn Peters, 6429 Barrie Road, addressed the Commission.

Bill Davis, 6616 Cornelia Drive, addressed the Commission.

Ms. Wood, 6525 Drew Avenue, addressed the Commission.

Thomas Stone, Nicollet Square, #404, addressed the Commission.
MJ Bauer, 7609 Gleason Road, Addressed the Commission.
Pacy Erck, 6315 Colony Way, addressed the Commission.
Mikkel Beckman, Hennepin County, 318 East 38th Street, addressed the Commission
Tom Nelson, Kenwood/Lowry Hill neighborhood, addressed the Commission.
Robert Hobbins, 4708 Upper Terrace, addressed the Commission
Carol Truesdell, 9 Woodland Road, addressed the Commission.
Pastor Mary Albing, Lutheran Church of Christ the Redeemer, addressed the Commission.
Lynn Truesdell, 9 Woodland Road, addressed the Commission.
Jenette Augustson, 5000 Arden Avenue, addressed the Commission.
Floyd Grabiell, 4817 Wilford Way, addressed the Commission
Betsy Cruz, 8109 Dupont Ave., addressed the Commission.
Jon Good, 6816 Brittany Road, addressed the Commission.
Lisa Netzer, 6024 Timber Trail, addressed the Commission.
Linda Schmitz, 6483 Barrie Road, addressed the Commission.
Nate Schmeltzer, 132 West 62nd Street, addressed the Commission.
Maura Schnonbach, 6221 Balder Lane, addressed the Commission.
Marcia Kermeen, 232 Morgan Avenue, addressed the Commission.
Jennifer Rolfes, 7675 Woodview Court, addressed the Commission.
Lisa Thompson, 5500 Benton Avenue, addressed the Commission.
Rose Minor, 6519 Barrie Road, Step by Step Montessori, addressed the Commission.
Denise, Prior Lake addressed the Commission.
Sandy Perzinski, 6519 Barrie Road, Step by Step Montessori, addressed the Commission.
2007 West 61st Street, addressed the Commission
Elizabeth Briden, 6525 Barrie Road, addressed the Commission.
David Coolaird, 7100 Metro Boulevard, addressed the Commission.
Bob Long, Larkin Hoffman, addressed the Commission
5100 Danens Drive, addressed the Commission
Father Tim Rudolphi, 6820 St. Patrick's Lane, addressed the Commission.
Adam Estrem, St. Stephens Church, addressed the Commission.
Rhonda Olson, 5109 Beard Avenue, addressed the Commission.
Janet Sullivan, 6832 Gleason Road, addressed the Commission.
Mark Swiggum, addressed the Commission.
Mark Chamberlin, 7004 Bristol Blvd., addressed the Commission.
Geoff Workinger, 5224 Kellogg Avenue, addressed the Commission.

Chair Staunton asked if anyone else would like to speak, being none Staunton thanked everyone for their input and asked for a motion to close the public hearing.

Commissioner Platteter moved to close the public hearing. Commissioner Carr seconded the motion. All voted aye; motion carried.

Discussion

Commissioner Kilberg commented that he is struggling with the request to PUD as submitted. Kilberg stated he's not convinced this isn't residential creep into a

office/commercial neighborhood. Continuing, Kilberg said in his opinion the businesses have valid concerns about the proposed rezoning to PUD to allow housing. Concluding, Commissioner Kilberg reiterated this could be considered reverse creep; commercial to residential, not residential to commercial.

Commissioner Carr asked for clarification on the zoning/rezoning. Planner Rothstein explained that currently the property is zoned POD-1, Planned Office District and is guided in the Comprehensive Plan (Comp Plan) as Regional Medical and earmarked as an area for potential change. The request before the Commission this evening is a Comp Plan Amendment and rezoning to PUD to allow housing other than senior.

A brief discussion ensued on the recently approved rezoning for 6500 France allowing senior housing. It was pointed out that aspects of that project are strictly tied to medical (assisted living; aftercare; hospice) and that coincides with the Regional Medical guide. The Commission acknowledged the current request is difficult because while the City encourages "affordable housing" there isn't a specific zoning guide for that and to tie the "affordable" use to medical may be difficult.

Chair Staunton acknowledged this is a thriving medical area; however, the proposed housing does include support services and is a "cared" environment. Staunton said in his opinion this use "feels different" from market rate housing. It's an environment that helps its residents on different levels. Commissioner Platteter agreed, adding this is just the other end of the spectrum. The elderly need support services and so do these young adults.

Commissioner Forrest said the request is creating interesting tension. She pointed out on one hand the City has a mandate to provide affordable housing opportunities; however, the means to provide it are limited. Forrest also pointed out the site isn't zoned RMD it's only guided RM in the Comp Plan. Zoned and guided are two different things. Continuing, Forrest said there must be a way to craft language that would allow this use in the Regional Medical similar to a senior housing use in RM guided areas. Concluding, Forrest also pointed out if the City stays strictly to how an area is guided there are a number of uses in the area "guided" Regional Medical that don't meet the definition.

Commissioner Carr said she can't support the proposal as presented. She stated it's not consistent with the Regional Medical District Comp Plan guide classification, adding the neighbors in her opinion have raised valid points, adding this could be considered spot zoning.

Chair Staunton said the Commission could eliminate the word affordable and say housing located in an area guided as Regional Medical must include support services. Commissioner Forrest said she agrees, adding her concern is with the word "affordable" adding it's a language thing.

Chair Staunton agreed "affordable" housing doesn't solve it; there needs to be a mention of housing linked with care/support services that maintains the values of the Comp Plan and its goal of affordable housing.

Commissioner Carr said whatever the Commission decides, if the Comprehensive Plan is Amended, it's a significant change. She said a change like this may warrant more public input, adding it's clearly not medical related.

Chair Staunton pointed out if the sticking point is amending the Comprehensive Plan the Commission should note without an amendment to the Comp Plan the project as proposed can't move forward.

Motions

Commissioner Platteter moved to recommend amending the Comprehensive Guide Plan based on staff findings and subject to staff conditions. Commenting further, Platteter stated he doesn't like the use of the word "affordable" suggesting that it be changed to "housing with support services". Motion failed for lack of second.

Commissioner Carr moved to recommend denial of the request for an amendment to the Comprehensive Guide Plan to allow affordable housing in the Regional Medical District. Commissioner Forrest seconded the motion. Ayes; Forrest, Lee, Carr. Nays; Platteter, Staunton. Motion to deny carried 3-2 vote

A discussion ensued with some Commissioners expressing the opinion that while they support the project their issue is with the word "affordable" as written in the proposed guide plan amendment. Commissioners said they are struggling to find an appropriate way to approve an amendment to the Comprehensive Plan; however, are at a loss in clarifying their intent.

Commissioner Forrest asked Attorney Knutson if a motion could be made that was more general in terms. Forrest said it's difficult to have the exact language "on the spot". Attorney Knutson responded the Commission is advisory, adding they can recommend anything to the Council for their consideration.

Commissioner Forrest moved to recommend amending the Comprehensive Guide Plan/Regional Medical by incorporating guidelines/goals/requirements that would allow this type of project in the Regional Medical. Commissioner Lee seconded the motion. Ayes; Forrest, Lee, Platteter. Staunton. Nay; Carr. Motion carried 4-1.

Commissioner Platteter moved to recommend preliminary rezoning from POD-I, Planned Office District-I to PUD, Planned Unit Development. Commissioner Lee seconded the motion. Ayes; Platteter, Forrest, Lee, Staunton. Nay; Carr. Motion carried 4-1.

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Date: August 13, 2014

To: Planning Commission

From: Cary Teague, Community Development Director

Re: 3330 66th Street (Beacon Interfaith Housing Collaborative)

The staff report for this project was included in July 23rd Planning Commission packet. Please refer to that document. Please revise the Comprehensive Plan Amendment language from the previous report to re-locate the “affordable housing” to be separated from the hospital uses as follows:

Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
<p>RM Regional Medical</p>	<p>Hospitals, senior housing*, and affordable housing, medical and dental offices and clinics, and laboratories for performing medical or dental research, diagnostic testing, analytical or clinical work, having a direct relationship to the providing of health services. General office uses and and affordable housing are permitted.</p> <p>* Senior housing may include: independent living, assisted living, memory care, and skilled nursing.</p>	<p>Form-based design standards for building placement, massing and street-level treatment.</p> <p>Pedestrian circulation and open space amenities should be provided for larger sites.</p>	<p>12-80 senior residential and affordable dwelling units per acre.</p> <p>Floor to Area Ratio - Per current Zoning Code: maximum of 1.0 for medical office uses. Density for senior housing and affordable housing shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p>



PLANNING COMMISSION STAFF REPORT

Originator Cary Teague Community Development Director	Meeting Date July 23, 2013	Agenda # VI.D.
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INFORMATION/BACKGROUND

Project Description

The Planning Commission is asked to consider a redevelopment request of the existing TCF Bank building, located at 3330 66th Street by Beacon Interfaith Housing Collaborative (Beacon). (See property location on pages A1–A8.) The applicant proposes to remodel and expand the building into 39 units of small studio apartments for young adults (age 18-22) who have experienced homelessness. The size of the units would range from 322-451 square feet. Each unit would contain a full kitchen and bathroom. The building would contain offices for on-site service providers and property management. There would also be a community area for residents; a fitness area; a computer lab and a laundry room. (See applicant narrative and plans on pages A9–A45.)

The site is 39,204 square feet in size. The existing bank is 18,179 square feet. The proposed addition would be 10,458 square feet. The building would remain two stories. The remodel of the building would retain the existing brick, and the addition would be brick with metal panels. (See building renderings on pages A41–A44.)

There would be 19 surface parking stalls. Proof of parking would total 37 total surface stalls. No enclosed parking is proposed. The applicants have indicated in their narrative that 18% of their residents have cars. Beacon anticipates that no more than 12 stalls would be required for residents. The maximum need for staff parking is 6 stalls. Therefore, they believe they would have adequate parking. Residents are expected to utilize the Metro Transit bus service available across the street at Southdale.

All of the 39 units would be considered affordable housing, and would apply towards the City and Met Council's goal for affordable housing.

The Comprehensive Plan defines the site and area as RM, Regional Medical. The RM allows for senior housing on a case by case basis, however, does not allow other housing. Therefore, a Comprehensive Plan Amendment is required.

This development proposal is subject to a two-step review process. The first step in the process is to obtain the following approvals:

1. A Comprehensive Guide Plan Amendment to allow affordable housing in addition to Senior Housing in the Regional Medical District. (4/5 Vote of the City Council required.)
2. Preliminary Rezoning from POD-1, Planned Office District-1, to PUD, Planned Unit Development and Preliminary Development Plan. (3/5 Vote of the City Council required.)

If the Comprehensive Plan Amendment, Preliminary Rezoning and Preliminary Development Plan are approved by the City Council, the following is then required for the second step:

1. Final Development Plan and Final Rezoning to a PUD.
2. Zoning Ordinance Amendment establishing the PUD District.

This property is located within an area of the City that is designated as a "Potential Area of Change" within the 2008 Comprehensive Plan. (See page A3.) The Comprehensive Plan states that within the Potential Areas of Change, "A development proposal that involves a Comprehensive Plan Amendment or a rezoning will require a Small Area Plan study prior to planning application. However, the authority to initiate a Small Area Plan rests with the City Council." The City Council did not require a Small Area Plan during the Sketch Plan Review.

Surrounding Land Uses

- Northerly: Office buildings; zoned POD-1, Planned Office District and guided RM, Regional Medical District.
- Easterly: Multi-story office buildings; zoned POD-1, Planned Office District and guided RM, Regional Medical District.
- Southerly: Firestone Tire & Southdale; Zoned PCD-3, Planned Commercial District and guided CAC, Community Activity Center.
- Westerly: Multi-story office buildings; zoned POD-1, Planned Office District and guided RM, Regional Medical District.

Existing Site Features

The subject property is 39,339 square feet in size, is relatively flat and contains a two-story TCF Bank. (See pages A2–A3.)

Planning

Guide Plan designation: RM, Regional Medical. (See page A5.)
 Zoning: POD-1, Planned Office District -1. (See page A6.)

Comprehensive Guide Plan/Density

As mentioned, the Comprehensive Plan guides this site for RM, Regional Medical Use. The only housing allowed in that district is senior housing. The applicant is requesting an amendment to the Guide Plan to allow “affordable housing” in addition to senior housing. The applicant believes that the type of housing proposed is very similar to senior housing, in that the units are very small, and they would generate very little traffic.

Below is the proposed language to consider for the Comprehensive Guide Plan Amendment. Affordable housing was the term recommended to use during the Sketch Plan Review:

Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
<p>RM Regional Medical</p>	<p>Hospitals, senior housing*, <u>affordable housing</u>, medical and dental offices and clinics, and laboratories for performing medical or dental research, diagnostic testing, analytical or clinical work, having a direct relationship to the providing of health services. General office uses are permitted.</p> <p>* Senior housing may include: independent living, assisted living, memory care, and skilled nursing.</p>	<p>Form-based design standards for building placement, massing and street-level treatment. Pedestrian circulation and open space amenities should be provided for larger sites.</p>	<p>12-80 senior residential <u>and affordable</u> dwelling units per acre. Floor to Area Ratio - Per current Zoning Code: maximum of 1.0 for medical office uses. Density for senior housing <u>and affordable housing</u> shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p>

A case could be made for allowing affordable housing in this location as it would reuse an existing building (sustainability); provide a 100% affordable housing development to help the city achieve its affordable housing goals with the Metropolitan Council; be in close proximity to Metro Transit; be

located on a high visibility arterial roadway; and be completely separated from low density residential uses. Additionally, the unit sizes are small and they would generate very little traffic, similar to senior housing.

Allowing affordable housing as an allowed use within the entire RMD, Regional Medical District would help assist the City of Edina in meeting its goal with the Metropolitan Council of providing 212 new affordable housing units by the year 2020.

However, there are differences between the proposed project and the project that was allowed for senior housing in the RM District (6500 France). The 6500 France project is located adjacent to the hospital and will provide an enclosed skyway connection to the hospital. Also, part of the facility will be used for long term stay patients from the hospital and Twin City Orthopedic. Therefore, there is a direct connection to the Regional Medical District.

The housing proposed by Beacon would not have a direct connection to the RM, Regional Medical District. The structure would be located several blocks from the hospital. There would not be a direct tie in to any medical use in the area.

The Regional Medical Zoning District contemplates a 10 acre minimum lot size. It is intended for larger medical type uses along with senior housing which benefits from being in close proximity to medical uses.

Proposed Density of the project would be 43 units per acre; which would be within the density range currently allowed for senior housing in the RM, Regional Medical District. The following table demonstrates existing density ranges for high density residential development in Edina. There are a variety of housing types here, from market rate housing to senior affordable housing development.

High Density Development in Edina

Development	Address	Units	Units Per Acre
* Yorktown Continental	7151 York	264	45
The Durham	7201 York	264	46
York Plaza Condos	7200-20 York	260	34
York Plaza Apartments	7240-60 York	260	29
Edina Place Apartments	7300-50 York	139	15

* Walker Elder Suites	7400 York	72	40
* 7500 York Cooperative	7500 York	416	36
Edinburgh Condos	76xx York	392	36
* South Haven	3400 Parklawn	100	42
* The Waters	Colonial Drive	139	22
69 th & York Apartments	3121 69 th Street	114	30
* 6500 France – Senior Housing	6500 France	188	80
Lennar	6725 York	240	52

* Senior Housing

PUD Rezoning

The applicant is requesting a rezoning of this site to PUD, Planned Unit Development District to allow affordable housing on the site. (See attached draft PUD Ordinance.)

Within a PUD District, the setback regulation, building coverage and floor area ratio of the most closely related conventional zoning district shall be considered presumptively appropriate, but may be departed from to accomplish the purpose and intent of the PUD.

The following is compliance table that demonstrates how the proposed building would comply with the Regional Medical District standards and show residential densities in Edina. The use is currently not allowed in the existing POD-1 or RMD Zoning District.

Compliance Table

	City Standard (POD-1 Planned Office District)	Proposed
Front – 66 th Street	35 feet	43 feet (existing)
Front – Barrie Road	35 feet	25 feet (existing) 40 feet (new)
Side – North	20 feet	50+ feet
Side – east	20 feet	25 feet
Building Height	12 stories or	2 stories

	144 feet, whichever is less	
Building Coverage	30%	30%
Floor Area Ratio	.50% Office (1.0 RMD District)	77%**
Density – Comp. Plan	12-80 units per acre	39 units 43 units per acre
Minimum Lot Size	10 acres (RMD Standard) No minimum in the POD District	.9 acres
Parking Stalls	1 enclosed space per unit + guest parking 39 units	19 spaces exposed** (proof-of-parking for 37)

**** Variance Required**

Per Chapter 36 of the City Code the following are the regulations for a PUD:

1. **Purpose and Intent.** The purpose of the PUD District is to provide comprehensive procedures and standards intended to allow more creativity and flexibility in site plan design than would be possible under a conventional zoning district. The decision to zone property to PUD is a public policy decision for the City Council to make in its legislative capacity. The purpose and intent of a PUD is to include most or all of the following:
 - a. provide for the establishment of PUD (planned unit development) zoning districts in appropriate settings and situations to create or maintain a development pattern that is consistent with the City's Comprehensive Plan;
 - b. promote a more creative and efficient approach to land use within the City, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the City;
 - c. provide for variations to the strict application of the land use regulations in order to improve site design and operation, while at the same time incorporate design elements that exceed the City's standards to offset the effect of any variations. Desired design elements may include: sustainable design, greater utilization of new technologies in building design, special construction materials, landscaping, lighting, stormwater management, pedestrian

oriented design, and podium height at a street or transition to residential neighborhoods, parks or other sensitive uses;

d. ensure high quality of design and design compatible with surrounding land uses, including both existing and planned;

e. maintain or improve the efficiency of public streets and utilities;

f. preserve and enhance site characteristics including natural features, wetland protection, trees, open space, scenic views, and screening;

g. allow for mixing of land uses within a development;

h. encourage a variety of housing types including affordable housing; and

i. ensure the establishment of appropriate transitions between differing land uses.

The project would meet some of the goals for a PUD as outline above. Those include:

- Providing a development that is 100% affordable to assist in the City affordable housing goals with the Met Council.
- Improve the efficiency of street by allowing a land use that would generate less traffic than the bank use; and it would eliminate the bank drive-through facility.
- Would utilize sustainable design as described in the applicant narrative on page A13. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for stormwater management; and pedestrian oriented design.

The Comprehensive Plan allows senior housing as an allowed land use within the regional medical district. The proposed specialty housing proposal to allow another form of housing that is desirable through a PUD would fit with this site, given its close proximity to the Metro Transit Facility across 66th Street and Southdale Shopping Center. This area would provide employment opportunities

in close proximity for residents. The site is located on an edge of the Regional Medical District and on an arterial roadway.

2. Applicability/Criteria

- a. Uses. All permitted uses, permitted accessory uses, conditional uses, and uses allowed by administrative permit contained in the various zoning districts defined in Section 850 of this Title shall be treated as potentially allowable uses within a PUD district, provided they would be allowable on the site under the Comprehensive Plan.**

If City Council amends the Comprehensive Plan to allow affordable housing in addition to senior housing, this site would otherwise be envisioned to allow uses permitted within the Regional Medical District. The Regional Medical Zoning District contemplates a 10 acre minimum lot size. It is intended for larger medical type uses along with senior housing which benefits from being in close proximity to medical uses.

The Zoning Ordinance amendment, which follows this staff report, lists the uses that would be allowed on this site. Spack Consulting did a parking analysis that determined that the proposed parking would support the uses proposed, and the traffic generated would actually be less than the previously approved medical office. (See pages A48-A110.)

The proposed residential development would generate 20 am peak hour trips and 24 pm peak hour trips. The existing bank generates 45 am peak hour trips and 89 pm peak hour trips.

- b. Eligibility Standards. To be eligible for a PUD district, all development should be in compliance with the following:**
- i. where the site of a proposed PUD is designated for more than one (1) land use in the Comprehensive Plan, the City may require that the PUD include all the land uses so designated or such combination of the designated uses as the City Council shall deem appropriate to achieve the purposes of this ordinance and the Comprehensive Plan;**

The proposal would not include a mixture of land uses. It would include affordable housing for young adults who have experienced homelessness. Within the overall RMD, Regional Medical District, this project would introduce the potential for another use in the district, and would help the City meet its affordable housing goals established with the Metropolitan Council of 212 new affordable housing units by the year 2020.

ii. any PUD which involves a single land use type or housing type may be permitted provided that it is otherwise consistent with the objectives of this ordinance and the Comprehensive Plan;

As mentioned above, the proposed uses would be for housing that is all affordable. Providing affordable housing and sustainable development are goals within the Comprehensive Plan that this project would accomplish. Comprehensive Plan goals and objectives include:

- Promotion of a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina residents.
- Promote lifecycle housing to support a range of housing options that meet people's preferences and circumstance at all stages of life.
- Variety of Buildings Forms. Encourage an integrated mix of building type, heights and footprints within blocks, rather than single buildings or building groups.
- Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.

iii. permitted densities may be specifically stated in the appropriate planned development designation and shall be in general conformance with the Comprehensive Plan; and

The proposed building density would be 43 units per acre and have an FAR of .77. The Floor Area Ratio contemplated in the Comprehensive Plan for Regional Medical is 1.0; however, the current POD-1 Zoning District allows an FAR of .50. The density range allowed for senior housing in the district is up to 80 units per acre.

Density in the Comprehensive Plan limits senior housing to 12-80 dwelling units per acre. Density for senior housing shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.

The site has adequate utilities capacity; would generate less traffic than an office use; would provide affordable housing; would be a sustainable development; and would take advantage of Metro Transit Availability. Staff believes the density is appropriate for this site.

iv. the setback regulation, building coverage and floor area ratio of the most closely related conventional zoning district shall be considered presumptively appropriate, but may be departed from to accomplish the purpose and intent described in #1 above.

The proposed project does closely relate to the already established standards in the POD-1 District, as the existing building is being utilized. Flexibility is requested in regard to parking spaces. For the reasons stated above, staff believes the purpose and intent of the PUD Ordinance is met.

Site Access

The primary access to the site would remain off of Barrie Road. One drive entrance would be eliminated. (See page A19.)

Parking

Per Chapter 36, Article XII, Division 4, the requirement for multi-family residential parking in a commercial area, is one enclosed space per unit plus additional guest parking as required. Therefore, at minimum a requirement of 39 stalls plus guest parking should be provided. The applicant is proposing 19 surface stalls, with a proof-of parking plan to 37 stalls.

Staff has some concern in regard to potential future lack of parking. While the proposed use may be able to get by with the proposed surface parking only, any future conversion of these units for market rate housing would surely be short of parking. A stipulation in a potential PUD Ordinance would be to only allow this type of housing on the site; therefore, any conversion of the units would require a PUD Amendment. Additional parking would be required as part of any PUD Amendment.

A parking study was done by Spack Consulting, which concludes that the proposed parking would support the use. (See page A56.) The total demand for parking is anticipated to be 12 spaces.

Traffic

A traffic study was also done by Spack, which concludes that the existing roadways support the proposed uses. (See traffic study on pages A48–A110.) The proposed use would generate less traffic than the existing bank on the site. The existing use generates 45 trips in the am peak hour and 889 trips in the pm peak hour. The proposed use would generate 20 trips in the am peak hour and 24 trips in the pm peak hour.

Landscaping

Based on the perimeter of the site, 21 overstory trees and a full complement of understory trees and shrubs are required. The applicant is proposing to plant 24 overstory trees around the perimeter of the site & understory trees and shrubs. (See landscape plan on pages A19 and A34-A35.) A more detailed review of the landscape plan would be done at final development plan.

