



To: MAYOR AND COUNCIL

Agenda Item #: VI.A.

From: Cary Teague, Community Development Director

Action
Discussion
Information

Date: August 5, 2013

Subject:

PUBLIC HEARING – Comprehensive Guide Plan Amendment, Amendment to PUD Rezoning, Preliminary Development Plan, Aurora Investments, LLC, 6500 France Avenue and 4005 65th Street West, Res. No. 2013-61 and Res. No. 2013-62.

Action Requested:

Comprehensive Plan Amendment

Approve the request for a Comprehensive Plan Amendment to allow senior housing in the RMD and HDR District subject to the findings and conditions in Resolution No. 2013-61

Preliminary Rezoning to Amend the Planned Unit Development-3 District & Preliminary Development Plan

Approve the Preliminary Rezoning to amend the PUD-3 District, and approve the Preliminary Development Plan subject to the findings and conditions in Resolution No. 2013-62.

Planning Commission Recommendation: On July 10, 2013, 2013, a motion to recommend approval of the Comprehensive Plan Amendment and Preliminary Rezoning and Site Plan failed on a vote of 4-5. (See attached minutes.) The motion for approval included several conditions. Based on the comments and recommendations from the Planning Commission, the applicant has revised the proposed plans to address those concerns. (See revised plans date stamped July 26, 2013.)

Information/Background:

(Deadline for a City Council Decision – October 1, 2013)

The City Council is asked to consider a change to the proposal to redevelop the property at 6500 France Avenue. The previously approved plan for the site was a five-story, 62-foot tall, 102,478 square foot medical office/retail building with an attached 4-5 level parking ramp.

Mount Development and Aurora Investments, LLC are requesting consideration of a change in use to 111 units of senior assisted and independent living; 66 units of traditional care/skilled nursing and memory care beds and 18 care suites. The “care” suites would include short term stays by patients that have had surgery at Fairview Hospital or Twin City Orthopedic (TCO). The building would be similar in style from the previously approved building and still be five stories in height. A pedestrian skyway would connect the building to the hospital parking ramp to the north. The previously approved parking ramp would be removed and replaced with housing. The parking would be provided underground.

There would be a 15,000 square foot reduction in the structure footprint from the previous plan. (See applicant narrative and plans on pages A14–A62 of the Planning Commission staff report.)

To accommodate the request, an amendment to the Comprehensive Plan and an amendment PUD Zoning District would be required. The density of the development including all of the different types of units (195 total) would be 83 units per acre; which is a density higher than any development currently existing in Edina.

The site is guided in the Comprehensive Plan for “Regional Medical – RM.” Senior Housing is not an allowed use within the RM designation. Therefore, the proposed use requires a Comprehensive Guide Plan amendment. The applicant is requesting a Guide Plan amendment that would allow Senior Assisted Living Housing as a permitted use within the Regional Medical District. The transitional care units are already allowed in the RM District.

This development proposal is subject to a two-step review process. The first step in the process is to obtain the following approvals:

- A Comprehensive Plan Amendment to allow senior housing as a permitted use in the Regional Medical District. (This requires a four-fifths vote of the City Council for approval.)
- Preliminary Rezoning to amend the PUD, Planned Unit Development-3 Zoning District; and
- Preliminary Development Plan.

If the Comprehensive Plan Amendment, Preliminary Rezoning and Preliminary Development Plan are approved by the City Council, the following is required for the second step:

- Final Development Plan and Final Rezoning to amend the PUD-3 District.
- Zoning Ordinance Amendment establishing the PUD.