Grading & Utilities

The city engineer has reviewed the plans and found them generally acceptable and offered comments. (See pages A46-A47.) A more detailed review would be done as part of the Final Development Plan and Final Rezoning.

Signage

Signage would be allowed per the requirements of the POD-1, Planned Office District within the Zoning Ordinance Amendment for the PUD. (See attached draft Ordinance.)

Bike Racks

The applicant is proposing 26 bicycle parking spots and indoor bicycle storage. Outdoor racks would be located in front of the building near the main entrance off the parking lot. (See page A19.)

PRIMARY ISSUES/STAFF RECOMMENDATION

Primary Issues

- **Is the proposed Comprehensive Plan Amendment to allow affordable housing as a permitted use in the RM District reasonable?**

Yes. Staff believes the proposed Comprehensive Plan Amendment is reasonable for the site for the following reasons:

1. Affordable housing is identified as a need in the Comprehensive Plan; and the proposed amendment would assist the City in meeting its established affordable housing goal with the Met Council of providing 212 new affordable housing units by the year 2020. This project would include 39 new affordable housing units toward that goal. That would make up 100% of the total units in the project.
2. The proposed density of 43 units per acre is reasonable, and within the density range suggested in the Comprehensive Plan of between 12-80 units per acre.
3. The RM District allows senior housing currently. The proposed affordable housing project would include units that are small in size generally similar to senior housing; and the residents within the proposed project typically do not drive, similar to senior housing.
4. The proposed affordable housing project would generate less traffic than the existing bank facility.
5. The project would utilize sustainability principles. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for storm water management; and pedestrian oriented design.
6. Project would meet the following additional Comprehensive Plan goals and objectives:
 - a) Promotion of a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina residents.
 - b) Promotion of lifecycle housing to support a range of housing options that meet people's preferences and circumstance at all stages of life.
 - c) Encourage an integrated mix of building type, heights and footprints within blocks, rather than single buildings or building groups.
 - d) Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.

However, as mentioned earlier, there are differences between the proposed project and the project that was allowed for senior housing in the RM District (6500 France). The 6500 France project is located adjacent to the hospital and will provide an enclosed skyway connection to the hospital. Also, part of the facility will be used for long term stay patients from the hospital and Twin City Orthopedic. Therefore, there is a direct connection to the Regional Medical District.

The housing proposed by Beacon would not have a direct connection to the RM, Regional Medical District. The structure would be located several blocks from the hospital. There would not be a direct tie in to any medical use in the area.

The Regional Medical Zoning District contemplates a 10 acre minimum lot size. It is intended for larger medical type uses along with senior housing which benefits from being in close proximity to medical uses.

• **Is the proposed rezoning to PUD appropriate for the site?**

Yes. Staff believes the proposal to rezone the site to PUD is reasonable for the site for the following reasons:

1. The project would meet many of the goals of for a PUD as outline above. Those include:
 - Providing a development that is 100% affordable to assist in the city affordable housing goals with the Met Council.
 - Improve the efficiency of street by allowing a land use that would generate less traffic than the bank use; and it would eliminate the bank drive-through facility.
 - Would utilize sustainable design as described in the applicant narrative on page A13. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for stormwater management; and pedestrian oriented design.
2. The Comprehensive Plan allows senior housing as an allowed land use within the regional medical district. The proposed specialty housing proposal to allow another form of housing that is desirable through a PUD would fit in well with this site, given its close proximity to the Metro Transit Facility

across 66th Street and Southdale Shopping Center. This area could provide employment opportunity in close proximity for residents. The site is located on an edge of the Regional Medical District and on an arterial roadway.

3. The existing roadways and parking lot would support the project. Spack Consulting conducted a traffic impact study based on the proposed development, and concluded that the traffic generated from the project would not impact the adjacent driveways or intersections. In fact the proposed uses would actually generate less traffic than the previously approved medical building. No additional improvements other than those shown on the site plan would be required to accommodate the site redevelopment. (See traffic study on pages A48–A110.)
4. The PUD ensures that the building proposed would be the only building built on the site, unless an amendment to the PUD is approved by City Council.
5. The PUD ensures that this is the only use allowed within the building. Any change in use would require an amendment to the PUD Ordinance.

Staff Recommendation

Comprehensive Plan Amendment

Recommend that the City Council approve the request for a Comprehensive Plan Amendment to allow affordable housing in the RMD District.

Approval is subject to the following findings:

1. Affordable housing is identified as a need in the Comprehensive Plan; and the proposed amendment would assist the City in meeting its established affordable housing goal with the Met Council of providing 212 new affordable housing units by the year 2020. This project would include 39 new affordable housing units (100% of the projects units) toward that goal.
2. The proposed density of 43 units per acre is reasonable, and within the density range suggested in the Comprehensive Plan of between 12-80 units per acre.
3. The RM District allows senior housing currently. The proposed affordable housing project would include units that are small in size generally similar to senior housing; and the residents within the proposed project typically do not drive, similar to senior housing.
4. The proposed affordable housing project would generate less traffic than the existing bank facility.

5. The project would utilize sustainability principles. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for storm water management; and pedestrian oriented design.
6. The project would meet the following additional Comprehensive Plan goals and objectives:
 - a) Promotion of a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina residents.
 - b) Promotion of lifecycle housing to support a range of housing options that meet people's preferences and circumstance at all stages of life.
 - c) Encourage an integrated mix of building type, heights and footprints within blocks, rather than single buildings or building groups.
 - d) Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.

***Preliminary Rezoning from POD-1,
Planned Office District to Planned Unit Development
District & Preliminary Development Plan***

Recommend that the City Council approve the Preliminary Rezoning and approve the Preliminary Development Plan.

Approval is based on the following findings:

1. Affordable housing is identified as a need in the Comprehensive Plan; and the proposed amendment would assist the City in meeting its established affordable housing goal with the Met Council of providing 212 new affordable housing units by the year 2020. This project would include 39 new affordable housing units toward that goal.

2. The proposed density of 43 units per acre is reasonable, and within the density range suggested in the Comprehensive Plan of between 12-80 units per acre.
3. The proposed affordable housing project would generate less traffic than the existing bank facility.
4. The project would utilize sustainability principles. Most notable elements include: compliance with Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria; utilizing the existing building rather than a tear down; committing to a 15% energy savings; locating the building to make use of Metro Transit; impervious surface would be reduced by 6.9%; enhanced landscaping; making use of special construction material; installing a rain garden for storm water management; and pedestrian oriented design.
5. Project would meet the following additional Comprehensive Plan goals and objectives:
 - a) Promotion of a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina residents.
 - b) Promotion of lifecycle housing to support a range of housing options that meet people's preferences and circumstance at all stages of life.
 - c) Encourage an integrated mix of building type, heights and footprints within blocks, rather than single buildings or building groups.
 - d) Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.

Preliminary approval is subject to the following conditions:

1. The Final Development Plan must be generally consistent with approved Preliminary Development Plans dated June 20, 2014.
2. Sustainable design. The design and construction of the entire project must be done with the Sustainable Initiatives as outlined in the applicant's narrative within the Planning Commission staff report.
3. All buildings must be built with sprinkler systems, subject to review and approval of the fire marshal.

4. Compliance with all of the conditions outlined in the director of engineering's memo dated July 15, 2014. (See pages A46-A47.)
5. The Final Landscape Plan must meet all minimum landscaping requirements per Chapter 36 of the Zoning Ordinance.
6. The Final Lighting Plan must meet all minimum landscaping requirements per Chapter 36 of the Zoning Ordinance.
7. Final Rezoning is subject to a Zoning Ordinance Amendment creating the PUD, Planned Unit Development for this site.
8. Final Rezoning is subject to review and approval of the Metropolitan Council on the Comprehensive Plan Amendment.

Deadline for a city decision: October 15, 2014

ORDINANCE NO. 2014-__

AN ORDINANCE AMENDING THE ZONING ORDINANCE
TO ESTABLISH THE PUD-7, PLANNED UNIT DEVELOPMENT-7
DISTRICT AT 3330 66th STREET

The City Of Edina Ordains:

Section 1. Chapter 36, Article VIII, Division 4 is hereby amended to rezone the below described property to PUD, Planned Unit Development in accordance with the following:

Sec. 36-494 Planned Unit Development District-7 (PUD-7) – 66th West Apartments

(a) *Legal description:*

The South 300 feet of Lot 2, as measured along the West line of said lot from the Southwest corner thereof in Block 3, Southdale Acres, Hennepin County, Minnesota. Torrens Property Certificate of Title No: 361393.

(b) **Approved Plans.** Incorporated herein by reference are the re-development plans received by the City on June __, 2014 except as amended by City Council Resolution No. 2014-__, on file in the Office of the Planning Department.

(c) **Principal Uses:**

Affordable housing as proposed and described by Beacon Interfaith Housing collaborative in their project description on file in the Office of the Planning Department. Any change in use of the site will require an amendment to this PUD-7 Ordinance.

(d) **Accessory Uses:**

None

(e) **Conditional Uses:**

None

(f) **Development Standards.** Development standards per the POD-1 Zoning District, except the following:

Building Setbacks

<u>Building Setbacks</u> Front – 66 th Street Front – Barrie Road Side – North Rear – South	43 feet 25 feet 50 feet 25 feet
Building Height	2 stories
Maximum Floor Area Ratio (FAR)	.77%
Building Coverage	30%
Parking Stalls	19 surface Proof-of-parking for 37

(g) Signs shall be allowed per the POD-1 standards in Sec. 36-1714.

Section 3. This ordinance is effective immediately upon Met Council review and decision on the Comprehensive Plan Amendment.

First Reading:

Second Reading:

Published:

ATTEST:

Debra A. Mangen, City Clerk

James B. Hovland, Mayor

Please publish in the Edina Sun Current on:

Send two affidavits of publication.

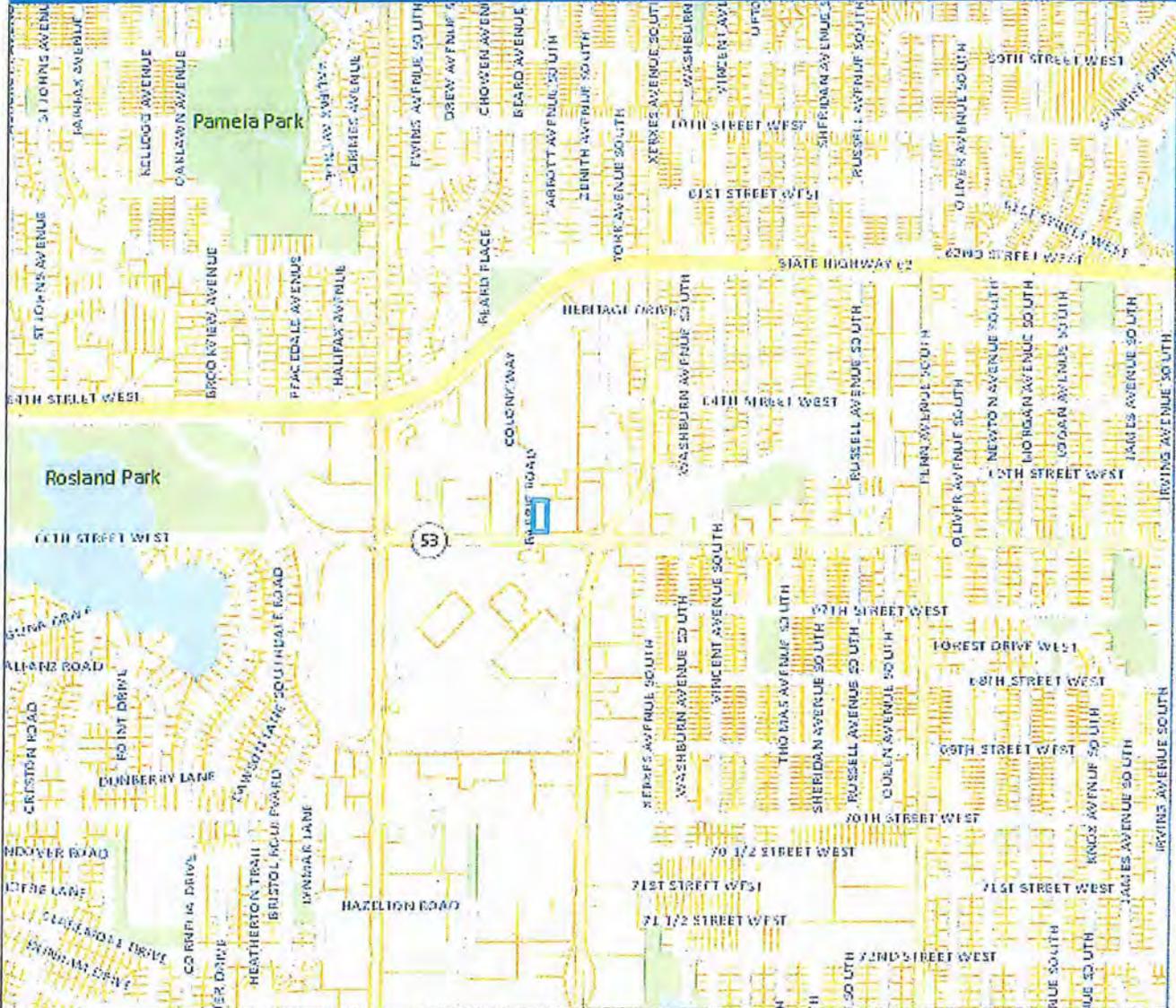
Bill to Edina City Clerk

CERTIFICATE OF CITY CLERK

I, the undersigned duly appointed and acting City Clerk for the City of Edina do hereby certify that the attached and foregoing Ordinance was duly adopted by the Edina City Council at its Regular Meeting of June 17, 2014, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this _____ day of _____, 2014.

City Clerk



Parcel ID: 29-028-24-24-0030

A-T-B:

Owner Name: Twin City Fed Sav

Market Total:

Parcel Address: 3330 66Th St W Edina, MN 55435

Tax Total:

Property Type: Commercial-Preferred

Sale Price:

Home-stead: Non-Homestead

Sale Date:

Parcel Area: 0.9 acres 39,339 sq ft

Sale Code:

Map Scale: 1" ≈ 1600 ft.

Print Date: 4/17/2014

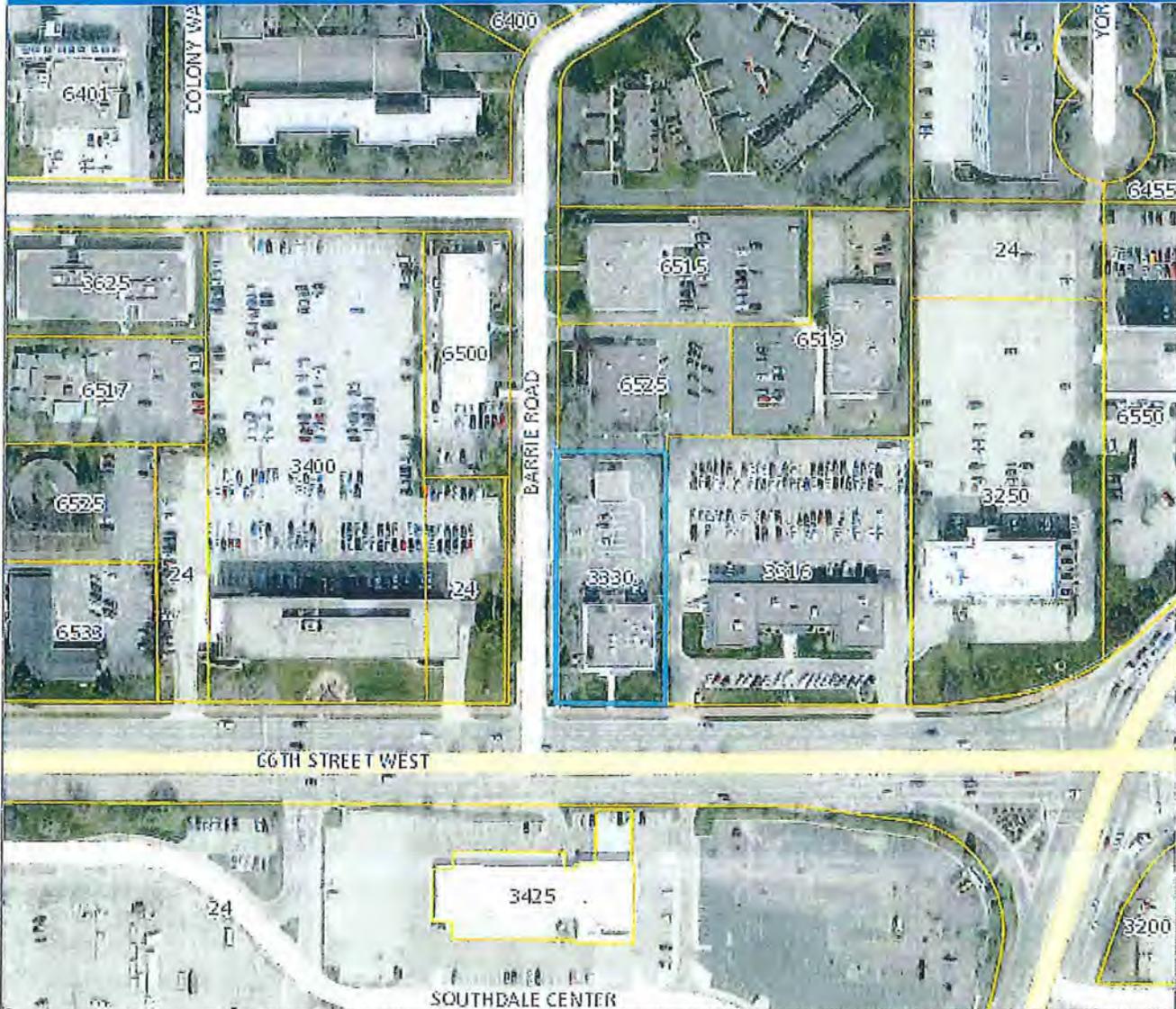


This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.

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AI



Parcel ID: 29-028-24-24-0030

Owner Name: Twin City Fed Sav

Parcel Address: 3330 66Th St W
Edina, MN 55435

Property Type: Commercial-Preferred

Home-stead: Non-Homestead

Parcel Area: 0.9 acres
39,339 sq ft

A-T-B:

Market Total:

Tax Total:

Sale Price:

Sale Date:

Sale Code:

Map Scale: 1" ≈ 200 ft.
Print Date: 4/17/2014



This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.

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A2



Google earth



A3



URS Corporation W:\318102\2008\Projects\Potential_AOC.mxd Date: 8/13/2007 1:00:11 PM

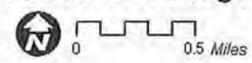
Figure 4.4



City of Edina
2008 Comprehensive Plan Update

**Conceptual Land Use Framework:
Potential Areas of Change**

Date of Aerial Photography: August 2006

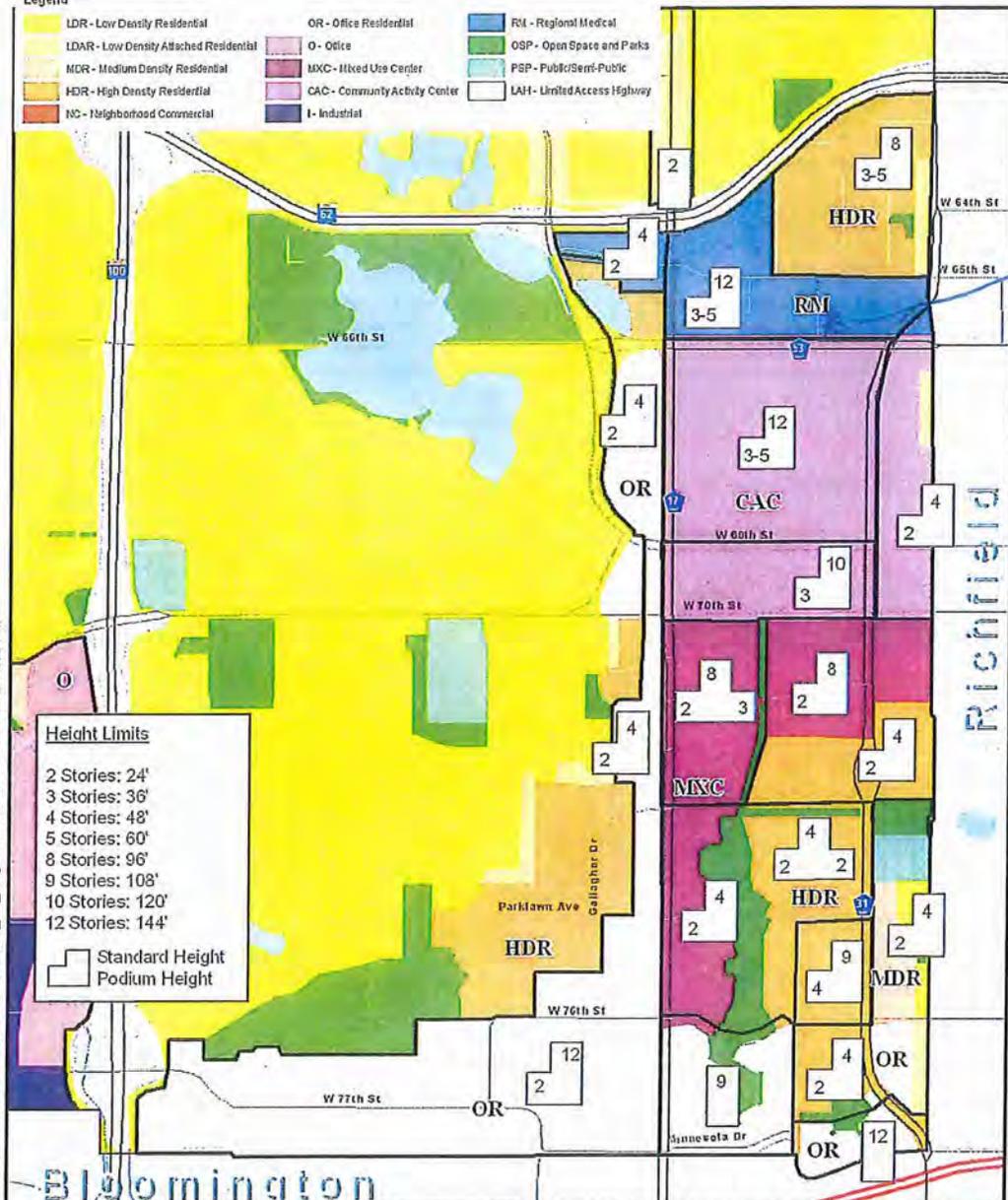


A4

Legend

- | | | |
|---|---------------------------------|------------------------------|
| LDR - Low Density Residential | OR - Office Residential | RM - Regional Medical |
| LDAR - Low Density Attached Residential | O - Office | OSP - Open Space and Parks |
| MDR - Medium Density Residential | MXC - Mixed Use Center | PSP - Public/Semi-Public |
| HDR - High Density Residential | CAC - Community Activity Center | LAH - Limited Access Highway |
| NC - Neighborhood Commercial | I - Industrial | |

URS Corporation N:\151810230\Project\LU_SE_heights.mxd Date: 10/25/2007 2:13:59 PM



Height Limits	
2 Stories:	24'
3 Stories:	36'
4 Stories:	48'
5 Stories:	60'
8 Stories:	96'
9 Stories:	108'
10 Stories:	120'
12 Stories:	144'

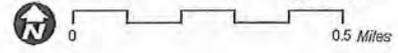
Standard Height
 Podium Height



City of Edina
2008 Comprehensive Plan Update

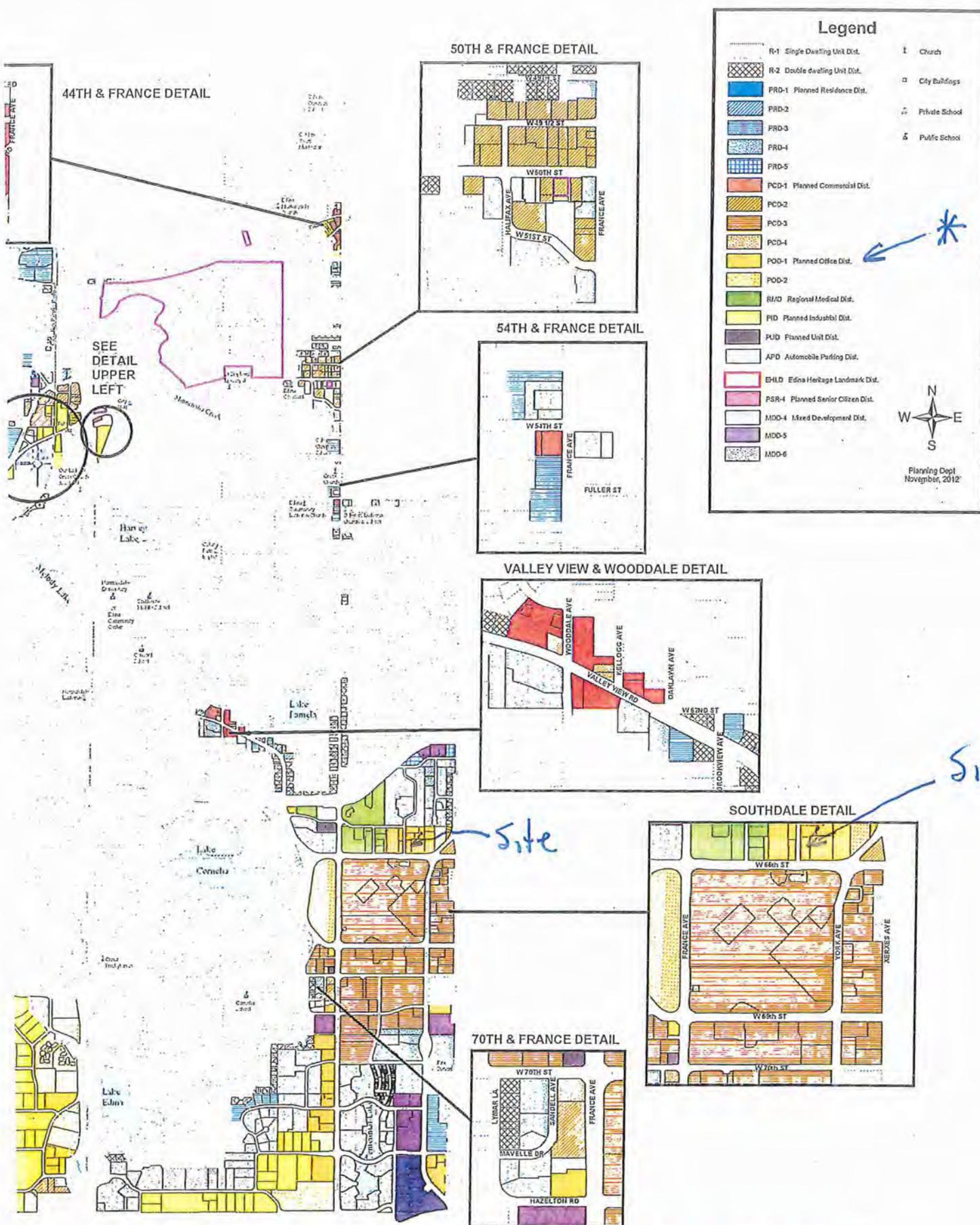
Data Source: URS

Future Land Use Plan with Building Heights
Southeast Quadrant
Figure 4.6B



Site

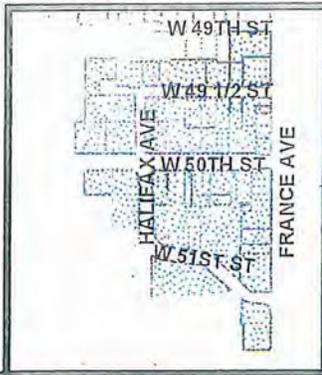
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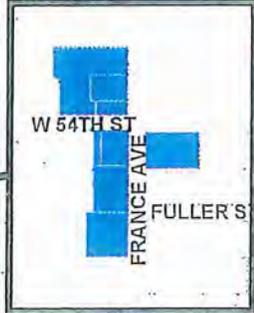
Legend

	R-1 Single Dwelling Unit Dist.		Church
	R-2 Double Dwelling Unit Dist.		City Buildings
	PRD-1 Planned Residence Dist.		Private School
	PRD-2		Public School
	PRD-3		
	PRD-4		
	PRD-5		
	PCD-1 Planned Commercial Dist.		
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50TH & FRANCE DETAIL



54TH & FRANCE DETAIL

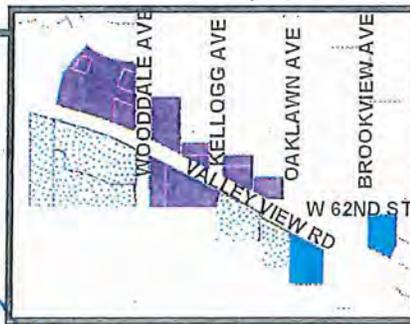


Legend

	HOD-2	Building height shall be determined by required setbacks, but shall not exceed 2 stories or 24 feet, whichever is less.
	HOD-3	Building height shall be determined by required setbacks, but shall not exceed 3 stories or 36 feet, whichever is less.
	HOD-4	Building height shall be determined by required setbacks, but shall not exceed 4 stories or 48 feet, whichever is less.
	HOD-8	Building height shall be determined by required setbacks, but shall not exceed 8 stories or 96 feet, whichever is less.
	HOD-9	Building height shall be determined by required setbacks, but shall not exceed 9 stories or 108 feet, whichever is less.
	HOD-10	Building height shall be determined by required setbacks, but shall not exceed 10 stories or 120 feet, whichever is less.
	HOD-12	Building height shall be determined by required setbacks, but shall not exceed 12 stories or 144 feet, whichever is less.
	Church	
	City Buildings	
	Private School	
	Public School	



VALLEY VIEW & WOODDALE DETAIL



A7

HEIGHT

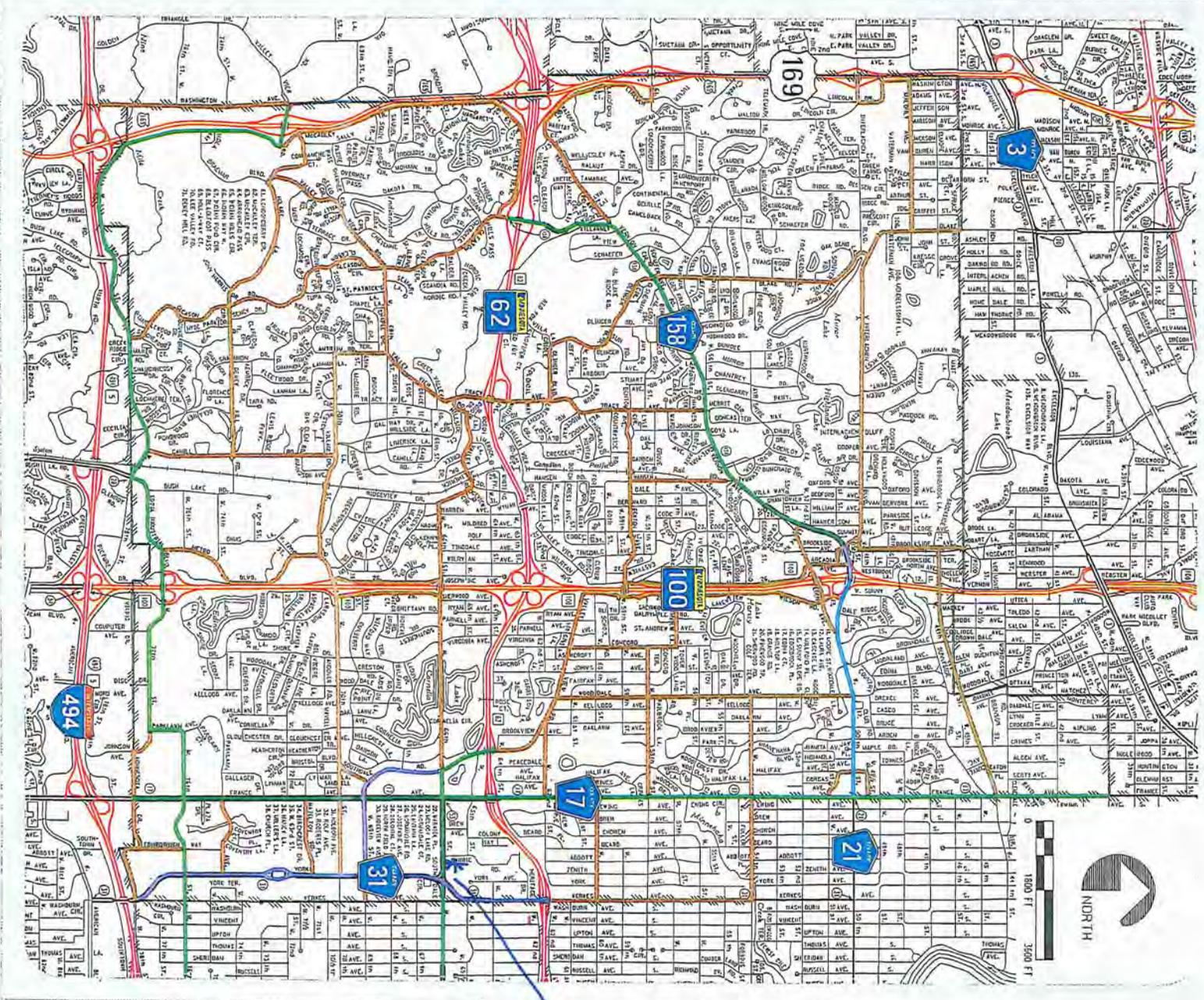


City of Edina 2008 Comprehensive Plan Update

Roadway Functional Classification

Figure 7.5

- LEGEND:**
- Principal Arterial
 - "A" Minor Arterial (Reliever)
 - "A" Minor Arterial (Augmenter)
 - "B" Minor Arterial
 - Collector



A8

S17

3330 66th Street, Edina
Explanation of Request and Description of Project

Beacon Interfaith Housing Collaborative (Beacon) is seeking an amendment to the comprehensive plan, preliminary zoning approval to PUD and preliminary development approval at 3330 66th Street.

Beacon builds high quality, affordable housing for families and individuals. We believe housing is the foundation for people to create the stability and security we all seek. We believe that well-designed, professionally managed buildings create a win-win for communities and tenants. We believe everyone deserves to have choices in housing. We believe in home. Our development projects are usually undertaken with partners and collaborators in the faith communities. When a congregation has identified a desire to create affordable housing and the capacity to embark on a development project, our staff, with their specialized expertise, collaborate with congregational leaders to make the vision a reality. This model, over our 15 year history, has resulted in the creation of nearly 500 homes.

In partnership with Edina Community Lutheran Church, Beacon has entered into a purchase agreement with the owners at 3330 66 Street West and intends to convert the existing building into a residential apartment building, "66 West Apartments," that will provide 39 units of permanent housing for young adults who have experienced homelessness. We plan to seek funding from Minnesota Housing, Hennepin County and several private funding sources to make the units affordable to homeless young adults between the ages of 18 and 22. 66 West Apartment's units meet the Met Council definition of affordable rental housing according to the Livable Communities Act. Construction of these units will apply towards the City's Met Council goal of creating 212 additional affordable housing units in Edina between 2011 and 2020. See the separate attachment detailing the project funding structure.

66 West is supportive, affordable housing for young adults who have experienced homelessness. The goal is to support the tenants as they learn to live independently and develop their skills to be financially independent—thereby ending the cycle of homelessness. The building will be staffed by specialists serving homeless young adults. Our supportive service approach is also designed to create a sense of belonging and place for residents and to foster healthy relationships between youth and caring adults with professional training and skills. The outcome is that that community creates an engaging, safe "home" environment with ample opportunities for youth to access on-site or in the broader community.

Site and Development Description

The project site is bounded by West 66th Street to the South, Barrie Road to the west, and office buildings to the east and north. The site is currently zoned POD and contains a two-story building with a basement. The first floor is being used as a bank with a drive through facility. The remaining floors are not being used.

The building will contain housing units, as well as office and resident amenities. The building will feature 39 studio units, ranging in size from a net (paint to paint) 322 square feet to 451 square feet. Each apartment will contain a full kitchen and bathroom. The building will contain offices for on-site service providers and property management. There will be a community area for residents, as well as a fitness area, computer lab and laundry room.

The site is .9 acres. The project incorporates the entire existing 18,145 square foot building and also includes a 10,458 square foot addition. The remodeled building, with the addition, will have an 11,283 square foot building footprint and a total floor area of 28,603 square feet. The building will remain two stories, plus the existing basement. The design retains the brick on the existing building. Expected

A9

PLANNING DEPARTMENT
JUN 20 2014
CITY OF EDINA

exterior materials on the addition will be brick and metal panels. The updated exterior will complement the surrounding buildings.

The site features two outdoor courtyards and a basketball court as resident amenities. The project retains most of the mature trees on the site. Additional garden areas and ornamental trees, including a rain garden, further enhance the existing landscaping. Plantings and a tree for shade will improve the existing bus stop area, currently just a bench. Additional pedestrian walkways to the public sidewalk are planned.

Sustainability. Currently, the building use is limited to one of the three floors due to parking requirements. This project maximizes the potential of the .9 acres by repurposing the entire existing building and adding an addition. The development reduces the impervious paving of the site by 6.9%. Beacon delivers buildings that are environmentally sustainable in design and operation. 66 West will incorporate many sustainable building elements, outlined in the attachment.

Parking, traffic and transit. The primary entrance is accessed off Barrie Road. The parking lot, as designed, has 19 parking stalls. Landscaping along Barrie Road could be removed and the parking lot expanded to accommodate an additional 12 spots, should a future user require additional parking. In addition, there is a paved, unstriped area, currently designed as a basketball court, in which 6 additional spots could be added with minimal site disruption. Thus, the site could contain a total of 37 parking stalls for a future use.

Beacon has provided funding so that the City of Edina could conduct a parking study to verify the parking needs and determine the impact on traffic. Beacon believes 19 parking spots would be sufficient to serve the residents, guests and staff. The independent parking study found that in other Beacon buildings that serve a similar population, the rate of parked cars to apartments range between 18% and 30%. In the most similar building serving young adults, the rate of parked cars, at its peak, was 18%. Thus, conservatively, Beacon would expect no more than 12 parking stalls will be required for residents. In addition, the building has offices for a maximum of 6 staff. There will be no facility vehicles requiring a parking stall. In addition, the project site is located across the street from the Southdale transit hub served by nine bus routes. Also, two high frequency bus routes stop immediately adjacent to the property – route 6 to Downtown Minneapolis and the University of Minnesota and route 515 to Richfield and Bloomington. Thus, it is expected all residents can utilize public transportation, reducing the dependency on cars. We would also expect that future uses would also take advantage of the proximity to public transportation. Finally, the project includes 26 bicycle parking spots and indoor bicycle storage.

The Requested Comprehensive Plan Amendment and PUD Rezoning are Consistency with Edina's Land Use and Housing Goals and Policies

The site is located in an area designated in the City of Edina's Comprehensive Plan (Comprehensive Plan) as Regional Medical. The Regional Medical category was recently amended to allow senior housing as an allowed land use. We are requesting that the Comprehensive Plan be similarly amended to add "affordable housing" as an allowed land use in the Regional Medical land use category. We are also applying to rezone the site to Planned Unit Development (PUD), which permits the establishment of uses allowed under the Comprehensive Plan. The proposed amendment and rezoning are consistent with the policies of the Comprehensive Plan, the Greater Southdale Area Final Land Use and Transportation Study Report (Report), and objectives of the City's Zoning Code.

Policies and Objectives for the Greater Southdale Area. The Report states in the vision that the "Greater Southdale Area is a place for people to live, work, play and shop." Thus, the area "is a vibrant mix of housing, jobs, commerce, health care, and entertainment." "Development in the Greater Southdale Area can meet the housing needs of Edina with options that may not fit in other locations within the city .

...” (Page 3). The Land Use Plan, as outlined in the Report, “advocates a strong component of mixed-use in the Southdale Area This approach has been taken in order to flexibly address future market opportunities and to balance traffic generation by mixing land use types and their resulting peak hour traffic characteristics.” (page 32). The parcel, 3330 66th Street West, is slated as “mixed use” in the final Land Use Plan Concept in the report. (page 33). Due to the importance of the Greater Southdale Area to the City’s vitality and welfare, the City Council adopted additional development objectives regarding the Area into the Zoning Code, including the following that specifically support the requested comprehensive plan amendment and PUD rezoning:

- (2) To encourage a range of housing types within the Greater Southdale Area.
- (3) To encourage a mixed use shopping, living and working environment that meets the needs of residents and visitors and helps mitigate the effects of traffic by reducing vehicle trips and miles by allowing residences in close proximity to employment and services.
- (8) To allow a density of development that improves the feasibility of mass transit services utilized by residents, shoppers and employees of the Greater Southdale Area.
- (9) To provide incentives to encourage affordable and life cycle housing.

Edina Zoning Code, Section 36-5.

Consistency with Comprehensive Plan Policies. The Comprehensive Plan, which postdates the Report, identifies the project site as Regional Medical. However, it also identifies the Southdale Area as a “potential area of change.” Thus, the plan acknowledges that Southdale appears to be an area “where change may occur during the life of this Plan.” (Page 4-30). The Potential Areas of Change were identified “as suitable areas to accommodate additional households and jobs... Because the City is fully developed, additional housing would have to occur through redevelopment.” (Page 4-31). In addition, the proposed Comprehensive Plan amendment and rezoning are supported by the following specific Land Use Policies within the Plan:

- 1. The City will endeavor to accommodate private redevelopment in the Greater Southdale Area
- 5. In reviewing development proposals, the City will examine how land use and transportation are integrated to ensure that new development and redevelopment expands non-motorized travel options.
- 7. The City will seek opportunities to increase the supply of affordable housing.
- 8. The City will grow and develop in a sustainable manner

Comprehensive Plan (Page 4-34).

Similarly, an amendment to allow affordable housing in the Regional Medical area is supported by the following goal from the Housing Chapter of the Comprehensive Plan:

- 3. Encourage the production of additional affordable housing units to meet the City’s housing needs and, at a minimum, its Metropolitan Council affordable housing need allocation (212 units).

AM

PLANNING DEPARTMENT
JUN 24 2014
CITY OF EDINA

5. Promote a vision of community that is inclusive of a wide range of ages, incomes, and abilities and offers a wide range of housing options for Edina's residents.

7. Promote lifecycle housing to support a range of housing options that meet people's preferences and circumstances at all stages of life.

8. Acknowledge the interrelationship between land use and transportation, and support the expansion of existing transportation infrastructure-capacity through wise land use.

Comprehensive Plan (Pages 5-17 to 5-18).

The proposed plan amendment and PUD rezoning are highly consistent with the City's housing goals, as one of the purposes of the PUD is to encourage a variety of housing types, including affordable housing.

As described above, allowing affordable housing in the Regional Medical category is supported by multiple policies related to land use and housing in the City's plans and zoning code. Further, the proposed project will be an enhancement to the site and surrounding area and will not hinder other goals for development in the Regional Medical area. The site is located on the edge of the district.

Development opportunities exist at underutilized sites to the North and the East. The project repurposes an existing building, maximizes the potential of the .9 acre site as additional parking would be required for additional housing units or commercial space, and converts a auto-oriented drive-through commercial use into transit-oriented housing use. In addition, adding affordable housing as an allowed use is not dissimilar to the senior housing currently allowed in the Regional Medical category. This supportive housing project contains similar unit sizes, staff space, and common space to a typical senior housing or assisted living facility. The proposed 43 units per acre density is in the middle of the 12-80 unit density suggested for the Regional Medical area. The addition of residents will support the diversity of uses, employment base, and transit service in the Greater Southdale Area and the residents of this project will be well-served by those amenities and opportunities.

66 West Sustainable Elements

In order to create homes that are durable, healthy and efficient, Minnesota Housing require all funded projects to comply with the Minnesota Overlay and Guide to the 2011 Enterprise Green Communities Criteria. This guide outlines mandatory and optional sustainable building criteria to include in the project. Beacon Interfaith Housing Collaborative (Beacon) has committed to implement certain criteria and incorporated the elements or strategies into the building design. The document providing the written commitment is attached. In addition, at the financial closing, Beacon will reaffirm the commitment and certify the building criteria that were included in the construction documents. Finally, upon construction completion, Beacon, the architect, and the general contractor will certify that the elements and strategies were incorporated into the final building. Energy modeling and performance test results are also required to verify energy standard criteria.

Below are significant strategies or elements that will be included in 66 West through the Green Communities program. See the attached certification for a complete list.

- 66 West is a compact development, with 43.33 units per acre.
- 66 West is within walking distance of many services and facilities.
- The project site is adjacent to public transit stop that totaling nearly 160 stops per day.
- 66 West is an adaptive reuse of an existing building.
- At least 50% of the planting will be native species.
- The building will have a HERS (home energy rating system) index of at least 85, which is at least 15% more energy efficient than a HERS reference home and consistent with Energy Star compliant homes.
- 66 West will install only Energy Star rated appliances and light fixtures.
- All of the project's interior paints, primers, and adhesives will meet low VOC standards.
- 66 West will install Energy Star, continuous running bathroom fans exhausted directly to the outdoors.

In addition, 66 West will feature the following Green Building strategies.

- 66 West will reduce the impervious paving of the existing site by 6.9%.
- The building will feature hard surface flooring in the units.
- The project site will include a rain garden.

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AB

Project Name: 66 West Apartments
 Project Address: 3330 66th Street W
 Project Status: Application

Organization Name: Beacon Interfaith Housing Collaborative
 Organization Contact: Sarah Larson
 Date: 5/13/2014

INTENDED METHODS WORKSHEET: This worksheet identifies how the project team intends to incorporate all the Mandatory and adequate number of Optional Criteria into the development.

This worksheet must be filled out and submitted before the construction start date. For additional information on how to submit go to www.greencommunitiesonline.org/tools/certification/

- INSTRUCTIONS:**
- 1) Select an answer provided in the drop-down menu under Column D ("How Criterion will be implemented") for each criterion.
 - 2) Explain special circumstances or request a waiver using Column E ("If necessary, describe deviations from Intended approach"). This may include information on an approach proposed by the project team that does not appear as an option in the drop-down menu.
 - 3) Indicate where the Criterion references can be found within the project documents in Column F and G ("Criteria Documentation"). This is required for Criterion 1.1b
 - 4) Indicate the project team member who is responsible for documenting and ensuring the completion of the Criterion under Column 'H' (Champion).
 - 5) Indicate the number of optional points being pursued by completing Column H ("Intended Points").

**Gray text within the spreadsheet (under "Green Development Agreement" section at bottom) indicates the type of information that could occupy that cell. It is not intended to be left in your final submission documents.

Complete this document by signing the Green Development Agreement at the bottom of this worksheet. Without the mandatory signatures, this document remains incomplete and the project will not receive Step 1 Certification.