Based on the comments and recommendations from the Planning Commission, the applicant has revised the proposed plans, and are attached, date stamped March 25, 2013. A summary of those changes include:

- Chillers have been moved from the west side of the property near the loading area to the far northeast corner of the roof, and would be completely screened.
- The upper floor balconies have been adjusted to conform to the originally stated setbacks.
- Created a podium setback on the west side of the building and shifted the building 6 feet away from the west lot line. The 3rd, 4th & 5th floors would have a 58-foot setback, and the 1st and 2nd floors would have a 48-foot setback. The previous plan had a 42-foot setback for all floors.
- Attempted to create a more pedestrian friendly environment on France Avenue by relocating a coffee shop/bistro and moving the public art to the corner
- Added twelve large coniferous trees on the Cornelia Apartment site for additional landscaping.
- Moved the resident garage access to the north wing on the west side. (Was previously on the south wing.)
- Created a dock high access door and extended the memory garden slab over the truck dock. This would provide screening of the trucks during unloading.
- Agree to limit the hours of major deliveries to 9 am thru 4 pm.
- Created several service vehicle short-term parking on 65th at the front door for smaller truck deliveries. This would reduce the number of deliveries on the west side of the building.

- Added a third lane to the proposed west entrance on 65th.
- Agree to quantifiable benchmarks for sustainability. A pledge to attempt to achieve an 18% savings over baseline systems. (In comparison, Byerly's pledged to achieve a 10% savings.)
- Reduced the number of units from 197 to 195.
- Increase the affordable housing from 4 units to 10% of the assisted and independent units (11 units.)

ATTACHMENTS:

- Revised Plans and Narrative date stamped July 26, 2013
- Resolution No. 2013-61, Resolution No. 2013-62
- Draft minutes from the July 10, 2013 Edina Planning Commission meeting
- Planning Commission Staff Report, July 10, 2013
- Draft Ordinance Amendment

Aurora on France

6500 France Avenue South

Project Summary

July 26, 2013

Our development team is looking forward to working with the City of Edina to obtain the necessary approvals for the **Aurora on France** project. Everyone will strive to make this building an outstanding addition to this regional medical area.

Development Team

These professionals are local business owners that live and work in the community.

- Architect:** Edward Farr Architects, Ed Farr
- Civil Engineering:** Alliant Engineering, Mark Rausch
- Developer:** Mount Development Co., Stephen Michals
- Owner:** Aurora Investments, LLC, Luigi Bernardi
- Tenant/Operator:** Ebenezer, a division of Fairview Hospital, Susan Farr
Multiple senior care facilities locally, including York Gardens, Ebenezer Park Apartments, Ebenezer Senior Tower. They specialize in short-term specialty care facilities for seniors, offering non-hospital bed choices for their clients.

Please contact Stephen Michals with any questions on this new building - 952-941-1383.

Site Area = 102,965 sq ft / 2.34 acres

Property Guided per Comp. Guide Plan: RM Regional Medical, no change proposed

Property Zoned: POD-1, proposed to P.U.D.

Proposed Redevelopment: New Senior Care Building, 223,842 sq ft, 5 stories; plus one level of under-building parking.

Proposed Occupancy:

- Senior Citizen Dwelling Units (like Zone PSR-4):
 - Independent Living Units
 - Assisted Living Units
- Nursing, Convalescent, Rest Homes (like Zone PRD-5):
 - Transitional Care Suites
 - Memory Care Suites
 - Care Suites

Proposed Parking:

9 Surface Stalls + 129 Under-Building Stalls = 138 Stalls total.

Proposed Building Setbacks:

North	25' min / 50' max.
South	30' on east end / 20' on west end
East	25' at street level / 35' at podium level **
West	48' / 58'

History: We received approval of a 5 story medical office building and parking ramp in December, 2012 for this property. Aurora Investments has purchased both land parcels. Demolition has started by removing both the 6500 France Av structure, and the 4005 W. 65th St structure.

Overview: We have been approached by Ebenezer, a division of Fairview Hospital, to use this property for a Specialty Senior Care Housing Facility instead of medical offices. We feel that this new use is an improvement to our previously approved use in the following ways:

- 1) The entire block bordered by Valley View Rd on the west, France Av on the east, W. 65th St on the north and W 66th St on the south will become all Housing, for consistency of uses on this block.
- 2) There will be substantially less traffic generated by this housing development versus the previously approved medical office use – 400 less cars parked on site!
- 3) There will be approx. 15,000 sq ft less 'roof area' on our building versus the previously approved medical office building and parking ramps roofs.
- 4) The cubic volume of building enclosure is approx. 25% less than our previously approved medical office building and parking ramp enclosed volume, reducing the visual mass of the structure.

Our application is to amend the Comprehensive Guide Plan to include Senior Care Housing as an approved use with in the Regional Medical District, and amend our PUD-3 Zoning to this new use.

Density Comparisons: At Sketch Plan review, we were asked to provide other examples of similar use and densities to justify our proposal. Typical planning metrics of Floor Area Ratio (F.A.R.) and Units per Acre are popular measures of density for commercial and multi-family buildings. However, those conventional metrics do not necessarily provide an accurate, or appropriate, measure of density when applied to Senior and Nursing Home housing. Nonetheless, please refer to the enclosed sheets labeled "Senior Housing Building Density Study" and "Apartment Building Density Study" for 11 examples of high density developments in the Minneapolis area that have F.A.R. and Unit per Acre values in excess of our request. Each of these buildings has parking under the building to preserve a pedestrian friendly, walkable area around the building.

One unique and important difference between Senior housing and traditional apartments is that the traditional apartment mix of 3 Bedroom, 2 Bedroom and 1 Bedroom units create a much larger structure with lower density numbers than Senior housing buildings that have smaller units and are rented by the bed in the care area. Our proposed Senior building has 195 units which many are 420 sf studios.

Another difference is that a large portion of our Senior housing residents are there for medical reasons that prevent them leaving the facility; and all of our residents are adults, not children. This reduces their demand on regional amenities such as roadways, retail, playgrounds and other public open spaces. Specifically, our proposed building requires only 138 parking stalls per zoning code; and the daily turnover trips by our residents are very low. Our previous Medical Office Building required 548 parking stalls per zoning code, with each stall turning over multiple times per day. So the net impact of our Senior housing use is less than one quarter of the vehicles per day generated by the Medical Office use. For comparison purposes only, had we provided surface parking for both uses, a 548 stall Medical Office parking lot size would create a very low F.A.R. whereas a 138 stall Senior Housing parking lot would create a higher F.A.R., solely on the basis of the number of parking stalls taking up more land area. Therefore, the logic to regulate our Senior housing use with an F.A.R. metric simply does not apply to our type of facility.

Fundamentally, the choice to conceal our parking lot below our building, versus creating a large open asphalt parking lot on grade, impacts the F.A.R. calculation the most. Our Floor Area Ratio is similar to other urban areas when we have all parking underground. We believe that the visual improvement of concealing our parking, as well as minimizing the heat island effect from all that black asphalt, adds to the overall positive visual impact of our project. The resulting urban area density is consistent with the City's vision for a more urban France Avenue corridor, where buildings are pulled forward to the front lot line. The proposed building still fits comfortably on the site; and offers seniors significant green space for outside activities.

A third difference is our unique adjacency and skyway connection to Fairview Southdale Hospital, allowing doctors and patients to reduce the number of vehicle trips between buildings, as well as reducing certain duplications of medical care facilities on site.

A special overlay district could be considered for Senior housing in the Regional Medical District.

Planning Concept: As per our earlier application, joining the two parcels (6500 France & 4005 W 65th St) offer many advantages to the site layout. We are still adopting an urban, pedestrian-friendly, streetscape along France Ave by bringing the building forward to the street; as well as incorporating a 'podium' design effect by setting the building back above 2nd floor to maintain a comfortably-scaled pedestrian experience. The streetscape includes over-story trees along the right-of-way, a 10 ft wide sidewalk and decorative planters that contain colorful plantings (annuals, perennials and low evergreen shrubs). Vehicular access is available at two driveways along 65th St W – one at the main entry / visitor drop off area; and a second for parking and delivery vehicles on the west side of our site.