1 INTEGRATIVE DESIGN

Criteria Item	How Criterion will be implemented	If necessary, provide additional information or explanation of alternative approach to meeting this measure	Criteria Documentation		Champion	Intended Points
			Location of Measure in Project Documents	Spec page number / plan type for locating measure		
1.1a Green Development Plan: Integrative Design Meeting(s)	The project team has conducted one or more Integrative design meeting(s) and submitted a Green Development Plan or equivalent documentation			N/A	Architect	M
1.1b Green Development Plan: Criteria Documentation	The project team will create design and construction documentation (i.e. plans, details, and specifications) to include information on implementation of appropriate Enterprise Green Communities Criteria		Project Plans and Specifications	TBD	Architect	M
1.2a Universal Design (New Construction only)						0
1.2b Universal Design (Substantial & Moderate Rehab only)						0
						0 Intended Points

2 LOCATION-NEIGHBORHOOD FABRIC

Criteria Item	How Criterion will be implemented	If necessary, provide additional information or explanation of alternative approach to meeting this measure	Criteria Documentation		Champion	Intended Points
			Location of Measure in Project Documents	Spec page number / plan type for locating measure		
2.1 Site Sensitive Selection (New Construction Only)	Site is previously developed and will not be on prime soils, on public parkland, on critical habitat, on the 100 year floodplain, or on a slope greater than 15%			N/A	Project Manager	M
2.2 Connections to Existing Development and Infrastructure (New Construction only, except for projects located on rural tribal lands, in colonias communities, or in communities of population less than 10,000)	The project is located on a site with access to existing roads, water, sewers, and other infrastructure within or contiguous (having at least 25% of the perimeter bordering) to existing development, connected to the pedestrian grid, and meeting the septic tank requirements			N/A	Project Manager	M
2.3 Compact Development (New Construction Only)	43.33 units/acre			N/A	Project Manager	M
2.4 Compact Development	43.33 units/acre					0
2.5 Proximity to Services (New Construction only)	Suburban/Mid-Site Town location: Project is 0.5-mile walk distance of at least three, or a 1-mile walk distance of at least six facilities			N/A	Project Manager	M
2.6 Preservation of and Access to Open Space	The project is classified as an Urban/Small City or a Suburban/Mid-Site Town			N/A	Project Manager	M
2.7 Preservation of and Access to Open Space						0
2.8 Access to Public Transportation	Route 6 has over 90 transit rides per weekday and Route 515 has nearly 70 transit rides per weekday. Both have nearly as many rides on the weekend. A stop that serves both routes is directly in front of the building.					5
2.9 Walkable Neighborhoods: Connections to Surrounding Neighborhood	Provide summary of the project's sidewalk and pathway connections to public spaces, open spaces or adjacent development					0
2.10 Smart Site Location: Passive Solar Heating / Cooling	Provide a brief narrative that describe passive solar heating/cooling tactics					0
2.11 Brownfield or Adaptive Reuse Site	The project is located on an adaptive reuse site					2

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 JUN 20 2014
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2.12	Access to Fresh, Local Foods					0
2.13	LEED for Neighborhood Development certification					0
						13 Intended Points

3. AIR IMPROVEMENT

Criteria Item	How Criterion will be implemented	If necessary, provide additional information or explanation of alternative approach to meeting this measure	Criteria Documentation		Champion	Intended Points
			Location of Measure in Project Documents	Spec page number / plan type for locating measure		
3.1	Environmental Remediation	Site has passed Phase I Environmental Site Assessment	Project Plans and Specifications	TBD	Project Manager	M
3.2	Erosion and Sedimentation Control (Except for Infill sites with buildable area smaller than one acre)	The project is an infill site with a buildable area smaller than one acre		N/A	Project Manager	M
3.3	Low Impact Development (New Construction only)	The project is substantial or moderate rehab		N/A	Project Manager	M
3.4	Landscaping	The Architect or Landscape Architect will provide certified tree or plant list showing at least 50% of the site area available for landscaping is planted with native or adaptive species	Project Plans and Specifications	TBD	Architect	M
3.5	Efficient Irrigation and Water Reuse	The irrigation system will incorporate a drip system for at least 50% of the planting beds, separate zones for turf and beds, a timer that activates the valves for each zone timed to prevent water loss, and a rain delay sensor.	Project Plans and Specifications	TBD	Architect	M
3.6	Surface Stormwater Management	Provide a brief narrative of the design strategies and systems that will be implemented, and indicate the calculated volume of water being retained, infiltrated, or harvested on site				0
						0 Intended Points

4. WATER CONSERVATION

Criteria Item	How Criterion will be implemented	If necessary, provide additional information or explanation of alternative approach to meeting this measure	Criteria Documentation		Champion	Intended Points
			Location of Measure in Project Documents	Spec page number / plan type for locating measure		
4.1	Water-Conserving Fixtures	Project will specify toilets at 1.28 gpf or less, urinals at .5 gpf or less, bathroom faucets at 1.5 gpm or less, and showerheads and kitchen faucets at 2.0 gpm or less	Project Plans and Specifications	TBD	Architect	M
4.2	Advanced Water-Conserving Appliances and Fixtures					0
4.3	Water Reuse					0
						0 Intended Points

5. ENERGY EFFICIENCY

Criteria Item	How Criterion will be implemented	If necessary, provide additional information or explanation of alternative approach to meeting this measure	Criteria Documentation		Champion	Intended Points
			Location of Measure in Project Documents	Spec page number / plan type for locating measure		
5.1a	Building Performance Standard: Single Family & Multifamily, 3 stories or fewer (New Construction only)	The project is not single-family or multi-family (three stories or fewer) new construction		N/A		M
5.1b	Building Performance Standard: Multifamily, 4 stories or more (New Construction Only)	The project is not multi-family (four stories or more) new construction		N/A		M
5.1c	Building Performance Standard: Single Family & Multifamily, 3 stories or fewer (Substantial and Moderate Rehab)	The project will demonstrate energy performance of a HERS Index of 85 using an energy model and a Home Energy Rating certificate	Project Plans and Specifications	TBD	Mechanical Engineer	M
5.1d	Building Performance Standard: Multifamily, 4 stories or more (Substantial and Moderate Rehab)	The project is not a multi-family (four stories or more) rehabilitation		N/A		M
5.2	Additional Reductions in Energy Use					0
5.3	Sizing of Heating and Cooling Equipment and Ducts	Heating and cooling equipment will be sized in accordance with the ACCA manual, Parts J and S, or ASHRAE handbooks	Project Plans and Specifications	TBD	Mechanical Engineer	M
5.4	ENERGY STAR Appliances	The project will install Energy Star-rated clothes washers, dishwashers, and refrigerators	Project Plans and Specifications	TBD	Architect	M

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5.5a	Efficient Lighting: Interior Units	Project will install Energy Star Advanced Lighting Package		Project Plans and Specifications	TBD	Electrical Engineer	M
5.5b	Efficient Lighting: Common Areas and Emergency Lighting (all multifamily projects)	Project will use ENERGY STAR-labeled fixtures, LEDs, TB fixtures with electronic ballasts or better, or any equivalent high-performance lighting fixtures and bulbs in all common areas		Project Plans and Specifications	TBD	Electrical Engineer	M
5.5c	Efficient Lighting: Exterior	Project will install ENERGY STAR-qualified fixtures or LEDs (with a minimum efficacy of 45 lumens/watt) equipped with daylight sensors on all outdoor lighting		Project Plans and Specifications	TBD	Electrical Engineer	M
5.6a	Electricity Meter (New Construction and Substantial Rehab only)	Individual or sub-meters will be installed in all dwelling units		Project Plans and Specifications	TBD	Electrical Engineer	M
5.6b	Electricity Meter (Moderate Rehab only)	The project is new construction or substantial rehab					0
5.7a	Renewable Energy	Provide brief narrative describing the types of renewable energy system installed and the estimated percentage of energy it will provide for the overall energy demand of the project					0
5.7b	Photovoltaic / Solar Hot Water Ready						0
5.8	Advanced Metering Infrastructure						0
							0
							Intended Points

6. MATERIALS AND TOOLS TO THE ENVIRONMENT

Criteria Item	How Criterion will be implemented	If necessary, provide additional information or explanation of alternative approach to meeting this measure	Criteria Documentation		Champion	Intended Points	
			Location of Measure in Project Documents	Spec page number / plan type for locating measure			
6.1	Low / No VOC Paints and Primers	All interior paints and primers will meet the MFI and Green Seal standards for VOCs, based on the list provided in the Criteria		Project Plans and Specifications	TBD	Architect	M
6.2	Low / No VOC Adhesives and Sealants	All adhesives will comply with Rule 1168 of the South Coast Air Quality Management District. All caulks and sealants will comply with Regulation 8, Rule 51 of the Bay Area Air Quality Management District (BAAQMD)		Project Plans and Specifications	TBD	Architect	M
6.3	Construction Waste Management	The project scope will include a provision to follow a construction waste management plan that reduces waste by at least 25% by bringing debris to a mixed debris recycling facility.		Project Plans and Specifications	TBD	General Contractor	M
6.4	Construction Waste Management: Optional	Provide a brief narrative that lists the materials in the Construction Waste Management Plan, the % recycled, salvaged, or diverted and the strategies to do so					0
6.5	Recycling Storage for Multifamily Project	The project will provide a dedicated, permanent, and accessible area for the collection and storage of materials for recycling					5
6.6	Recycled Content Material	Provide a brief narrative that summarizes the building materials made of recycled content material					0
6.7	Regional Material Selection						0
6.8	Certified, Salvaged and Engineered Wood Products						0
6.9a	Reducing Heat-Island Effect: Roofing						0
6.9b	Reducing Heat-Island Effect: Paving						0
							5
							Intended Points

7. ENERGY AND ENVIRONMENT

Criteria Item	How Criterion will be implemented	If necessary, provide additional information or explanation of alternative approach to meeting this measure	Criteria Documentation		Champion	Intended Points	
			Location of Measure in Project Documents	Spec page number / plan type for locating measure			
7.1	Composite Wood Products that Emit Low / No Formaldehyde	All composite wood products will be compliant with California 93120		Project Plans and Specifications	TBD	Architect	M
7.2	Environmentally Preferable Flooring	Any carpet, pad and adhesive will not be installed in entryways, laundry rooms, bathrooms, kitchens/kitchenettes, utility rooms, or any rooms of ground-connected floors. Any carpet products will meet Green Label or Green Label Plus certification. Any hard surface flooring products will be either ceramic tile, unfinished hardwood floors, or in compliance with the FloorScore program criteria		Project Plans and Specifications	TBD	Architect	M
7.3	Environmentally Preferable Flooring: Alternative Sources						0
7.4a	Exhaust Fans: Bathrooms (New Construction and Substantial Rehab only)	The project will install ENERGY STAR-labeled continuous bathroom fans that exhaust to outdoors operate continuously at 20 cfm		Project Plans and Specifications	TBD	Mechanical Engineer	M
7.4b	Exhaust Fans: Bathroom (Moderate Rehab only)						0
7.5a	Exhaust Fans: Kitchen (New Construction and Substantial Rehab only)	The project will install power-vented fans or range hoods that exhaust to the outdoors at an intermittent rate of 100 cfm, per ASHRAE 62.2-2010		Project Plans and Specifications	TBD	Mechanical Engineer	M
7.5b	Exhaust Fans: Kitchen (Moderate Rehab only)						0

7.6a	Ventilation (New Construction and Substantial Rehab only)	The project will install a ventilation system that will satisfy the fresh air requirements of ASHRAE 62.2-2010		Project Plans and Specifications	TBD	Mechanical Engineer	M
7.6b	Ventilation (Moderate Rehab only)						0
7.7	Clothes Dryer Exhaust	All clothes dryers will exhaust directly to the outdoors using rigid-type duct work		Project Plans and Specifications	TBD	Mechanical Engineer	M
7.8	Combustion Equipment	All combustion equipment will be power vented or direct vented and hard-wired CO detectors will be installed in outside each sleeping area per criteria		Project Plans and Specifications	TBD	Mechanical Engineer	M
7.9a	Mold Prevention: Water Heaters	All water heaters will be installed with catch pans and drains piped to the exterior of the dwelling		Project Plans and Specifications	TBD	Mechanical Engineer	M
7.9b	Mold Prevention: Surfaces	All surfaces in bathrooms, kitchens, and laundry rooms will use materials that have durable and cleanable surfaces		Project Plans and Specifications	TBD	Architect	M
7.9c	Mold Prevention: Tub and Shower Enclosures	All bathrooms will have non-paper-faced backing materials such as cement board, fiber cement board, or equivalent		Project Plans and Specifications	TBD	Architect	M
7.10	Vapor Barrier Strategies (New Construction and Rehab projects with foundation work only)	The project will install a vapor barrier and capillary break under the slab	Provided at new slab on grade	Project Plans and Specifications	TBD	Architect	M
7.11	Radon Mitigation (New Construction and Substantial Rehab only)	The project is substantial or moderate rehab and will test for radon and install passive-radon features if necessary	Radon mitigation system will be installed in new slab-on-grade areas and added underneath basement units.	Project Plans and Specifications	TBD	Architect	M
7.12	Water Drainage (New Construction and Rehab projects replacing assemblies called out in Criterion only)	The project is moderate or substantial rehab that is not replacing assemblies called in this criterion	Addition will be compliant		N/A		M
7.13	Garage Isolation	The project does not have an attached garage			N/A		M
7.14	Integrated Pest Management	The project scope will include requirements to seal all wall, floor, and joint penetrations. Rodent proof screens will be provided at all openings.		Project Plans and Specifications	TBD	Architect	M
7.15	Lead-Safe Work Practices (Substantial and Moderate Rehab only)	The project was built after 1978			N/A		M
7.16	Smoke-Free Building	The project will enforce a no-smoking policy					9
							9
							Intended Points

8. OPERATIONS - MAINTENANCE

Criteria Item	How Criterion will be implemented	If necessary, provide additional information or explanation of alternative approach to meeting this measure	Criteria Documentation		Champion	Intended Points
			Location of Measure in Project Documents	Spec page number / plan type for locating measure		
8.1 Building Maintenance Manual (all multifamily projects)	The project scope will include a provision requiring the contractor to provide a manual to the owner that will address the operation and maintenance of the appliances, HVAC systems, water systems, lighting, paving and landscaping. The owner will provide a copy of the manual to the management company.		Project Plans and Specifications	TBD	Project Manager	M
8.2 Resident's Manual	The owner will provide a manual to the property management company to provide to all residents at move-in. The manual will address green cleaning products and schedules, pest control, location of water shut offs, proper use of systems, and operations of all appliances and special plumbing fixtures.			N/A	Project Manager	M
8.3 Resident and Property Manager Orientation	The project scope will include a provision requiring the contractor to provide an orientation to the property manager on the building features' operation and maintenance, including the green features. The orientation will be video taped for future reference. The property manager will provide information on nearby transit facilities to promote a healthy lifestyle.		Project Plans and Specifications	TBD	Project Manager	M
8.4 Project Data Collection and Monitoring System						0
						0
						Intended Points

ENTERPRISE GREEN COMMUNITIES CERTIFICATION
 1000 W. WASHINGTON STREET

27

Green Development Agreement: The following signatures provides a written commitment demonstrating that all parties involved in the execution and delivery of this project agree to be accountable to measures and strategies as outlined in application documents.

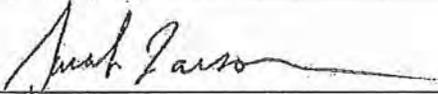
INSTRUCTIONS: This signature portion is most easily satisfied by either: a) printing the Intended Methods tab and having the various team members fill out and sign their portion or b) using digital signatures. Both forms of submission will be accepted.
 To proceed with Enterprise Green Communities Certification, signatures must be provided by at the project manager, architect, and general contractor. If these 3 signatures are not present, your building will not proceed through Step 1 of Certification.

MANDATORY SIGNATURES

6/5/2014

A16

PLANNING DEPARTMENT
 JUN 22 2014

	6/5/2014
---	----------

Project Manager: Sarah Larson

	6/5/2014
---	----------

Architects: David Jizland, AIA

	<Insert Date>
--	---------------

General Contractor: General Contract 100

OPTIONAL SIGNATURES

<Provide Signature of Green Development Team Member>	<Insert Date>
--	---------------

Green Building Specialist: <PRINT Green Development Team Member's Name>

<Provide Signature(s) of Green Development Team Member(s)>	<Insert Date>
--	---------------

Engineer (MEP): <PRINT Green Development Team Member's Name(s)>

<Provide Signature(s) of Green Development Team Member(s)>	<Insert Date>
--	---------------

Energy and/or System Specialist: <PRINT Green Development Team Member's Name(s)>

RECEIVED
 JUN 30 2014
 CITY OF EDNA

66 West
Cost and Financing Information

66 West is an adaptive reuse from an existing bank to 39 residential studio apartments. At this point, the budgeted construction cost is \$5,300,000 and the total development cost is \$10,080,000. On a per unit basis, the construction cost is approximately \$136,000 and the development cost is approximately \$258,000.

Minnesota Housing Finance Agency urges development projects to contain costs. As a method to gauge appropriate costs, and as a way to give preference points to projects that contain costs, Minnesota Housing publishes historical averages of other affordable housing developments in Minnesota. As project cost varies based on location and housing type, costs are broken down by category. The average total development cost of new construction for adaptive reuse in the metro area for zero or one bedroom units is \$267,930 per unit. 66 West is nearly \$10,000 per unit more cost effective.

The bulk of the capital cost is expected to be covered through tax credit financing. Minnesota Housing awards tax credits on a competitive basis to developers of non-profit housing, who in turn, sell the credits to a private investor. Private funding and deferred loans from Minnesota Housing and local government units fill the remaining funding gap. The tax credit allocation and deferred funding restricts the rent and income levels.

MINNESOTA HOUSING FINANCE AGENCY
JUN 20 2014
CITY OF MINNEAPOLIS



1 SITE PLAN
 LAD01 12 x 18"

66 West
 Apartments
 3330 66th St. West, Edina



301 NORTH THIRD STREET, SUITE
 MINNEAPOLIS, MN 55401
 612.455.2100

CONSULTANT

PRELIMINARY
 NOT FOR
 CONSTRUCTION

REVISIONS
 # Date Description

ADD

DATE 06.19.21
 PROJECT # 14-05
 PHASE SITE PLAN ADD

DRAWN BY
 CHECKED BY

COLORED
 SITE PLAN

LA200

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JUN 23 2014
City of Edina

828



PLANNING DEPARTMENT



66 West Apartments
 EDINA MN | 06.10.2014 | 14-0016

JUN 20 2014

CITY OF EDINA



66 West Apartments

Site Plan Review Submittal

June 19, 2014



UNIT COUNT

UNIT TYPE	SUBTOTAL	LEVEL 1	LEVEL 2	UNIT TYPE TOTAL
TYPICAL STUDIO	0	0	1	1
STUDIO	1	10	10	20
Grand Total	1	10	20	21

SITE & BUILDING STATISTICS

- A. SITE SQUARE FOOTAGE: 26,368 sq ft (0.60 ACRES)
- B. GROSS BUILDING SQUARE FOOTAGE:
 - LEVEL TWO: 11,264 sq ft
 - LEVEL ONE: 11,264 sq ft
 - SUBTOTAL: 22,528 sq ft
 - TOTAL GROSS S.F.: 22,528 sq ft
 - NETIC SPACE S.F.: 22,528 sq ft
- C. PERCENT OF SITE COVERAGE & FLOOR AREA RATIO:
 - % SITE COVERAGE: 85.1%
 - F.A.R.: 0.37
- D. DEVELOPPED UNITS PER ACRE: 36 UNITS / 0.6 ACRES = 43 UNITS PER ACRE
- E. PERCENT PAVED SITE AREA: 10.50%
- F. ELEVATION ABOVE MEAN SEA LEVEL:
 - LEVEL 1: 362'-0"
 - LEVEL 2: 372'-0"
- H. TOTAL NET LEASABLE AREA: 13,072 sq ft

VICINITY MAP



GENERAL NOTES

- DO NOT SCALE DIMENSIONS.
- SUBCONTRACTORS SHALL VISIT THE JOB SITE AND SHALL REVIEW THE CONTRACT DOCUMENTS TO FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS AND INTENT OF THE SCOPE OF THE WORK FROM COMMENCEMENT OF WORK. DISCREPANCIES SHALL BE REPORTED TO GENERAL CONTRACTOR FOR CLARIFICATION.
- BUILDING TO BE SPARKLED.

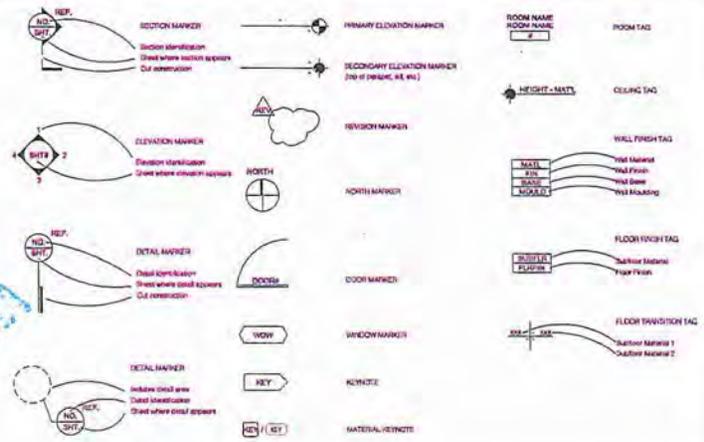
PARKING STALLS

STALL TYPE	EXISTING (ON-SITE) PARKING	FUTURE PROPOSED PARKING
1/2 Single Parking Stall	1	1
Standard Parking Stall	18	20
Grand Total	19	21

BICYCLE PARKING

TYPE	QUANTITY
Bicycle Parking	20

SYMBOLS



CONTACTS

DEVELOPER/CLIENT	CONTRACTOR - TRD	ARCHITECT	CIVIL ENGINEER
NAME: BEACON INTERIORS HOUSING COLLABORATIVE CONTACT: LEE BLOOM ADDRESS: 2810 UNDERHILL AVENUE WEST SAINT PAUL, MN 55116 PHONE NO.: 651-799-0210 FAX NO.: 651-799-0208 E-MAIL: LEBLOOM@BEACONINTERIORS.COM	NAME: COMPANY / FIRM NAME HERE CONTACT: CONTACT NAME HERE ADDRESS: ADDRESS LINE 1 ADDRESS LINE 2 PHONE NO.: PHONE NO. HERE FAX NO.: FAX NO. HERE E-MAIL: E-MAIL HERE	NAME: URS WORKS ARCHITECTURAL LLC CONTACT: TOD ELAHI ADDRESS: 401 N 3RD, ST. SUITE 140 PHONE NO.: 612-460-3102 FAX NO.: 612-460-3199 E-MAIL: DHAALAND@URS WORKS.COM	NAME: PERICE PER & ASSOCIATES, INC. CONTACT: ADWIN GARDNER ADDRESS: 9001 CENTRAL AVE NE, SUITE 202 PHONE NO.: 763-637-5111 FAX NO.: 763-637-1354 E-MAIL: ADWIN@PERICEPIA.COM
NAME: STUDIO GREEN LANDSCAPE AND DESIGN, INC. CONTACT: BILL COLLARDY ADDRESS: 1818 KELLY DRIVE GOLDEN VALLEY, MN 55427 PHONE NO.: 612-430-0181 FAX NO.: 612-430-0182 E-MAIL: STUDIOGREEN@AEGDESIGN.NET	NAME: BGM ENGINEERS, P.C. CONTACT: JOHN TRIM ADDRESS: 1800 BROOKLYN BOULEVARD MINNEAPOLIS, MN 55429 PHONE NO.: 763-645-5021 FAX NO.: 763-645-5021 E-MAIL: JTRIM@BGM.COM	NAME: STELL ENGINEERING, INC. CONTACT: NAWA STEINBERG ADDRESS: 1431 OGDEN DRIVE NORTH CRYSTAL, MN 55429 PHONE NO.: 763-668-6742 FAX NO.: 763-668-6742 E-MAIL: NERTHW@STEELNG.COM	NAME: G2 GROUP CONTACT: GERRY CRAIG ADDRESS: 101 N 2ND, ST. SUITE 140 PHONE NO.: 612-466-0192 FAX NO.: 612-466-0192 E-MAIL: GERRY@G2GROUP.MN.COM