The City is currently in process to update several intersections along France Avenue at 66th St, 69th St and 70th St. The City's consultant, WSB Associates, has provided the preliminary designs at those intersections for reference. Our proposed project has been refined to incorporate a consistent design in the southwest quadrant of the 65th St and France Avenue intersection including the addition of an oval shaped raised planter between two new relocated pedestrian ramps. The new ramp locations will be set at the end radius points of the curb and be perpendicular to either 65th St W or France Avenue. There are final traffic signal design details to be done by others that will need to be coordinated with the City Engineer and County regarding the existing traffic signal base, pedestrian crossing buttons and hand hole relocations, as needed.

Building Design: The building design will be an attractive façade using multiple colors of face brick, warm-toned architectural precast concrete wall panels with a variety of surface finishes, tinted bronze-tone Low-e glass in tan painted aluminum frames and a small amount of EIFS decorative cornice trim. Multiple façade planes, parapet projections and exterior balconies offer dimensional relief to the façade. The main entrance located off of W 65th St serves as a visitor drop-off area for residents, and features a covered drop-off canopy for weather protection. The NE building corner at France Ave and W 65th St still has its distinctive glazed crown, backlit at night, to provide a regional point of identity for the building. It has been raised to enclose our HVAC cooling tower, providing a more prominent corner feature. The corner plaza area will offer outdoor seating, as well as a public art piece, and also coordinates with the City's initiative to upgrade the pedestrian experience at these corners. The plaza will have decorative concrete surfacing treatment, planting areas and bollards behind the curb.

Visual Screening for the Adjacent Properties: We will supplement the already mature landscape buffer between Point of France and our site with new trees and bushes along our south yard. The ash trees along this borderline with Point of France are approx. 35' – 50' tall, providing excellent screening for most months of the year.

On the west, facing Cornelia Place Apartments, we are employing significant screening strategies to our garage entrance and service area as follows:

- 1) Relocated auto entry and exit from SW corner to the NW corner of the building resulting in fewer cars passing by the apartments.
- 2) Recessed garage door to lower level back from façade 25' so it will be more visually screened.
- 3) Moved mechanical chillers from the loading area to minimize any noise for apartments.
- 4) Covered the loading dock area with a decorative plaza roof structure to mitigate any detrimental views into the loading area.

- 5) We are planting 12 evergreen trees on Cornelia Place Apartment's property to allow that property owner to strategically place these trees where they feel they are best used. In addition we will be landscaping the property line with a dense row of evergreen trees to provide an acoustical and visual buffer.
- 6) We will limit the hours of the loading dock use to daytime hours only.

Parking: There are 9 exterior surface stalls proposed – 6 at the main entrance drop-off, used primarily for short-term visitor parking, and 3 van stalls for deliveries. The remainder of the parking is under the building in an enclosed level that has security access control. Residents, employees and visitors can all access this under-building parking level; via an audio/video intercom system. Refer to the Parking Calculation page of our submittal for parking counts.

Service Court: Deliveries are quite infrequent for this building, estimated as follows:

- 1) Garbage & Recycling pick up - 3 times a week, max. Short trucks only.
- 2) Food Service deliveries - US Foods (2 times a week) and Bix 6 times a week. Periodically, they may add one delivery per week for special needs. We use short trucks only, not semi-truck sized so no backup alarms.
- 3) Medical and Linen Supply trucks – up to 3 times a week. Step van vehicles, typically.
- 4) Pharmaceutical deliveries - typically weekly, but we require daily when needed. Small vehicles only (car or van).
- 5) Resident Move-in / Move-outs – varies, but a 1 to 3 per week is average. Residents do not bring a lot of furniture, so these activities do not use large moving vans.

Sanitary Sewer and Watermain: The existing properties located at 4005 65th St. W. and 6500 France Ave So. are currently encumbered by two public utilities - an existing 12" ductile iron water main and 12" ductile iron sanitary sewer in the south quarter of the property. The existing water main and sanitary sewer referenced serve other properties and thus the continuity of those mains is required. There will be no disruption to the adjacent roadways.

The existing 12" sanitary sewer main along the southern property line of the 6500 France Ave property will remain as is. An existing 8" sanitary service line to the westerly 4005 building will be used to service the development at the west side of the proposed building.

The existing 12" water main loop cutting through the site will be relocated and re-routed to the south side of the property parallel to the sanitary sewer main. An 8" water service for the development is proposed from a tee off the re-routed 12". A new hydrant is proposed to service the south side of the building.

Stormwater Management: The proposed stormwater management storage facilities proposed for the Edina Medial Plaza project meets the requirements of Nine Mile Creek Watershed and the City of Edina. The three primary requirements that have been met are:

- 1) Volume retention onsite equivalent to 1" of runoff over the entire proposed site impervious surface. (Accomplished via a rain garden and infiltration via perforated piping and rock bedding).

- 2) Water quality volume from entire site equivalent to runoff from the 2" type II storm event and 25 year sediment storage. (Retention volume counts towards WQ volume and remainder accomplished via the rain garden and additional perforated piping and rock bedding).
- 3) Discharge rate control shall be provided so the proposed conditions do not exceed existing conditions for the 2, 10, and 100 yr. storm events. The proposed site plan reduces by 12.8% the amount of impervious surface and thus proposed discharge rates are decreased automatically.

The proposed plan is to maintain the same point of stormwater discharge from the properties as is currently present. A private storm sewer collection system will be routed from north to south through the western portion of the site collecting the majority of site runoff. The storm sewer will drain through a pretreatment device to the proposed underground storage system at the western end of the site which will ultimately outlet to the City pond south of the property. An agreement to construct the storm sewer discharge point to the City pond will be coordinated with the Point of France property owners. Storm water runoff from the south side of the building will sheet drain to a proposed rain garden. The rain garden will overflow to an existing 15" CMP culvert that currently serves the property.

Landscape Design Strategies: The landscape design provides a mix of over-story, coniferous and ornamental trees, shrubs and perennials to create a vibrant display of color and foliage. We will attempt to preserve the four existing Honey locust trees along France Avenue and seven of the boulevard Ash trees along West 65th Street. Raised curbed planters are to be provided along France Avenue that will be planted with colorful, annual and perennial flowers. Coordination will occur with City staff to provide landscaping along France Avenue that will be consistent with the work proposed by the City at other intersections. The perimeter of the building will be planted with a mixture of plant types to soften and compliment the building architecture. The building's service area and parking entrance will also be screened by existing and proposed conifers on the west and southwest side. The diversity of plantings will provide color variety and year round interest. In addition, the project is proposing to provide a green roof system on top, covering approximately 7,823 sf. This sustainable initiative will help reduce the heat island effect, reduce stormwater runoff quantity, as well as providing a nicer view down on our roof from the residents of Point of France building.

Noise Ordinance Compliance: We are proposing one outside air-cooled chiller for heat rejection, located under the halo crown feature on the NE corner of our roof. It will be visually screened, and not seen from the public way at all. An acoustical analysis will be performed and submitted to demonstrate compliance with zoning noise ordinance limits.

Site Lighting: Decorative wall mounted lighting along France Av and W 65th St frontages, and around the main entry area. Decorative city sidewalk light poles, as prescribed by City Engineering Dept., along the W 65th St and France Av sidewalks. Resident unit balcony wall lights will be low-wattage down lights to provide minimum level of illumination. The glazed crown feature at rooftop level at the corner of France Av and W 65th St will be backlit at night for a nice glow.

Site Signage: Building name / address at corner of France & W 65th St., and address above front entry. Directional signs at both entries along W 65th St.

Hours of Use: 24/7 resident use.

Zoning: Last approval for the medical office building in 2012 resulted in rezoning from Planned Office District 1 (POD-1) to PUD-3 for that use. We wish to retain our PUD zoning, but propose the change in use from Medical Office to Senior Care Housing. We have included a 12 building summary of similar size and density.