PLANNING DEPARTMENT
 JUN 20 2014
 CITY OF EDINA

66 West Apartments
3300 66th St. West, Edina



801 NORTH THIRD STREET, SUITE 1
MINNEAPOLIS, MN 55401
612.486.3100

CONSULTANT

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISIONS
Date Description

A21

DATE: 06.19.2014
PROJECT #: 14-01
PHASE: SITE PLAN REV

DRAWN BY: [blank]
CHECKED BY: [blank]

KEY PLAN

TITLE SHEET

G001

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KEMPER & ASSOCIATES INC.
PROFESSIONAL LAND SURVEYORS

1711 616 STREET & S.W.
NEW BRUNSWICK, MINNESOTA 55124
612-431-4321
Fax: 612-431-4322
Email: kass@kempersurvey.com
www.kempersurvey.com

ALTA SURVEY OF
**BEACON INTERFAITH HOUSING
COLLABRATIVE SITE**
(EXISTING TCF BANK)
3330 WEST 66TH STREET
CITY OF EDINA, HENNEPIN COUNTY, MINNESOTA

1. FOUNDATION
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VICINITY MAP
(1/10 SCALE)



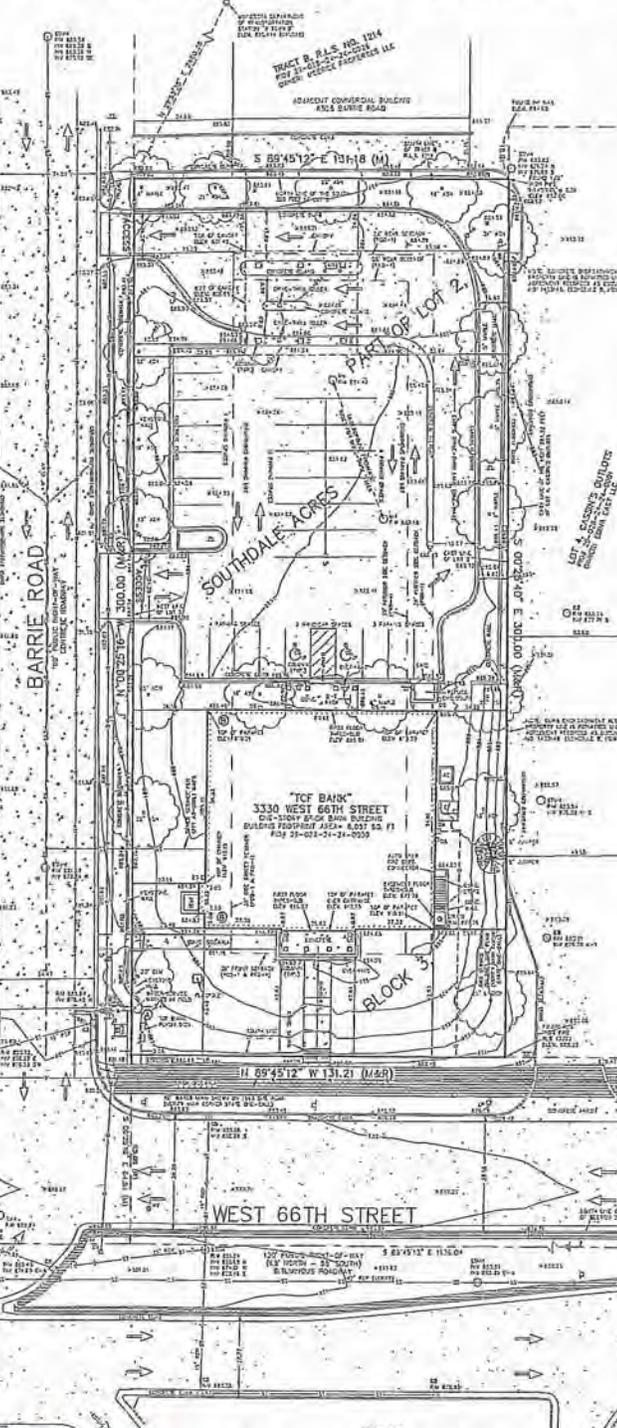
EXISTING TCF BANK BUILDING
3330 WEST 66TH STREET
EDINA, MINNESOTA

ZONING REQUIREMENTS
LOCAL PD-1-1 PLANNED OFFICE DISTRICT-1
SUPPORTIVE HOUSING FOR 10 PEOPLE IS NOT A REQUIREMENT FOR A RESIDENTIAL USE. PROPERTY WILL NEED TO BE REZONED TO ACCOMMODATE THE PLANNED PURPOSE USE.
LOT AREA AND DIMENSIONS ARE NOT MONITORED IN THE ZONING CODE FOR PD-1 DISTRICT.
MAXIMUM BUILDING COVERAGE: 30% OF THE TRACT
MAXIMUM FLOOR AREA RATIO: 0.5% OF THE TRACT
BUILDING SETBACK REQUIREMENTS:
FRONT SETBACK: 25 FEET
SIDE SETBACK: 25 FEET
REAR SETBACK: 25 FEET
REAR YARD: 30 FEET
* OR THE BUILDING HEIGHT IS GREATER (WHICHEVER IS APPROXIMATELY 26 FEET TALL)
PARKING REQUIREMENTS:
PROVIDE ONE (1) PARKING SPACE PER UNITS UNDER DOCUMENT NO. 23-1454 (EFFECTIVE 8/1/14)
TOTAL: THE CITY MAY CHOOSE TO REZONE THIS LOT UNDER THE PLANNED USE REQUIREMENT DISTRICT 1 OR THE UNDEVELOPED SETBACKS BOARD CONTROL. OR THE CITY CHOOSE TO REZONE THE PROPERTY TO THE PLANNED RESIDENTIAL DISTRICT-1 TO ACCOMMODATE THE PLANNED PURPOSE USE AS SUPPORTIVE HOUSING FOR 10 PEOPLE. THE PD-1 REGULATIONS ARE LISTED BELOW.
PD-1 RELATED RESIDENTIAL DISTRICT
ALL RESIDENTIAL BUILDINGS ARE A PERMITTED USE
MINIMUM LOT AREA: 3500 SQ. FT. FOR BUILDINGS WITH
MAXIMUM BUILDING COVERAGE: 30% OF LOT AREA
BUILDING SETBACKS:
FRONT SETBACK: 25 FEET
SIDE SETBACK: 25 FEET
REAR SETBACK: 25 FEET
REAR YARD: 30 FEET
(AS PER CITY OF EDINA ZONING CODE)

NOTES
1. THE SURVEY WAS CONDUCTED IN A MANNER THAT COMPLETES THE SURVEY OF THE PROPERTY AND THE ADJACENT PROPERTY TO THE PROPERTY.
2. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING BOARD CONTROL. OR THE CITY CHOOSE TO REZONE THE PROPERTY TO THE PLANNED RESIDENTIAL DISTRICT-1 TO ACCOMMODATE THE PLANNED PURPOSE USE AS SUPPORTIVE HOUSING FOR 10 PEOPLE. THE PD-1 REGULATIONS ARE LISTED BELOW.
3. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING BOARD CONTROL. OR THE CITY CHOOSE TO REZONE THE PROPERTY TO THE PLANNED RESIDENTIAL DISTRICT-1 TO ACCOMMODATE THE PLANNED PURPOSE USE AS SUPPORTIVE HOUSING FOR 10 PEOPLE. THE PD-1 REGULATIONS ARE LISTED BELOW.
4. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING BOARD CONTROL. OR THE CITY CHOOSE TO REZONE THE PROPERTY TO THE PLANNED RESIDENTIAL DISTRICT-1 TO ACCOMMODATE THE PLANNED PURPOSE USE AS SUPPORTIVE HOUSING FOR 10 PEOPLE. THE PD-1 REGULATIONS ARE LISTED BELOW.
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APR 20 2014
STATE OF MINNESOTA
COUNTY OF HENNEPIN

STATEMENT OF APPARENT ENCROACHMENTS
PUBLIC RECORDS REVEALS THAT THE PROPERTY IS SUBJECT TO AN EASEMENT DISTRICT 1 OF AN APPARENT ENCROACHMENT.
BUILDING ENCROACHMENTS WERE LOCATED WITHIN A DISTANCE OF 10 FEET.
FLOOD ZONE
SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "A" (AREAS DEEMED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODING) ACCORDING TO THE REGIONAL DRAINAGE MANAGEMENT AGENCY FLOOD HAZARD MAP. THE FLOOD HAZARD MAP NUMBER IS 200503014C, DATED SEPTEMBER 2, 2004, HENNEPIN COUNTY, MINNESOTA.



AREA SUMMARY
SUBJECT PROPERTY IS 28,116 SQ. FT. OR 645,514 SQ. FT.



3330 WEST 66TH STREET (PROJ)
EDINA, MINNESOTA

LEGAL DESCRIPTION
STEWART TITLE GUARANTY COMPANY
TITLE COMMITMENT NO. 501933
EFFECTIVE DATE: FEBRUARY 20, 2014
The South 200 feet of lot 2, as measured from the west line of said lot from the southeast corner, situated in Block 3, Southdale Acres, Hennepin County, Minnesota.

NOTES CORRESPONDING TO SCHEDULE B
STEWART TITLE GUARANTY COMPANY
TITLE COMMITMENT NO. 501933
EFFECTIVE DATE: FEBRUARY 20, 2014
13. Deed wanted by judicial foreclosure as shown on plat, (shown as attached).
14. Subject to the effect of the provisions of the City of Edina relating to subdivision, a copy of which is attached to this plat, and is on file at the Hennepin County Auditor's Office, Edina, Minnesota.
15. Agreement between Commercial Power Association and Twin Cities Federal Savings and Loan Association, dated July 17, 1981, and July 25, 1983, as amended, in full, attached to this plat.
16. This document is not being recorded.
17. Voluntary by City of Edina dated February 8, 2007, and March 8, 2007, as amended in 12/2011, which subject property and is attached.



3330 WEST 66TH STREET (EXIST)
EDINA, MINNESOTA

BUILDING COVERAGE SUMMARY
FOOTPRINT OF BUILDING: 8,237 SQ. FT.
AREA OF FRONT PORCH: 255 SQ. FT.
AREA OF REAR PORCH: 232 SQ. FT.
TOTAL BUILDING AREA: 8,724 SQ. FT.
(18.7% OF LOT AREA)
EXISTING TCF BANK AREA: 1,136 SQ. FT.
(2.6% OF LOT AREA)

PARKING SUMMARY
28 STANDARD SPACES
2 BARRIER SPACES
36 TOTAL PARKING SPACES

PREPARED FOR:
SARAH LARSON, PROJECT MANAGER
BEACON INTERFAITH HOUSING COLLABORATIVE
2105 UNIVERSITY AVENUE, SUITE 102
SAINT PAUL, MINNESOTA 55105
PHONE: 612-782-1222 FAX: 612-782-1222

SURVEYOR'S CERTIFICATE
I, Susan Larkson, Surveyor, do hereby certify that the above is a true and correct copy of the original survey as shown on the attached plat.
Date: APRIL 18, 2014
Susan Larkson, Surveyor
1711 616 STREET & S.W.
NEW BRUNSWICK, MINNESOTA 55124
612-431-4321
Fax: 612-431-4322
www.kempersurvey.com



CERTIFICATE OF SURVEY

A22

GENERAL NOTES

1. ALL EXISTING INFORMATION TAKEN FROM SURVEY BY KEIPER AND ASSOCIATES, DATED APRIL 11, 2014.
2. A SUBSURFACE GEOTECHNICAL INVESTIGATION HAS NOT BEEN COMPLETED FOR THIS PROJECT TO DATE, BUT WILL BE COMPLETED PRIOR TO PROJECT CONSTRUCTION.
3. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES AND VERIFY DEPTHS OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
4. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM ENTERING STORM SEWER OR BEING TRANSPORTED OFF-SITE IN AN UNCONTROLLED MANNER. CONTRACTOR TO VERIFY AT PROJECT CLOSEOUT THAT STORM SEWER SYSTEM IS CLEAR OF SEDIMENT AND/OR DEBRIS AND IS FULLY FUNCTIONAL.
5. ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE OUTSIDE THE LIMITS OF PAVING ARE TO BE RESTORED AND REVEGETATED.
6. ALL UTILITY DEMOLITION AND/OR ABANDONMENT TO BE PERFORMED IN ACCORDANCE WITH CITY OF EDINA AND STATE OF MINNESOTA REGULATIONS AND STANDARDS.
7. EXISTING UTILITIES ARE SHOWN IN THEIR APPROPRIATE LOCATIONS. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WHICH MAY INCLUDE BUT IS NOT LIMITED TO ELECTRICAL, TELEPHONE, GAS, COAXIAL TV, COMPUTER CABLE, FIBER OPTIC CABLE, SANITARY SEWER, STORM SEWER AND WATER MAIN. CONTRACTOR TO CONTACT THE Gopher State One Call BEFORE EXCAVATING.
8. ALL EXISTING UTILITIES AND OTHER IMPROVEMENTS ARE TO REMAIN UNLESS NOTED OTHERWISE.
9. CONTRACTOR TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS, LANDSCAPING, STRUCTURES AND UTILITIES THAT ARE TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE AT OWN EXPENSE.
10. PROVIDE THE FOLLOWING MINIMUM COVER OVER THE TOP OF PIPE AS FOLLOWS:
A. 8" OVER WATER MAIN
B. 3" OVER SANITARY SEWER
C. 1" OVER STORM SEWER
12. ALL WORK TO CONFORM WITH CITY OF EDINA AND STATE OF MINNESOTA STANDARDS AND REGULATIONS.
13. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR PART 1926, SUBPART P "EXCAVATIONS AND TRENCHING". THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
14. SITE UTILITY CONTRACTOR TO FURNISH AND INSTALL ALL SANITARY SEWER AND STORM SEWER FACILITIES AND APPURTENANCES TO WITHIN FIVE FEET OUTSIDE THE BUILDING. COORDINATE WITH MECHANICAL CONTRACTOR FOR COORD LOCATION AND DEPTH OF CONNECTION WITH BUILDING.
15. CONTRACTOR SHALL COORDINATE WITH ARCHITECT'S DRAWINGS TO VERIFY LOCATION, SIZE AND QUANTITY OF ALL ROOF DRAINAGE AND UTILITY CONNECTIONS.
16. PROVIDE BARRICADES AT STREETS AND SIDEWALKS PER CITY OF EDINA AND MUTCD REQUIREMENTS.
17. MAINTAIN 3 FEET VERTICAL AND 18 FEET HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPES.
18. ALL PAVEMENT MARKINGS WITHIN ADJACENT STREETS TO BE RESTORED TO MATCH EXISTING.
19. DRAWINGS DO NOT INDICATE AREAS OF TEMPORARY SUPPORT SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS AND WILL HAVE TOTAL CONTROL OVER THE TYPES AND DESIGN OF ALL SHORING, SHIELDING, BRACING, ANCHORAGES, EXCAVATION SUPPORT WALLS, DIRECTIONAL BORING, AUGER JACKING, SOIL STABILIZATION AND OTHER METHODS OF PROTECTING EXISTING IMPROVEMENTS. SEE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.
20. STORAGE AND PROTECTION OF EXISTING SITE FEATURES WHICH NEED TO BE REMOVED AND REPLACED FOR CONSTRUCTION OF PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO PROVIDE DAMAGE OR THEFT OF THESE ITEMS AND TO REPLACE AT OWN EXPENSE.
21. CONTRACTOR TO RECORD EXISTING CONDITIONS AS NEEDED (PHOTOGRAPHS, VIDEO PHOTOGRAPHY, FIELD SURVEYS, ETC.) TO ENABLE RECONSTRUCTION TO MATCH EXISTING CONDITIONS. CONTRACTOR TO DOCUMENT EXISTING CONDITIONS SO THAT RECONSTRUCTED AREAS WILL HAVE POSITIVE DRAINAGE SIMILAR TO EXISTING SEE SPECIFICATIONS.
22. ANY REVISION OF ESTABLISHED STRUCTURAL ELEMENTS WILL NEED TO BE DESIGNED AND CERTIFIED BY A REGISTERED ENGINEER.
23. WHERE DEMOLITION, EXCAVATION, UNDERPINNING, PILE DRIVING OR SIMILAR WORK IS TO BE PERFORMED ADJACENT TO OR IN THE IMMEDIATE VICINITY OF EXISTING STRUCTURES, THE CONTRACTOR WILL PROVIDE BUILDING SURVEYS AND SOILS MONITORING.
24. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO STARTING CONSTRUCTION.
25. ALL MATERIALS FOR PROPOSED CONSTRUCTION OR REPAIR OF EXISTING FACILITIES SHALL BE NEW PRODUCTS DIRECT FROM THE FACTORY AND FREE FROM DEFECTS.
26. WHEN WORKING AROUND EXISTING TELEPHONE OR ELECTRICAL POLES, THE CONTRACTOR SHALL BRACE THE POLE FOR SUPPORT.
27. WHEN WORKING AROUND EXISTING UTILITIES, LIGHT POLES, TRAFFIC SIGNALS, TELEPHONE OR POWER POLES, THE CONTRACTOR SHALL PROVIDE SUFFICIENT SUPPORT OR BRACING TO PREVENT EXCESSIVE STRESS ON THE POLES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
28. CAD FILES OF THE SITE LAYOUT PLAN WILL BE PROVIDED TO THE CONTRACTOR AT THE TIME OF CONSTRUCTION FOR STAKING PURPOSES. DIMENSIONS SHOWN HEREIN ARE FOR GENERAL REFERENCES TO TYPICAL LAYOUT OF THE SITE, NOT ALL SITE ELEMENTS ARE DIMENSIONED.
29. CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY BOUNDS.
30. ALL STUMPS FROM TREES REMOVED WITHIN PROJECT LIMITS SHALL BE GROUND AND REMOVED IN THEIR ENTIRETY.
31. WASTE MATERIALS INCLUDING PAVEMENT REMOVED DURING CONSTRUCTION, WASTE PILING AND SUPPLIES, DEMOLITION DEBRIS AND EXCESS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR.
32. MAXIMUM CROSS-SLOPES FOR SIDEWALKS AND ADA ACCESS ROUTES SHALL NOT EXCEED 2.0%. ADA SIDEWALKS SHALL NOT EXCEED 5.0% SLOPE ALONG THE PATH OF TRAVEL.
33. CONTRACTOR SHALL NOT BLOCK DRAINAGE FROM OR DIRECT EXCESS DRAINAGE OVER ADJACENT PROPERTY.
34. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE DRINKING WATERDEPT. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
35. THE CONTRACTOR SHALL PROVIDE A CONTINUOUS, ACCESSIBLE AND SAFE PEDESTRIAN WALKWAY THAT MEETS ADA AND MINNESOTA MUTCD STANDARDS, IF WALKING IN A SIDEWALK AREA, AND TRAFFIC CONTROL PER MINNESOTA MUTCD REQUIREMENTS FOR WORK IN THE PUBLIC RIGHT-OF-WAY.

EROSION CONTROL NOTES

1. INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES. (BAY BALES ARE NOT AN ACCEPTABLE PERIMETER CONTROL).
2. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 13 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 30 FEET INTO THE CONSTRUCTION ZONE UPON A SCHEDULED FABRIC BENEATH THE AGGREGATE TO PREVENT MAGRATION OF SOIL INTO THE ROAD FROM BELOW.
3. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY CITY INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SCHEDULING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
4. INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CATCH BASIN INLETS OF OTHER APPROVED PRODUCTS ARE REQUIRED IN UNDISTURBED AREAS THAT MAY RECEIVE RUNOFF FROM THE PROJECT AREA. MAT BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
5. LOCATE SOIL OR DIRT STOOPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOOPILES BY MULCHING, VEGETATIVE COVER, TAPPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOOPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOOPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN 100 FEET FROM THE DRAINAGE/CUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
6. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. SUSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DEGRADATED, DAMAGED, OR ROTTEN EROSION CONTROL DEVICES IMMEDIATELY.
7. TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONTROL DEVICES ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SOILING AND STAKING IN EXPOSED SOIL AREAS. AN EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED IS RECOMMENDED TO MINIMIZE EROSION POTENTIAL.
8. REMOVE ALL TEMPORARY, SYNTHETIC, STRUCTURAL, NON-Biodegradable EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS PERMITS IS 70% ESTABLISHED COVER OVER EXPOSED AREA.
9. READY MIXED CONCRETE AND CONCRETE BATCH PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MAINTENANCE ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/PLACEMENT LOCATIONS. UNDER NO CIRCUMSTANCES MAY READY MIX WATER DRUMS OR PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE. CONTRACTOR SHALL SET UP A CONCRETE WASHOUT AREA WHICH COMPLES WITH MPCA REQUIREMENTS.
10. CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
11. ALL EROSION CONTROL ELEMENTS ARE TEMPORARY. CONTRACTOR TO INSTALL EROSION CONTROL ELEMENTS PRIOR TO START OF LAND DISTURBING ACTIVITIES. MAINTAIN IN GOOD CONDITION DURING CONSTRUCTION AND REMOVE FROM THE SITE UPON COMPLETION OF FINAL PAVING AND TURF ESTABLISHMENT.
12. EROSION CONTROL SHALL BE PLACED ALONG THE PERIMETER OF THE SITE EXCAVATION. EROSION CONTROL SHALL BE PLACED SO IT DOES NOT OBSTRUCT THE EXISTING PAVEMENT OR DRIVE LANCES THAT ARE TO REMAIN. MANY METHODS OF EROSION CONTROL WILL WORK AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL THE NEAREST MOST APPROPRIATE TO THE SITE CONDITIONS AND THAT WHICH MEETS THE CITY OF EDINA STANDARDS. GRAPHICALLY SHOWN ON THE PLANS FOR CLARITY BUT SHALL BE PLACED IN THE MOST APPROPRIATE LOCATIONS IN THE FIELD AND BEHIND THE BACK OF CURB. EXISTING CURB AND GUTTER AND BOUNDARY ROAD TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGED CURB AND GUTTER OR BOUNDARY WALL BE REPAIRED BY THE CONTRACTOR AND PAID FOR SOLELY BY THE CONTRACTOR. SEE DETAILS AND SPECIFICATIONS.
13. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM ENTERING STORM SEWER OR BEING TRANSPORTED OFF-SITE IN AN UNCONTROLLED MANNER. CONTRACTOR TO VERIFY AT PROJECT CLOSEOUT THAT STORM SEWER SYSTEM IS CLEAR OF SEDIMENT AND/OR DEBRIS AND IS FULLY FUNCTIONAL.
14. CONTRACTOR TO PROVIDE TEMPORARY SEED AND MULCH ON ALL NON-PAVED AREAS WITHIN 7 DAYS AFTER ROUGH GRADING IS COMPLETED. SEED WITH ANNUAL PEE SEED AT 40 LBS PER ACRE AND WOOD MULCH FIBER AT 45 LBS PER 1,000 SF.
15. STRAWBALES ARE NOT ALLOWED ON SITE IN ANY CAPACITY.

LEGEND

DSM	EXISTING SANITARY MANHOLE
STM	EXISTING STORM MANHOLE
EM	EXISTING ELECTRIC MANHOLE
CB	EXISTING CATCH BASIN
CB	EXISTING CATCH BASIN
FM	EXISTING FIRE HYDRANT
VM	EXISTING WATER VALVE
ET	EXISTING ELECTRIC TRANSFORMER
LP	EXISTING LIGHT POLE
BL	EXISTING BALLAST LIGHT
DM	EXISTING GAS METER
TR	EXISTING TELEPHONE RISER
□	EXISTING SIGN
—UE—	EXISTING UNDERGROUND UTILITY LINE
—OH—	EXISTING OVERHEAD UTILITY LINE
—SS—	EXISTING SANITARY SEWER LINE
—ST—	EXISTING STORM SEWER LINE
—V—	EXISTING WATER MAIN OR SERVICE
—FD—	EXISTING UNDERGROUND FIDELPHOPIC
—G—	EXISTING GAS MAIN OR SERVICE
---	PROPERTY LINE
---Z---	PROPOSED CONTOUR
+SS	PROPOSED SPOT ELEVATION
○	NOTED SURFACE DRAINAGE
---	PROPOSED SANITARY LINE
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER
---	PROPOSED WATER MAIN
○	PROPOSED CATCH BASIN
○	PROPOSED MANHOLE
PS	PROPOSED DOWNSPOUT
M	PROPOSED VALVE
<	PROPOSED FIRE DEPARTMENT CONNECTION
---	PROPOSED RETAINING WALL
---	SILT FENCE
---	EROSION CONTROL AT CS/SM
---	PROPOSED BIRCHBAUGH PAVING
---	PROPOSED CONCRETE PAVING
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED CONSTRUCTION ENTRANCE

JUL 8 2014
CITY OF EDINA

PRELIMINARY
NOT FOR CONSTRUCTION

CONSULTANT
PIERCE PINI & ASSOCIATES

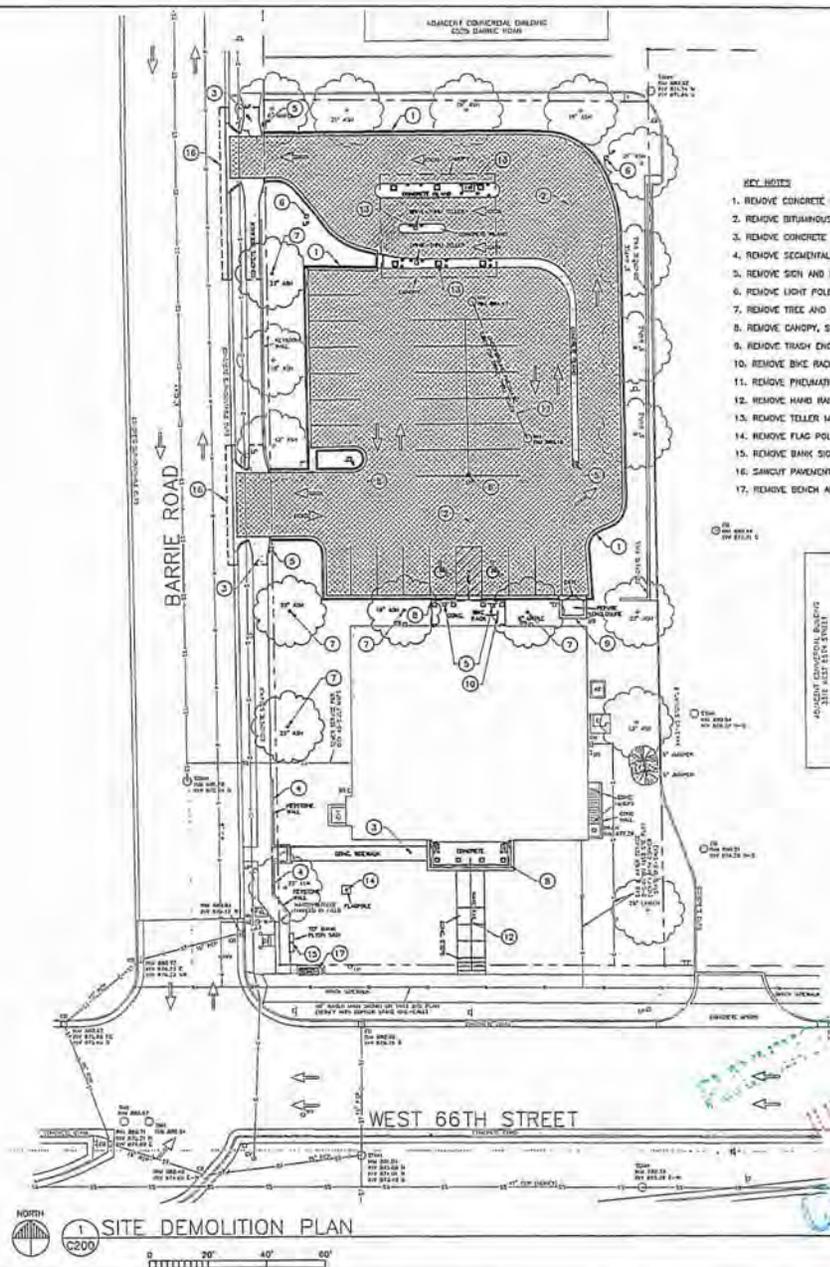
PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS
Date Description

DATE PROJECT # 14-
PHASE 1
DRAWN BY
CHECKED BY

NOTES AND LEGEND

C100



- KEY NOTES**
1. REMOVE CONCRETE CURB AND OUTER
 2. REMOVE BITUMINOUS PAVEMENT
 3. REMOVE CONCRETE PAVEMENT
 4. REMOVE SEGMENTAL RETAINING WALL
 5. REMOVE SIGN AND BASE
 6. REMOVE LIGHT POLE AND BASE
 7. REMOVE TREE AND STUMP
 8. REMOVE CANOPY, SUPPORT POSTS, AND FOOTINGS
 9. REMOVE TRASH ENCLOSURE AND FOOTINGS
 10. REMOVE BIKE RACK
 11. REMOVE PNEUMATIC TUBE INFRASTRUCTURE
 12. REMOVE HAND RAILING
 13. REMOVE TELLER MACHINES AND BOLLARDS
 14. REMOVE FLAG POLE AND BASE
 15. REMOVE BANK SIGN AND FOOTINGS
 16. SAND/CUT PAVEMENT TO FULL DEPTH
 17. REMOVE BENCH AND CONCRETE PAD

ADDITIONAL DEMOLITION & REMOVALS
 SHALL BE DETERMINED

PRELIMINARY
 JUN 26 2014
 CIVIL ENGINEER

1 SITE DEMOLITION PLAN
 C200

PRELIMINARY
 NOT FOR CONSTRUCTION

66 West Apartments
 3330 66th St. West, Edina



104 NORTH THIRD STREET, SUITE 1
 LANSING, MI 48201
 810-453-5100

CONSULTANT
PIERCE PINI & ASSOCIATES
 2000 W. GRAND AVENUE, SUITE 100
 ANN ARBOR, MI 48106
 734-769-0000

PRELIMINARY
 NOT FOR CONSTRUCTION

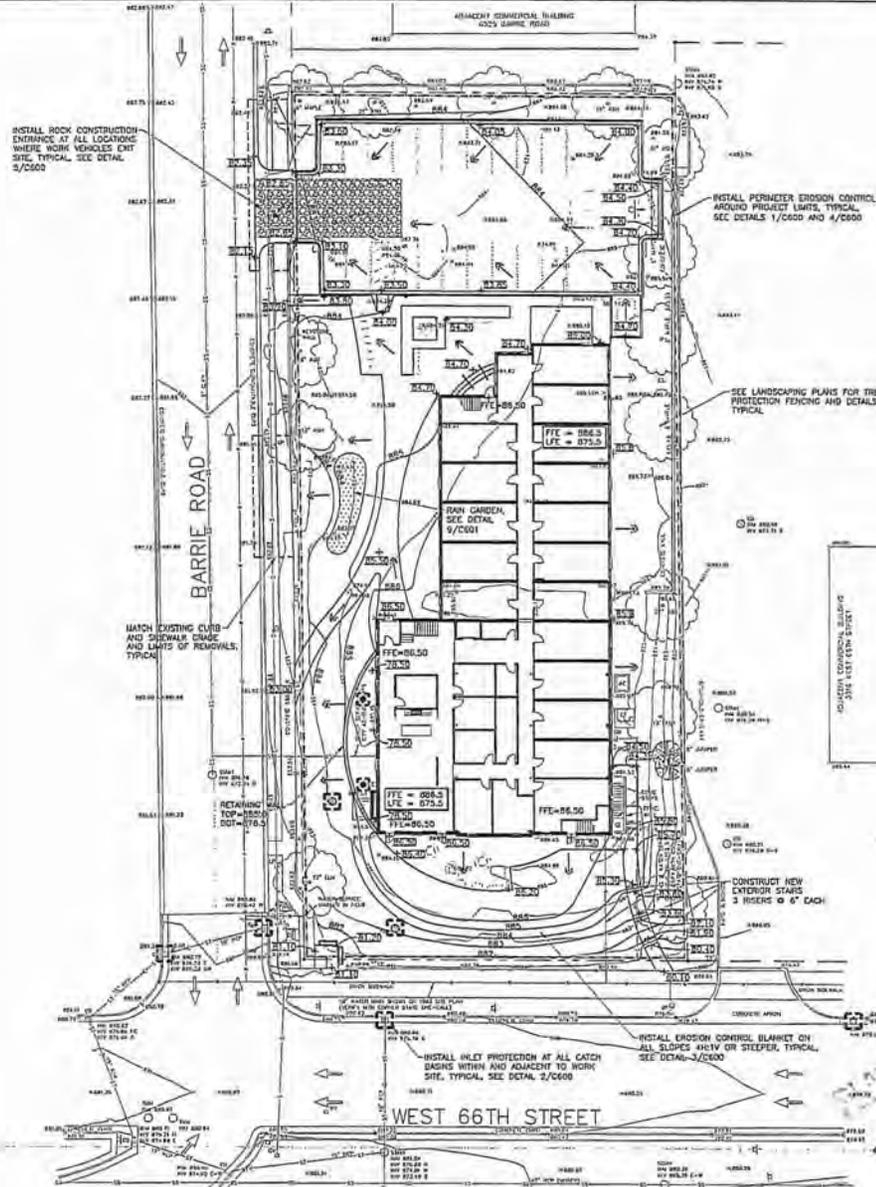
REVISIONS
 # Date Description

A24

DATE: 06.16.14
 PROJECT #: 14-
 PHASE: 1
 DRAWN BY:
 CHECKED BY:

SITE DEMOLITION PLAN

C200



1 GRADING, DRAINAGE AND EROSION CONTROL PLAN
 0 20' 40' 60'
 1"=20'

66 West
 Apartments
 3320 66th St. West, Edina



30 NORTH THIRD STREET, SUITE 1
 MINNEAPOLIS, MN 55481
 612.485.3100

CONSULTANT
 PIERCE PINI &
 ASSOCIATES
 300 MARSHALL STREET, SUITE 200
 MINNEAPOLIS, MN 55401
 612.338.1000

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISIONS
 # Desc Description

ABS

DATE: 06.16.14
 PROJECT #: 14-01
 PHASE: 1
 DRAWN BY: J
 CHECKED BY: J

APPROVED FOR CONSTRUCTION
 JUN 2 2014
 CITY OF EDINA

PRELIMINARY
 NOT FOR CONSTRUCTION

GRADING,
 DRAINAGE AND
 EROSION
 CONTROL PLAN

C300

66 West
Apartments

3333 66th St, West, Edina



955 NORTH THIRD STREET, SUITE 1
MINNEAPOLIS, MN 55417
912-433-3189

CONSULTANT
**PIERCE PINI &
ASSOCIATES**
ARCHITECTS AND ENGINEERS
300 W. WASHINGTON
MINNEAPOLIS, MN 55401

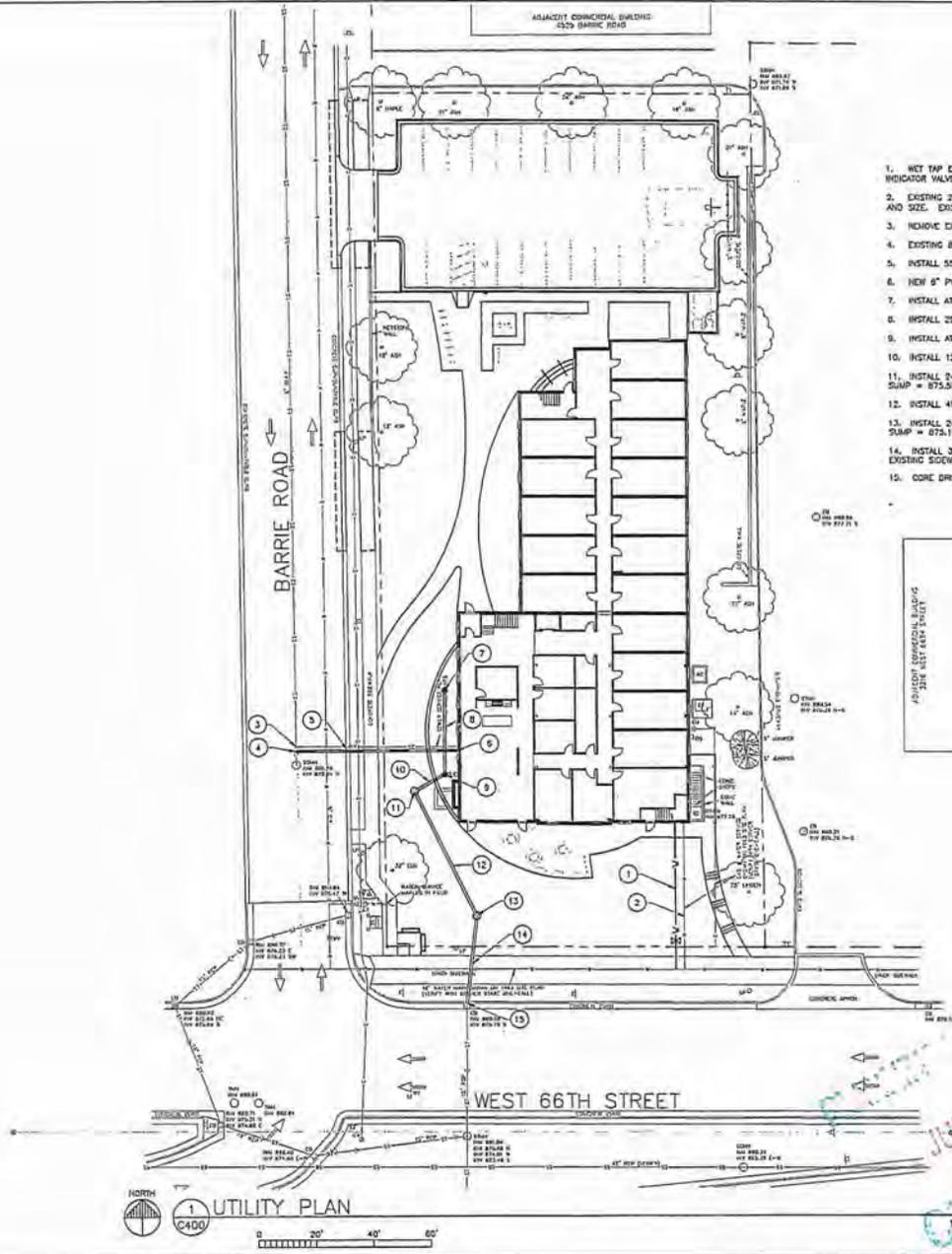
PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS
Date Description

DATE 06.14.20
PROJECT # 14-
PHASE 1
DRAWN BY
CHECKED BY

UTILITY PLAN

C400



1. NET TAP EXISTING 16" DIP WATERMAIN AND INSTALL NEW 6" DIP FIRE SERVICE AND POST INDICATOR VALVE. SEE DETAIL 6/C500.
2. EXISTING 2" COPPER WATER SERVICE PER ORIGINAL BUILDING PLANS, FIELD VERIFY EXACT LOCATION AND SIZE. EXISTING 2" SERVICE TO BE USED FOR DOMESTIC WATER SUPPLY. SEE MECHANICAL.
3. REMOVE EXISTING 4" SANITARY SERVICE AND INSTALL NEW 6" PVC SANITARY SERVICE
4. EXISTING 8" PVC INV = 872.77, NEW 6" PVC INV = 872.86
5. INSTALL 55 LF 6" PVC SDR-26 SANITARY SEWER AT 1.20%
6. NEW 6" PVC SANITARY INV = 873.52. COORDINATE EXACT LOCATION AND INVERT WITH MECHANICAL
7. INSTALL ATRIUM DRAIN IN WINDOW WELL. RM = 878.5, INV = 877.00, SEE DETAIL 8/C600
8. INSTALL 29 LF 8" PVC STORM SEWER AT 1.00%
9. INSTALL ATRIUM DRAIN IN WINDOW WELL. RM = 878.5, INV = 876.71, SEE DETAIL 9/C600
10. INSTALL 12 LF 8" PVC STORM SEWER AT 1.00%
11. INSTALL 24" DIAMETER NYLOPLAST DRAIN BASIN WITH SOLID LID. RM = 884.2, INV = 876.59, SLUMP = 873.55. SEE SHEET C602.
12. INSTALL 49 LF 8" PVC STORM SEWER AT 1.00%
13. INSTALL 24" DIAMETER NYLOPLAST DRAIN BASIN WITH SOLID LID. RM = 883.3, INV = 876.10, SLUMP = 873.10. SEE SHEET C602.
14. INSTALL 39 LF 8" PVC STORM SEWER AT 1.00%. DONE OR JACK PIPE UNDER BRICK SIDEWALK, EXISTING SIDEWALK TO REMAIN OPEN DURING CONSTRUCTION.
15. CORE DRILL NEW NORTH INVERT INTO EXISTING CATCH BASIN. INV = 875.80.

PRELIMINARY
NOT FOR CONSTRUCTION

NORTH
1
UTILITY PLAN
C400
0 20' 40' 60'

11/02 & 11/03



661 NORTH THIRD STREET, SUITE 1
MINNEAPOLIS, MN 55401
812.435.5180

CONSULTANT
**PIERCE PINI &
ASSOCIATES**
300 CENTRAL AVENUE, SUITE 200
MINNEAPOLIS, MN 55401
TEL: 612.337.1111
WWW.PIERCEPINI.COM

PRELIMINARY
NOT FOR
CONSTRUCTION

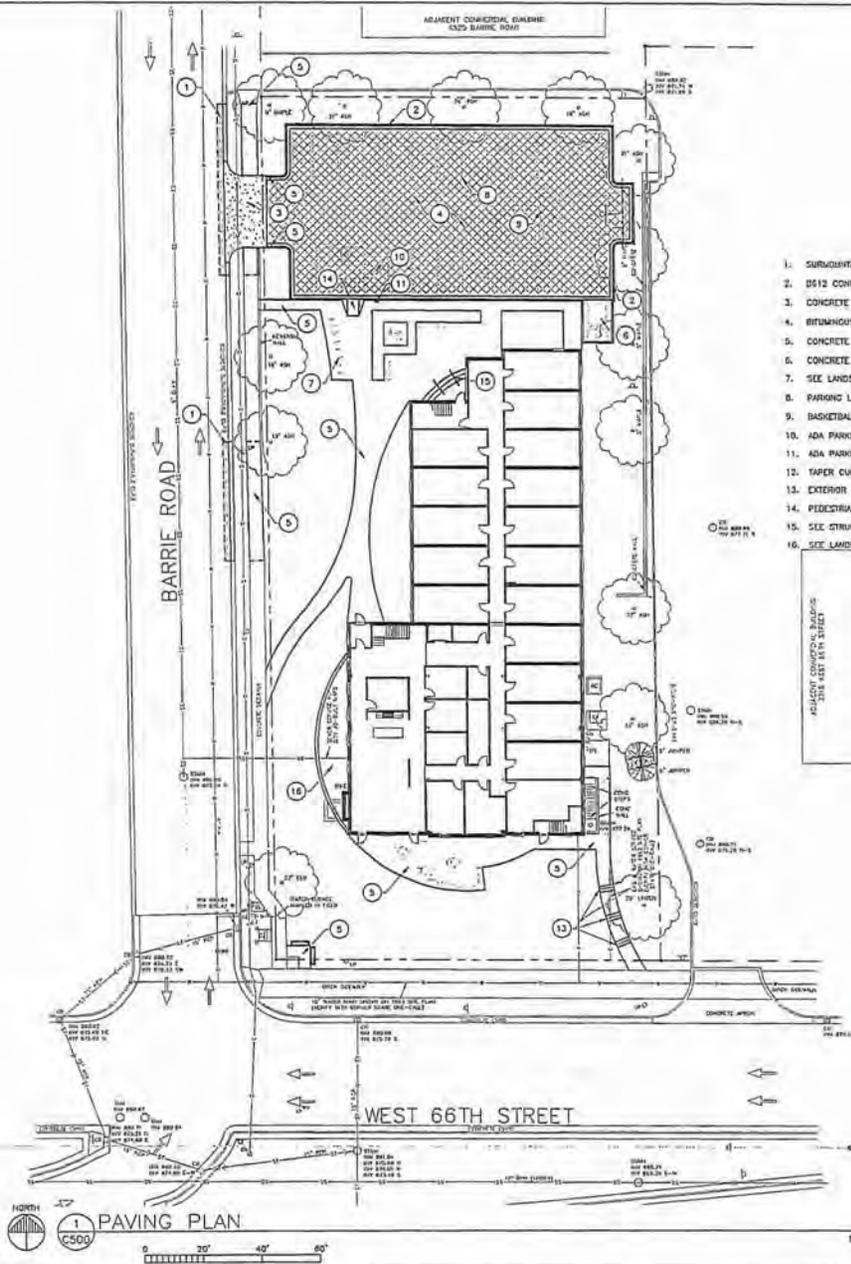
REVISIONS
Date Description

A24

DATE PROJECT # SHEET #
PHASE 14
DRAWN BY
CHECKED BY

PAVING PLAN

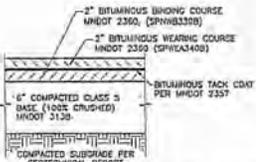
C500



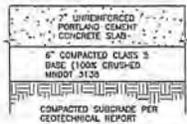
**PRELIMINARY
NOT FOR CONSTRUCTION**

REVISIONS
Date Description

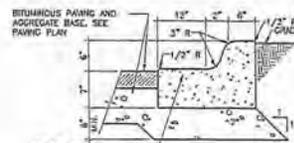
JUN 20 2014



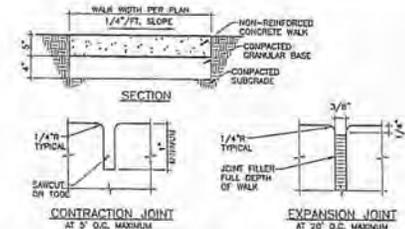
1 BITUMINOUS PAVEMENT DETAIL
C601 NO SCALE



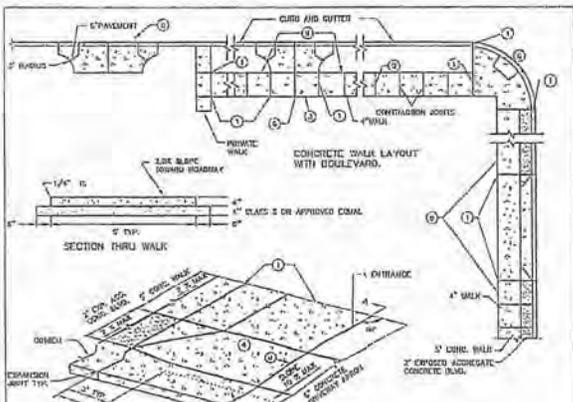
2 CONCRETE PAVEMENT
C601 NO SCALE



3 CONCRETE CURB & GUTTER (B612)
C601 NO SCALE



4 CONCRETE WALK & JOINT DETAILS
C601 NO SCALE

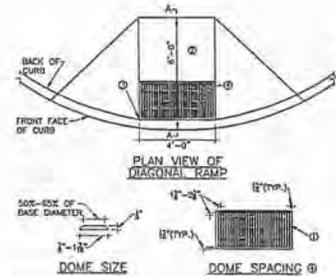


CONCRETE DRIVEWAY APRON AND CONCRETE WALK

NOTES:
 1. SEE PLAN FOR PLACEMENT OF WALK AND WALKING SURFACE FOR CONCRETE DRIVEWAYS.
 2. 1/2" EXPANDED JOINT, 1/2" PERFORMED JOINT FILLER MATERIAL, ASHTO M 213 (INDOT 2309) IS TO BE USED FOR ALL CONCRETE DRIVEWAY APRONS AND DRIVEWAYS.
 3. 1/2" EXPANDED JOINTS AT 100 FT. TYP. (APPROX.) THROUGH DRIVEWAYS.
 4. MATCH EXISTING DRIVEWAY FINISHES (4" MIN. OR COURTER) OF CURB OR GUTTER.
 5. WITH SIDEWALK, 6" CURBING PLACED TO THE BACK OF SIDEWALK IS PAID FOR AS 6" CONCRETE DRIVEWAY PAVEMENT.
 6. SEE INDOT STANDARD PLAN 7030 FOR PFD ROAD EXTEND SEE PLAN FOR PLACEMENT.
 7. JOIN CONSTRUCTION JOINT AS REFERRED TO DRIVEWAY APPROXIMATELY SQUARE PARTS (WALK AREA) OF 48 INCHES.
 8. 6X6 STD. PLATE FOR CONCRETE DRIVEWAYS.
 9. 10X REINFORCED APRON, STREET MUST BE SAVED 10" MIN. OFF FROM NEW APRON AND FINISHED WITH A FLAT ROAD FINISHING TEXTURE.
 10. THE FIRST PANEL OF SIDEWALK ON EACH SIDE OF ANY DRIVEWAY SHALL BE 6" SQUARE FINISHING.
 11. BIT FINISHES SHALL HAVE 3" OF CLASS 3 BASE AND BE PLACED IN TWO 2" LIFTS.