Green Building Practices: Throughout all phases of the project - *Design, Construction and Operation*, we will use best practices of environmental awareness. Ebenezer is fully educated on *Reduce-Recycle-Reuse* operations. We have a Green Building Practices Narrative with our submission, updated to include achievable goals. We have retained our green roof area, which can be enjoyed by residents on the north side of Point of France.

Planning Commission Recommendations and Comments: We presented our project to the Planning Commission on July 12, 2013. They discussed the project with a public hearing and gave us 12 areas to consider modifications.

Each of these revisions are included in this application for your consideration.

- 1) Move the resident garage access drive to the north wing - west side. This moves the circulation away from Cornelia Place Apartments.
- 2) Create a dock high access door and extend the Memory Garden slab to cover the trucks. This screens trucks during unloading.
- 3) Move the chiller to the far northeast corner of the roof and completely surround the chiller with an extended roof crown.
- 4) Adjust the upper floor balconies on the south and north to conform with setbacks.
- 5) Redraft the Sustainability letter with quantifiable benchmarks.
- 6) Create several service vehicle short term parking on 65th at the front door. Reduces traffic trips from the west dock area.
- 7) Add third drive lane to the exiting west side- creates more stacking and free movement.
- 8) Create a podium setback on west side levels 3, 4, and 5. Softens visual of west side which these floors are now 58' off the property line for Cornelia Apartments. This reduces the overall building by 5,000 sf.
- 9) Create more pedestrian interaction on France Avenue. Move art feature to large patio seating at corner on France Ave. Relocate Coffee shop, bistro, Pub, Beauty shop, Fitness to have pedestrian access on France.
- 10) Add twelve coniferous trees on Cornelia Apartment land for additional screening.
- 11) Restrict hours of major deliveries to 9 AM thru 4 PM.
- 12) Good neighbor gesture – We will provide screening to the Point of France cooling tower.

Community Benefits from the New Project

- 1) The current buildings had substantial deferred maintenance. The building exterior, landscaping and parking lot are ready for redevelopment.
- 2) This building provides senior and rehab service to support to the regional medical presence of the SW suburbs. This is consistent with the City Guide Plan.
- 3) The building is sized to have a critical mass of services to allow cross referrals among other senior facilities in Edina. This is a key factor for the success of each specialized

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service area. The building will offer cost effective services to seniors as a strategic support to the hospital.

- 4) Edward Farr Architects is known for creating special building design features. The focal point will be the "halo corner" detail of the main entry corner creating a Gateway Building to the Southdale area. Numerous surface changes occur on each side of the building to create interest and shadow elements.
- 5) We are supporting the pedestrian environment along France Avenue with flower gardens and sitting areas. TangleTown Gardens is the designer of these features, and their passion for unique colorful plants is shown in the enclosed photos. Accent lighting, art feature and table seating will make this area a pleasant visual experience.
- 6) The proposed skyway will link the building to the hospital for visitor and patient services.
- 7) Green Building Practices will be implemented for the three phases: *building design*, *construction phase* and *long term operation* of the clinics. The General Contractor has compiled a summary of the *Green Practices* we will pursue for each phase of the project. Monthly reports during construction will demonstrate our progress.
- 8) A portion of the building roof will have a vegetated green roof, with native wild flowers and sedum, to enhance the view down onto the roof from the neighboring Point of France building, as well as reducing our heat island effect and improving our stormwater runoff quantity. Annual reports will show the reduction in the heat island effect along with estimates of water volume enhanced.
- 9) There will be ongoing seminars to evaluate methods and new technology for each resident area – *Reduce* consumption, *Re-use* materials, and *Recycle* waste. The benefit to the building will be reduced operating expenses and good stewardship of our business resources. Reports will be provided on the quantities of recycling.
- 10) Alternative transportation is a key element of any project. A tangible goal will be to reduce the number of cars coming to the building which will reduce the parking stalls required to service the building. We have provided several successful alternate transportation systems:
 - (a) Designated preferred parking spaces for "smart cars"
 - (b) Scooter, motorcycle, bike parking will be an enclosed space that is secure, well lit, and air tempered. We want these employees or patients to know they are recognized for their efforts.
 - (c) Employees may participate in the ZAP chip monitor system which will provide a monthly printout of number of rider days. There will be a calculation of carbon footprint poundage saved to each participant.
 - (d) The MTC #6 bus line services multiple stops for the building. Additional routes around Southdale are 515, 538, 539, 578, 579, 684.
- 11) The estimated real estate taxes will be over three times the current revenue. The two existing buildings pay \$154,000. These new funds go directly into the Southdale TIF. The funds are at Edina's discretion.
- 12) There will be over 52 new medical staff positions in the building. In addition, there will be 40-60 construction jobs over 12 months.
- 13) Storm water management will be improved through *rate control* and *water quality*, including our green roof. The current site has direct, unrestricted runoff. There is almost 9% less hard surface area in the new plan than the current buildings, which mean more green space for the community.