APRON CONSTRUCTION JOINTS SHALL BE TROWELED AND MATCH EXISTING DRIVEWAY PATTERN. OTHER CONCRETE CONSTRUCTION JOINTS SHALL MATCH THE EXISTING DRIVEWAY JOINT PATTERN AND STYLE.

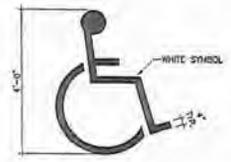
5 CONCRETE DRIVEWAY APRON
C601 NO SCALE



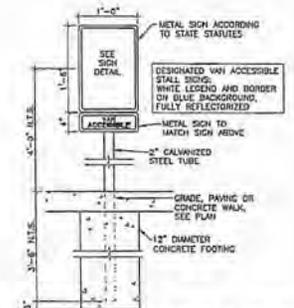
6 PEDESTRIAN CURB RAMP
C601 NO SCALE

NOTE:
 TO COMPLY WITH THE AMERICAN DISABILITIES ACT (ADA), ALL STATE AND LOCAL AGENCIES ARE REQUIRED TO COMPLY WITH THIS STANDARD PLAN.

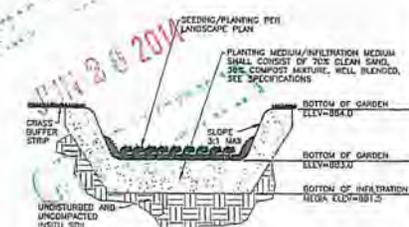
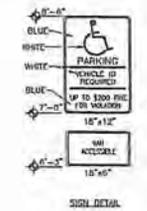
- 1/2" INCH PERFORMED JOINT FILLER MATERIAL, ASHTO M 213.
- WHEN POSSIBLE, PROVIDE A CLEAR PATH OF TRAVEL. 4'-0" WIDE BEHIND THE PEDESTRIAN RAMP. A RELATIVELY FLAT 4' X 4' WALL ALLOW WHEELCHAIRS TO MANEUVER AROUND THE PEDESTRIAN RAMP. NO SIGNALS, SIGNS, CABINETS, OR OTHER OBSTRUCTIONS ARE ALLOWED IN THE RAMP OR PATH OF TRAVEL.
- PLACE THE DETECTABLE WARNING (TRUNCATED DOME) AT THE BACK OF CURB. WHEN THE DETECTABLE SHALL BE HAND FORMED TO FILL THE GAP.
- ADA REQUIRED TRUNCATED DOME AREA SHALL BE 2'-0" MIN. IN DIRECTION OF TRAVEL AND SHALL CONTRAST VISUALLY WITH THE ADJACENT WALKING SURFACE. THE ENTIRE TRUNCATED DOME AREA SHALL BE A LIGHT (GRAY OR BUFF) COLOR WHEN THE ADJACENT SIDEWALK IS A DARK COLOR (RED OR DARK GRAY) WHEN THE ADJACENT SIDEWALK IS A LIGHT GRAY CEMENT COLOR.



7 HC PARKING SYMBOL
C601 NO SCALE



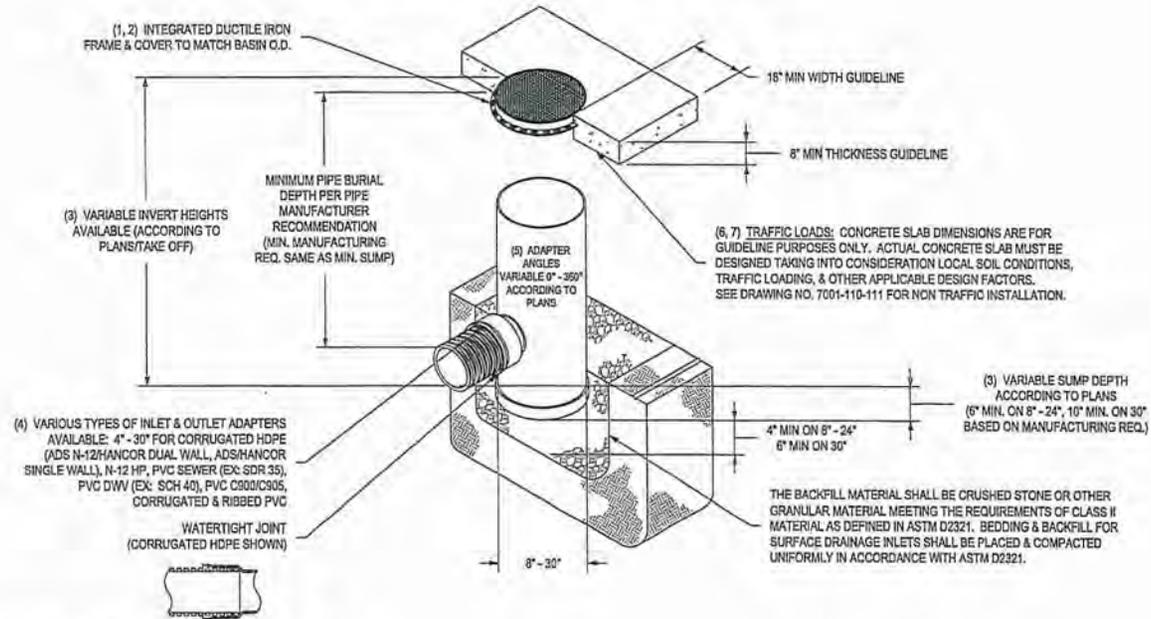
8 ACCESSIBLE PARKING SIGN DETAIL
C601 NO SCALE



9 RAIN GARDEN
C601 NO SCALE

	CITY OF EDINA ENGINEERING & PUBLIC WORKS DEPTS.	REVISED: 04-09
	CONCRETE DRIVEWAY APRON AND CONCRETE WALK 	STANDARD PLATE 410

NYLOPLAST DRAIN BASIN WITH SOLID COVER



- 1 - 8" - 30" SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 79-50-02.
- 2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 79-50-02.
- 3 - 18" & 24" SOLID COVERS FIT DIRECTLY ONTO DRAIN BASINS WITH THE USE OF A PVC BODY TOP, SEE DRAWING NO. 7001-110-045.
- 4 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-095.
- 5 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, N-12 HP, & PVC SEWER (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC).
- 6 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 350°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 7 - 12" - 30" SOLID COVERS SHALL MEET H-20 LOAD RATING.
- 8 - 8" & 10" SOLID COVERS ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY; NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DRAWN BY	EGC	MATERIAL	
DATE	5-14-07	PROJECT NO./NAME	
REVISED BY	EGC	TITLE	
DATE	5-14-10	DRAIN BASIN WITH SOLID COVER	
DWG SIZE	A	SCALE	1:40 SHEET 1 OF 1
		DWG NO.	7001-110-299 REV B

Nyloplast
 3150 VERONA AVE
 BUFORD, GA 30515
 PHN (770) 932-2443
 FAX (770) 932-2450
 www.nyloplast-usa.com

APR 20 2014
 CIVIL ENGINEER

PRELIMINARY
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WE NORTH THIRD STREET, SUITE 1
 MINNEAPOLIS, MN 55412
 612.683.2180

CONSULTANT
PIERCE PINI & ASSOCIATES
 1000 W. WASHINGTON ST.
 SUITE 200
 MINNEAPOLIS, MN 55401

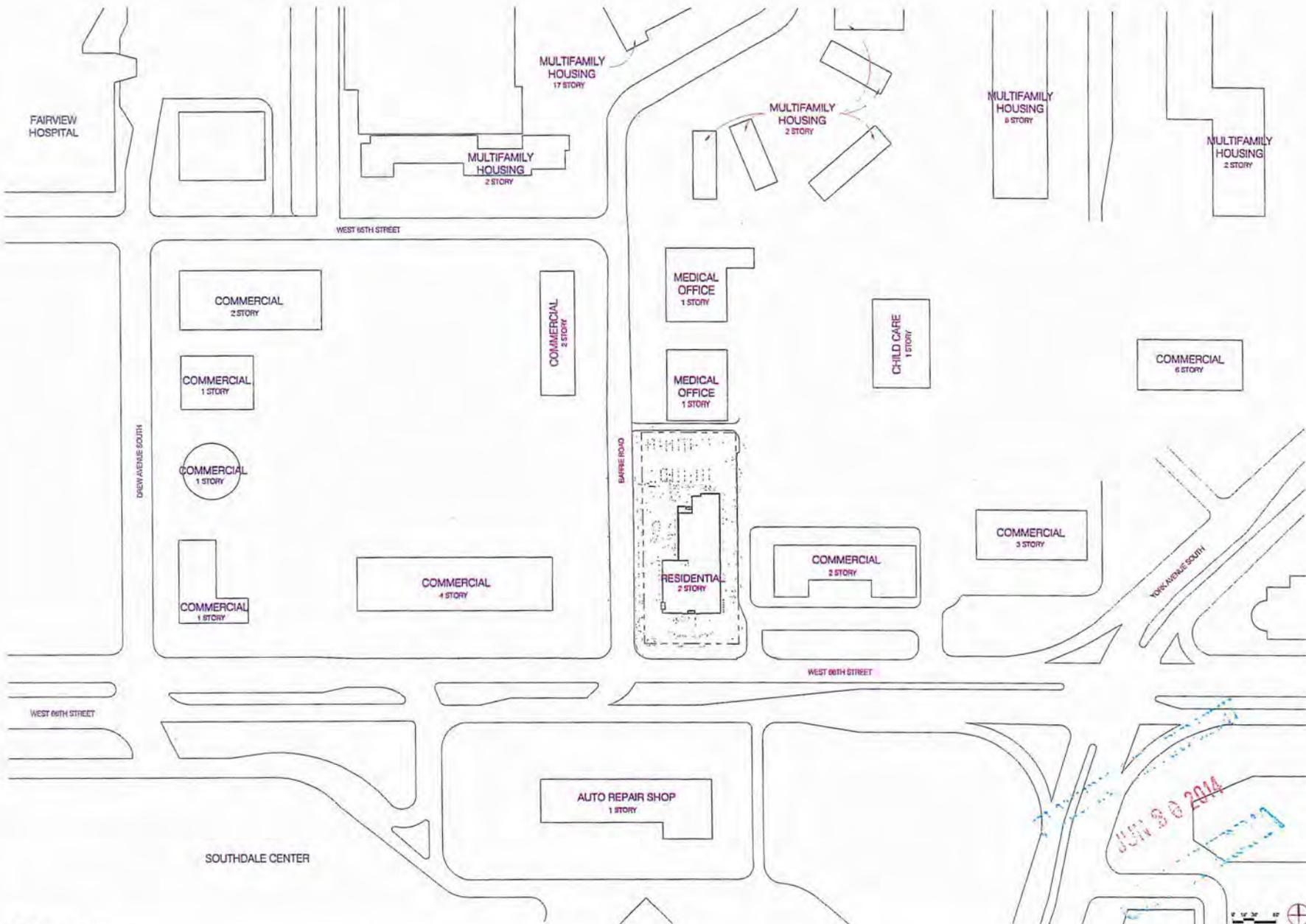
PRELIMINARY
 NOT FOR CONSTRUCTION

REVISIONS
 2 Date Description

DATE ISSUED 14-
 PROJECT # 14-
 PHASE 1
 DRAWN BY
 CHECKED BY

CIVIL DETAILS

C602



66 West Apartments
3330 66th St. West, Edina



201 NORTH THIRD STREET, SUITE 1
MINNEAPOLIS, MN 55401
612.455.3100

CONSULTANT

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS
Date Description

A32

DATE 06.19.21
PROJECT # 14-01
PHASE SITE PLAN REV
DRAWN BY
CHECKED BY

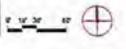
AREA SITE PLAN

LA00C

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1 AREA SITE PLAN
LA00C 1" = 60'

JUN 30 2014



L-300
PLANTING SCHEDULE

NO.	PLANTING	QUANTITY	DATE
1	STANDARD PLANTING MIXTURE	100	10/15/14
2	STANDARD PLANTING MIXTURE	100	10/15/14
3	STANDARD PLANTING MIXTURE	100	10/15/14
4	STANDARD PLANTING MIXTURE	100	10/15/14
5	STANDARD PLANTING MIXTURE	100	10/15/14
6	STANDARD PLANTING MIXTURE	100	10/15/14
7	STANDARD PLANTING MIXTURE	100	10/15/14
8	STANDARD PLANTING MIXTURE	100	10/15/14
9	STANDARD PLANTING MIXTURE	100	10/15/14
10	STANDARD PLANTING MIXTURE	100	10/15/14
11	STANDARD PLANTING MIXTURE	100	10/15/14
12	STANDARD PLANTING MIXTURE	100	10/15/14
13	STANDARD PLANTING MIXTURE	100	10/15/14
14	STANDARD PLANTING MIXTURE	100	10/15/14
15	STANDARD PLANTING MIXTURE	100	10/15/14
16	STANDARD PLANTING MIXTURE	100	10/15/14
17	STANDARD PLANTING MIXTURE	100	10/15/14
18	STANDARD PLANTING MIXTURE	100	10/15/14
19	STANDARD PLANTING MIXTURE	100	10/15/14
20	STANDARD PLANTING MIXTURE	100	10/15/14

GENERAL NOTES

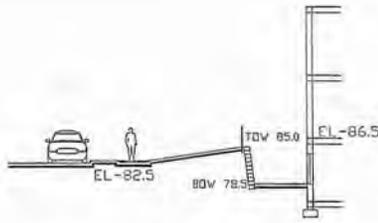
1. THESE ARE THE PROPOSED PLANTINGS PRIOR TO PLANTING PER REVIEW BY LANDSCAPE ARCHITECT.

2. ALL PLANTING MATERIALS SHALL BE USED BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY.

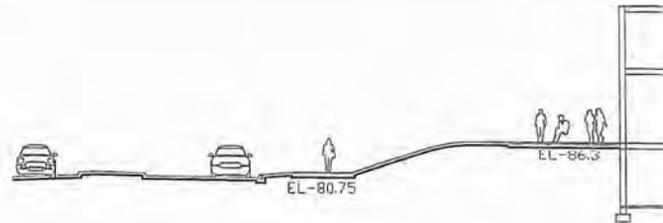
3. ALL PLANTING MATERIALS SHALL BE DELIVERED TO THE SITE IN FULL COMPLIANCE WITH THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY.

4. ALL PLANTING MATERIALS SHALL BE DELIVERED TO THE SITE IN FULL COMPLIANCE WITH THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY.

5. ALL PLANTING MATERIALS SHALL BE DELIVERED TO THE SITE IN FULL COMPLIANCE WITH THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF AGRICULTURE AND FORESTRY.



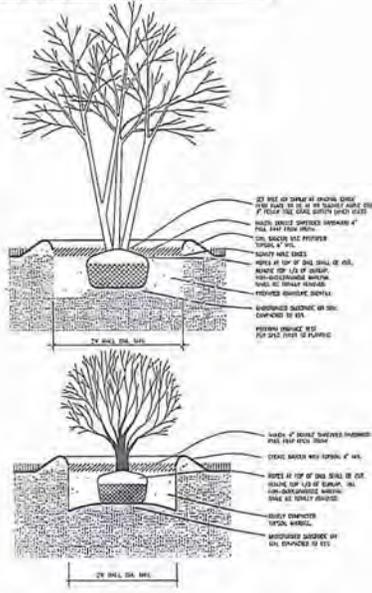
SECTION AT WEST WINDOW WELL



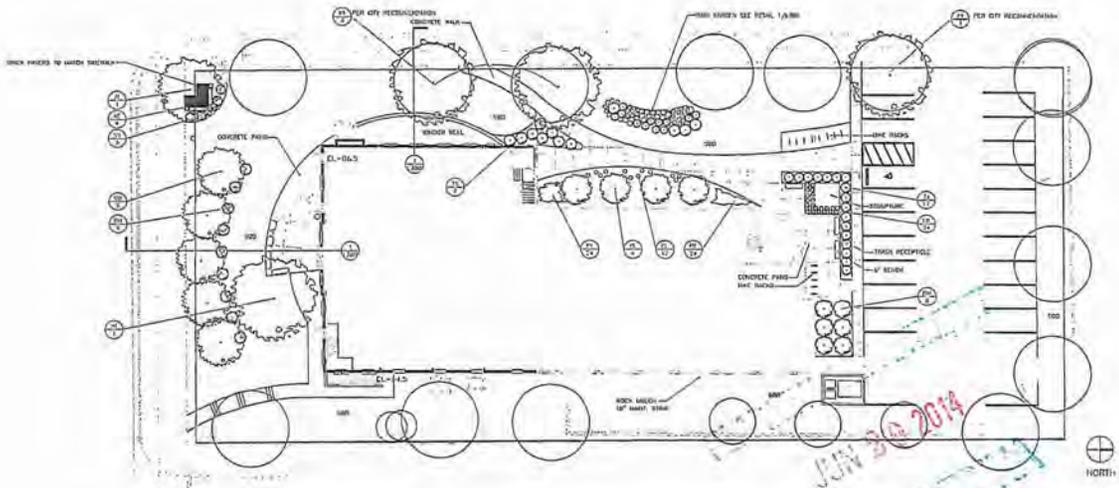
SECTION AT SOUTH PATIO TO CITY SIDEWALK

1 LANDSCAPE SECTIONS
1" = 10'-0"

3 PLANTING NOTES AND SCHEDULE
1/8" = 1'-0"



4 PLANTING DETAILS
1/8" = 1'-0"



2 LANDSCAPE PLAN
1" = 20'-0"

66 West Apartments
3332 68th St. West, Englewood, CO

URBAN
ARCHITECTURE
301 NORTH THIRD STREET, SUITE 145
MINNEAPOLIS, MN 55401
612.451.3100
CONSULTANT
Studio
Green
LANDSCAPE ARCHITECTURE

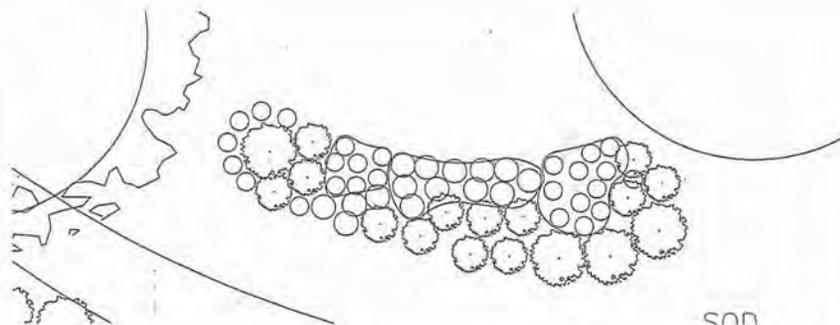
REVISIONS
Date Description
A34
DATE 06.16.2014
PROJECT # 14-0016
PHASE SITE PLAN REVIEW
DRAWN BY 85
CHECKED BY 85

PLANTING/SITE PLAN
L300

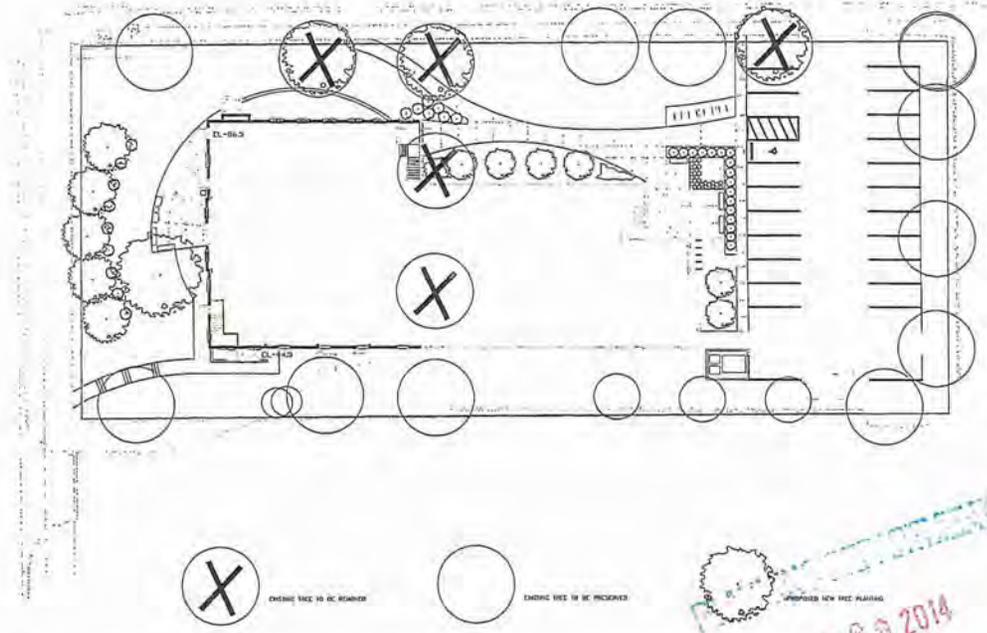
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L-301
RAIN GARDEN (SHADE) PLANTING SCHEDULE

NO.	SYM.	PLANT	QTY	REMARKS
1	○	STURGEON & GORDON MAPLE	1	
2	○	DOUGLASS PINE	1	
3	○	SPRING GREEN	1	
4	○	DOUGLASS PINE	1	
5	○	DOUGLASS PINE	1	
6	○	DOUGLASS PINE	1	
7	○	DOUGLASS PINE	1	
8	○	DOUGLASS PINE	1	
9	○	DOUGLASS PINE	1	
10	○	DOUGLASS PINE	1	
11	○	DOUGLASS PINE	1	
12	○	DOUGLASS PINE	1	
13	○	DOUGLASS PINE	1	
14	○	DOUGLASS PINE	1	
15	○	DOUGLASS PINE	1	
16	○	DOUGLASS PINE	1	
17	○	DOUGLASS PINE	1	
18	○	DOUGLASS PINE	1	
19	○	DOUGLASS PINE	1	
20	○	DOUGLASS PINE	1	
21	○	DOUGLASS PINE	1	
22	○	DOUGLASS PINE	1	
23	○	DOUGLASS PINE	1	
24	○	DOUGLASS PINE	1	
25	○	DOUGLASS PINE	1	
26	○	DOUGLASS PINE	1	
27	○	DOUGLASS PINE	1	
28	○	DOUGLASS PINE	1	
29	○	DOUGLASS PINE	1	
30	○	DOUGLASS PINE	1	
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93	○	DOUGLASS PINE	1	
94	○	DOUGLASS PINE	1	
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97	○	DOUGLASS PINE	1	
98	○	DOUGLASS PINE	1	
99	○	DOUGLASS PINE	1	
100	○	DOUGLASS PINE	1	



1 RAIN GARDEN PLANTING DETAIL
1" = 10'-0"



2 REMOVALS/PRESERVATION PLAN
1" = 20'-0"

66 West
Apartments
3330 66th St. West, Edina



901 NORTH THIRD STREET, SUITE 140
MINNEAPOLIS, MN 55401
612.461.2100



A35

REVISIONS

#	Date	Description

DATE	06.16.2014
PROJECT #	14-022
PHASE	SITE PLAN REVIEW
DRAWN BY	SD
CHECKED BY	SD

PLANT REMOVAL/
PRESERVATION
PLAN

L301

66 West
Apartments
3330 66th St. West, Edina



551 NORTH THIRD STREET, SUITE
MINNEAPOLIS, MN 55401
612.653.2100

CONSULTANT

PRELIMINARY
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CONSTRUCTION

REVISIONS
Date Description

DATE 06.19.14
PROJECT # 14-02
PHASE SITE PLAN REV
DRAWN BY
CHECKED BY

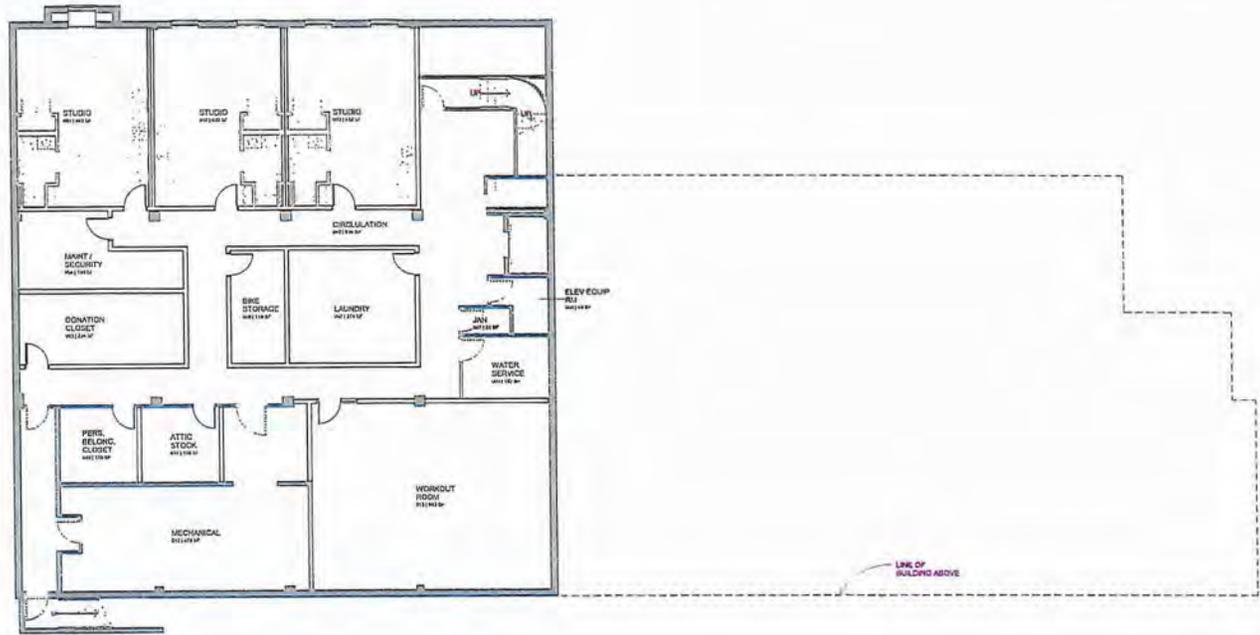
SUBLEVEL
PLAN

A001

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GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT INTERIOR WALLS ARE TO CENTERLINE OF WALL
3. DIMENSIONS AT UNIT CENTERING ARE TO CENTERLINE OF WALLS
4. EXTEND ALL CHAMFER TO UNDERSIDE OF ROOF SHEATHING ON TOP OF ROOF PENETRATIONS UNLESS OTHERWISE NOTED
5. ALL RESIDENTIAL DEMANDING WALLS ARE TYPE VI, V5A, AND V6 (4" FIRE RATING, WITH ACoustIC RATING)
6. ALL RESIDENTIAL CORRIDOR WALLS ARE TYPE W6, L1 (1 1/2" FIRE RATING, WITH ACoustIC RATING - UNLESS OTHERWISE NOTED)
7. ALL LIGHTS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED
8. MAINTAIN 8'-0" MIN. AND 8'-6" MIN. CLEAR HEIGHT AT PARKING AREAS INDICATED ON PLAN. ALL OTHER PARKING AREAS SHALL PROVIDE 7'-0" MIN. CLEAR HEIGHT
9. DIMENSIONS UNLESS SPECIFIED TO FACE OF CMU



A36

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JUN 20 2014
CITY OF EDINA

137



601 NORTH THIRD STREET, SUITE 300
MINNEAPOLIS, MN 55401
WE452300

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REVISIONS
Desc Description

DATE 06.19.21
PROJECT # 14-06
PHASE SITE PLAN REV

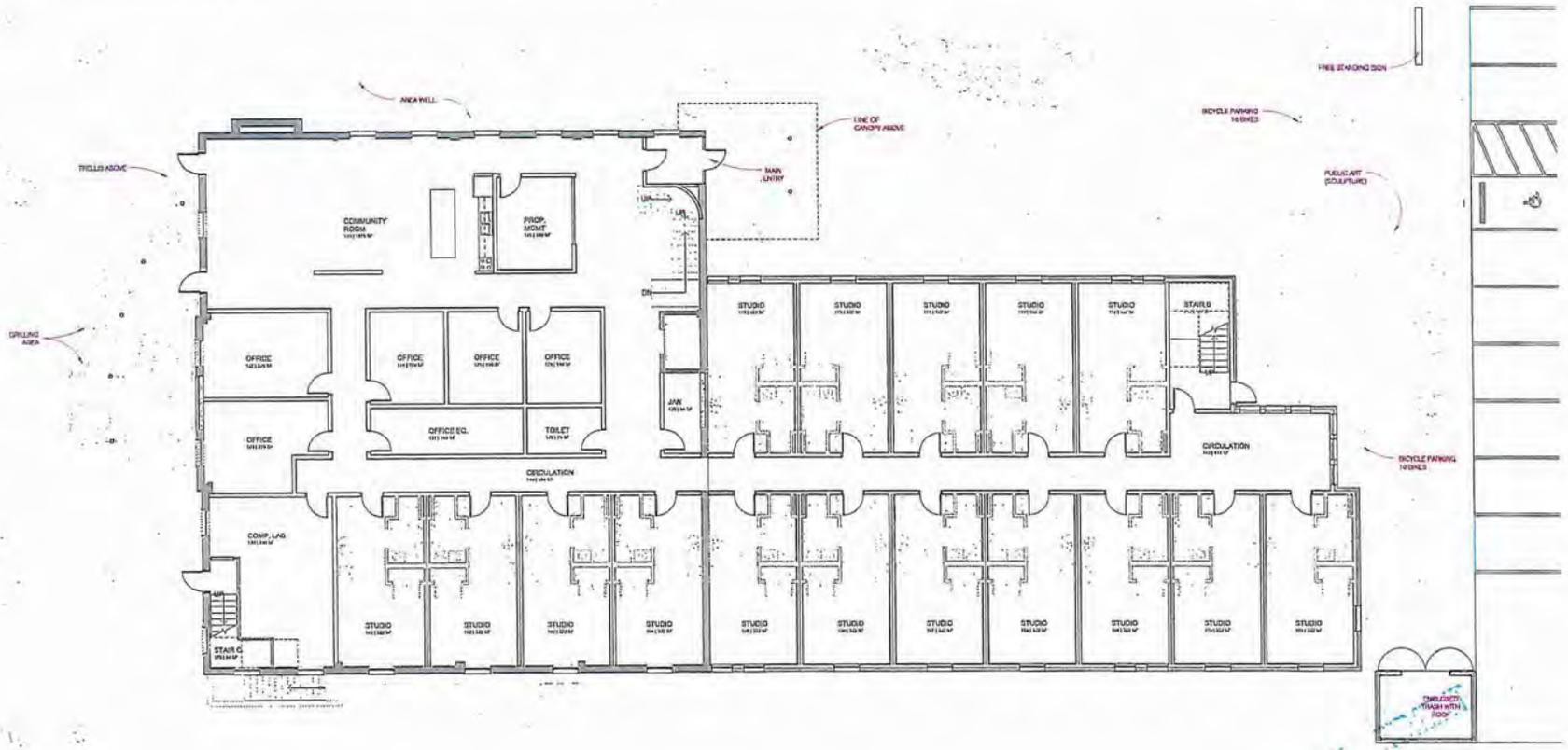
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CHECKED BY

LEVEL 1 PLAN

A101

GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT INTERIOR WALLS ARE TO CENTERLINE OF WALL
3. DIMENSIONS AT UNIT DIVIDERS ARE TO CENTERLINE OF WALLS
4. EXTEND ALL SHIFTS TO UNDERSIDE OF ROOF SHEATHING ON TOP OF ROOF PENETRATIONS WHERE APPLICABLE
5. ALL RESIDENTIAL DIVISION WALLS ARE TYPE VI, V5A, AND V6 PER THE REQUIREMENTS WITH ACOUSTIC RATING
6. ALL RESIDENTIAL DIVISION WALLS ARE TYPE III, V5A, AND V6 PER THE REQUIREMENTS WITH ACOUSTIC RATING - UNLESS OTHERWISE NOTED
7. ALL UNITS ARE TYPE II ACCESSIBLE UNLESS OTHERWISE NOTED
8. MAXIMUM CLEAR HEIGHT OF ALL CLEAR HEIGHT ACCESSIBLE AREAS INDICATED ON THIS PLAN. ALL OTHER PARKING AREAS SHALL PROVIDE 7'-0" MIN. CLEAR HEIGHT
9. DIMENSIONS TO CURB ARE TO FACE OF CURB



REVISIONS
JUN 5 2014
COURTESY

A32



634 NORTH THIRD STREET, SUITE 7
MINNEAPOLIS, MN 55415

#12.45.2008

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REVISIONS
Date Description

DATE: 06.02.14
PROJECT #: 14-01
PHASE: SITE PLAN REV
DRAWN BY:
CHECKED BY:

LEVEL 2 PLAN

A102

GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT INTERIOR WALLS ARE TO CENTERLINE OF WALL
3. DIMENSIONS AT UNIT DEBASING ARE TO CENTERLINE OF WALLS
4. EXTEND ALL SHIFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
5. ALL RESIDENTIAL STUDIOS ARE TYPE VS, VSA, AND VS (SEE TYPE DATUMS WITH ACoustIC RATING)
6. ALL RESIDENTIAL CORRIDOR WALLS ARE TYPE WR, 1 1/2" FIVE STRIPS, WITH ACOUSTIC RATING - UNLESS OTHERWISE NOTED
7. ALL UNITS ARE TYPE B UNLESS OTHERWISE NOTED
8. MINIMUM 8" MIN. AND 8" MAX. CLEAR HEIGHT AT FINISH FLOOR INDICATED ON PLANS. ALL OTHERS FLOORING SHALL PROVIDE 7'0" MIN. CLEAR HEIGHT
9. DIMENSIONS @ OAU ARE TO FACE OF OAU



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Date Description

DATE: 06.02.14
PROJECT #: 14-01
PHASE: SITE PLAN REV
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LEVEL 2 PLAN

A102

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MINNEAPOLIS, MN 55401

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REVISIONS
Date Description

DATE 06.18.13
PROJECT # 14-02
PHASE SITE PLAN REV9

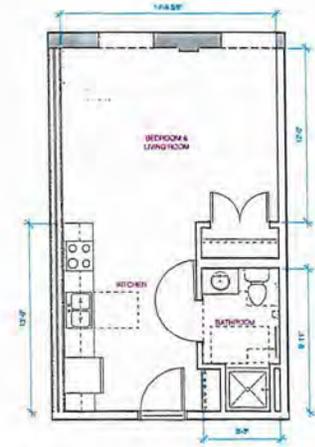
DRAWN BY
CHECKED BY

ENLARGED
UNIT PLANS

A151

GENERAL NOTES:

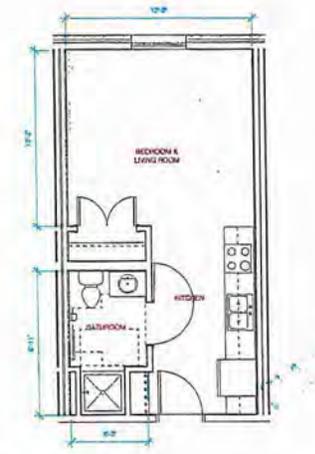
1. REFER TO RFP FOR TYPICAL "ACCESSIBLE" CODES AND CLEARANCES REQUIRED
2. INSTALL GYM BAY BLOCKING AT ALL UNITS REFER TO SHEET RMB FOR DETAILS
3. REFER UNITS ALL WALLS ARE 1/2" MINIMUM UNLESS NOTED OTHERWISE
4. FINIC DETECTOR LOCATED IN WALL (REFER TO MFG WALL FOR DETAIL)
5. NO PENETRATIONS OR OPENINGS ALLOWED IN SHIRT WALLS
6. PROVIDE FLOORING AND BASE AT REFRIGERATION AND RANGE LOCATIONS
7. CRYSTAL BOND SCOFF AT 8" IF APPLICABLE NOTED OTHERWISE
8. PROVIDE NON-COMBUSTIBLE MATERIALS IN PICTURE PLACES (WALLS AND SCOFF)
9. REFER TO RFP FOR ALL MOUNTING HEIGHTS (LIGHT SWITCHES, OUTLETS, DISINFECTANTS, ENVIRONMENTAL CONTROLS, KEYPADS, ETC.). NOTE REQUIRED MARKINGS FOR ACCESSIBLE AND TYPE 'X' UNITS
10. NOTE THAT BSE ELEVATIONS MAY BE PROVIDED; DIMENSIONS FROM FLOOR TO UNIT ELEVATIONS SHOWN; REFER TO ACTUAL UNIT PLANS FOR LOCATIONS
11. ADDITIONAL REGULATION IN WALLS AT BATHROOM, LAUNDRY, BEDROOMS AND IN ANY FURNISH WALL UNIT IS ADJACENT TO A DUCT FEEDER OR MECHANICAL UNIT
12. DIMENSIONS AT PARTY WALLS ARE TO CENTERLINE, DIMENSIONS WITHIN UNITS ARE TO FACE OF WALLS UNLESS OTHERWISE NOTED



2 TYPE A UNIT
ASB1 1/4" = 1'-0"

TYPE 'A' UNIT NOTES:

1. PROVIDE BLOCKING FOR GYM BAYS IN ALL TYPE 'X' UNITS
2. PROVIDE AND INSTALL SHOWER OR TUSH-O-METER SEATS IN ALL TYPE 'X' UNITS
3. PROVIDE TOILET TANK FLUSH CONTROL ON SIDE AWAY FROM WALL, TYP.
4. AT ROLL-UNDER SINKS WITH FRONT APPROACH, INSULATE PIPES; OPTION TO RELOCATE SINK TAP IN AREA BEYOND REQUIRED KNS CLEARANCES
5. PROVIDE FLOORING AND BASE AT ROLL-UNDER SINKS
6. PROVIDE SWITCH FOR KITCHEN OR BAYNET IN FACE OF CABINET



1 TYPICAL UNIT
ASB1 1/4" = 1'-0"

KEYNOTES:

APPROVED FOR CONSTRUCTION
JUN 30 2014
C. J. [Signature]

A-40



501 NORTH THIRD STREET, SUITE 200
MINNEAPOLIS, MN 55401
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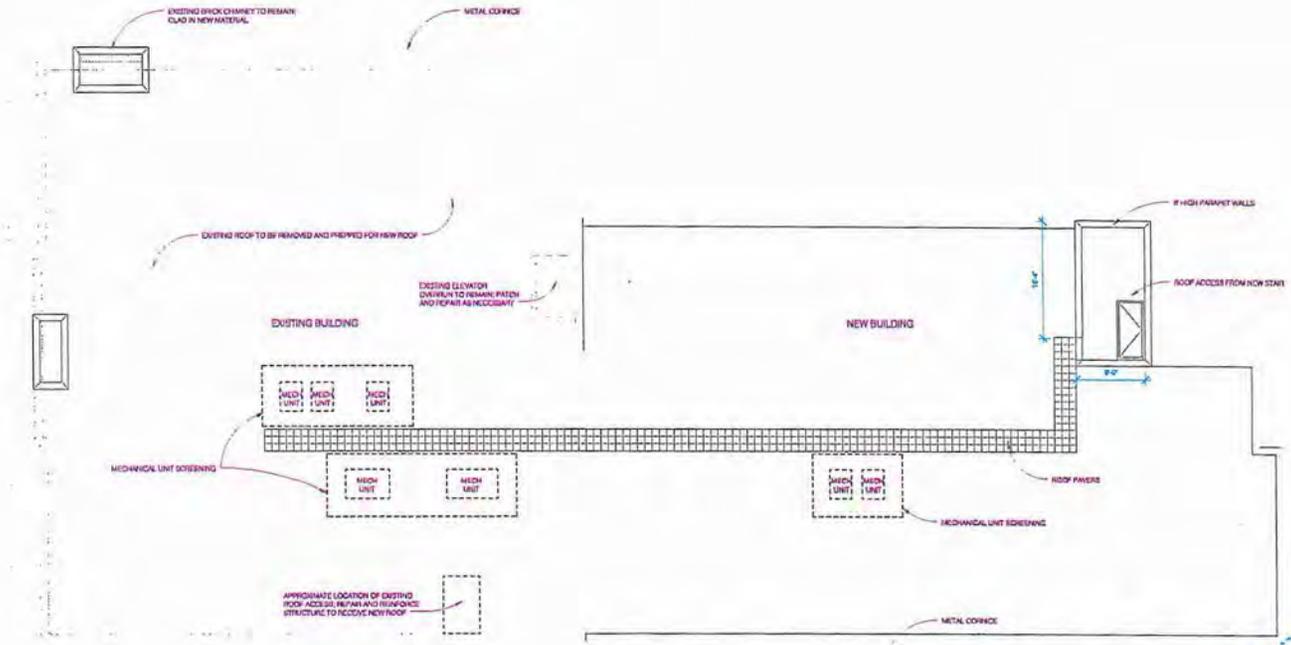
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REVISIONS
Date Description

DATE 06.10.20
PROJECT # 2449
PHASE SITE PLAN REV
DRAWN BY
CHECKED BY

ROOF PLAN

A201



PLANNING DEPARTMENT
JUN 30 2014
CITY OF EDINA



ALUMINUM TRELLIS



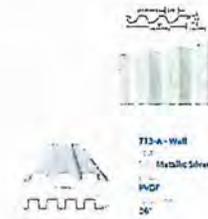
VINYL DOUBLEHUNG WINDOW



EXISTING BRICK



DARK BRICK



METAL PANEL - VERTICAL



METAL PANEL - HORIZONTAL



66 West
 Apartments
 3330 66th St. West, Edina

A47



301 NORTH THIRD STREET, SUITE 400
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REVISIONS
 # Date Description

DATE 06.18.21
 PROJECT # 24-01
 PHASE SITE PLAN R010

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 CHECKED BY

EXTERIOR
 BUILDING
 MATERIALS

A300

66 West
Apartments

3330 66th St. West, Edina

A42



901 NORTH THIRD STREET, SUITE 1
MINNEAPOLIS, MN 55401
912-453-2100

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Date Description

DATE 06.19.21
PROJECT # 1440
PHASE SITE PLAN REV
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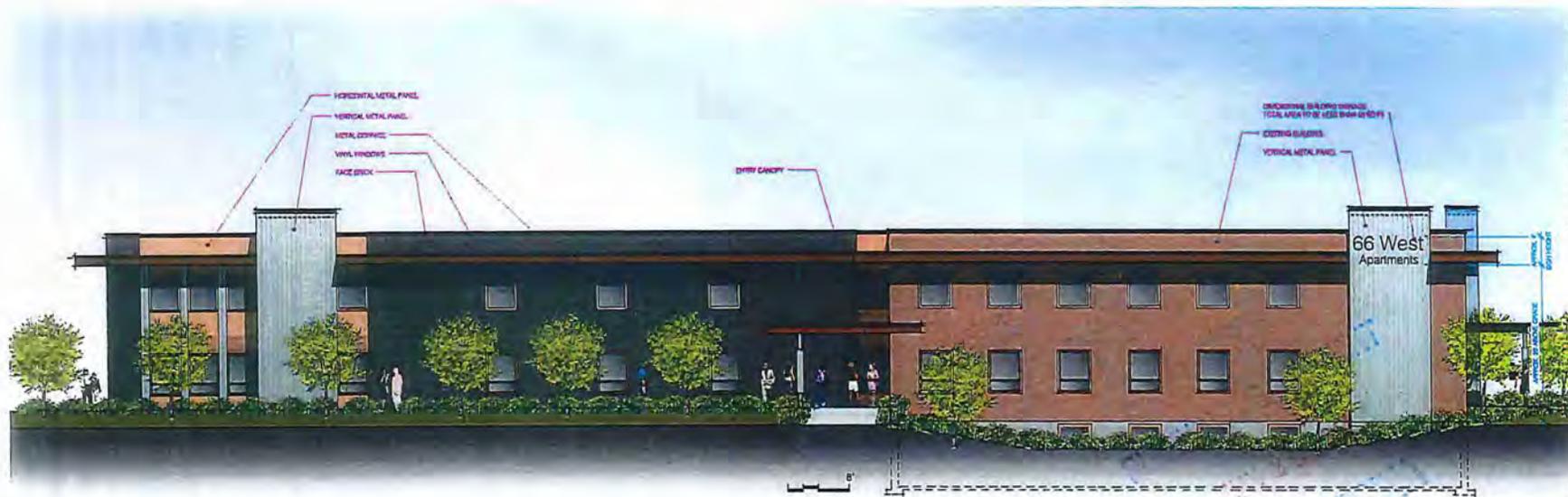
BUILDING
ELEVATIONS

A301

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2 SOUTH ELEVATION
AS21 12" = 1'-0"



1 WEST ELEVATION
AS21 12" = 1'-0"



2 NORTH ELEVATION
 ASS 12" = 1'-0"



1 EAST ELEVATION
 ASS 12" = 1'-0"

66 West
 Apartments
 3330 66th St. West, Edina

A43



901 NORTH THIRD STREET, SUITE 1
 MINNEAPOLIS, MN 55401
 612.483.3100

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REVISIONS
 # Date Description

DATE: 06.19.20
 PROJECT #: 14-0
 PHASE: SITE PLAN 000
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 CHECKED BY:

BUILDING
 ELEVATIONS

A302

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JUN 20 2014

66 West
Apartments
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A351



551 NORTH THIRD STREET, SUITE 1
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DATE 06.19.13
PROJECT # 14-02
PHASE SITE PLAN ADD
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BUILDING
PERSPECTIVE

A351

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1 BUILDING PERSPECTIVE FROM NORTH
A351 12 - 14P

10/13/2014