- 14) The new development is using existing utilities and roads in the community. Urban planning considers this good stewardship to reuse existing sites with current infrastructure.
- 15) The France Ave patio will have an area for a significant piece of art. We are planning a special commissioning for this feature.
- 16) Planning ratios of FAR and Units per Acre ratios have been barometers of density for multifamily and commercial buildings to regulate traffic volumes. These ratios may be not be an accurate measure of density when applied to Senior and Nursing Home housing.

The proposed building fits comfortably on the site in relation to the adjacent buildings.

The parking code for nursing homes is one stall for each 4 residents and senior assisted is 3 parking stalls for each 4 residents. The proposed building requires 138 parking stalls in the 223,842 sf building. Our previous medical building of 102,000 sf required 548 parking stalls with each stall turning over multiple times per day. The parking and traffic impact for senior housing is one third the medical building.

- 17) The proposed senior building has all the parking enclosed on the two acre site. The aesthetics from the neighboring buildings will be a high quality all brick building. We could have 138 on grade parking stalls that would require 1.5 acres more land filled with surface parking.
- 18) The City of Minneapolis code for Senior Housing is 3.0. The enclosed graphic highlights 11 building that have FAR ratios and Density per acre numbers in excess of our request. Each of these buildings has parking under the building to preserve a pedestrian friendly, walkable area around the building.

AURORA ON FRANCE

July 26, 2013

	# of Units	# of Beds	Parking Calculation	Enclosed Parking Required	Exposed Parking Required	Enclosed Parking Provided	Exposed Parking Provided
PRD-5 Nursing Home							
Traditional Care/Skilled Nursing Licensed Beds	34	40	1 enclosed stall per 4 residents	10			
Memory Care	32	38	1 enclosed stall per 4 residents	9.5			
Care Suites	18	18	1 enclosed stall per 4 residents	4.5			
Subtotal	84	96		24	0		
PSR-4 Senior Citizen Dwelling							
Independent and Assisted Living	111	111	.5 exposed stalls per unit		56		
			.25 enclosed stalls per unit	28			
Employees			1 exposed per employee = 29 1 enclosed per management = 1	1	29		
Subtotal	111	111		29	85		
Totals	195	207		53	85	129	9
				Total Required 138		Total Provided 138	

6500 France Building
Town Center Offerings & Activities

Ebenezer would like to make several common areas of the building accessible to the residents of *Point of France*.

The rooms and activities are designed for all residents in the new building and we welcome your participation in many of the services outlined below.

****Please provide the front desk a 24 hour reservation notice
for the selected activity****

- ❖ **Theater** – 40 reclining seats with a custom screen create a special theater atmosphere with evening star lights in the ceiling that reminds of the outside "drive-in" movies. Presentations will include movies and cable offerings. Popcorn machine and concessions are available!
- ❖ **Convenience Gift Shop** – The main floor will have a retail convenience store with cards, gifts and partial service pharmacy.
- ❖ **Dining Room** – There will be a 160-seat dining room overlooking the south terrace, which will have an upscale traditional theme and servers taking tableside orders. Lunch or dinner may be purchased off the menu. A full-time chef will create daily specials and each month will feature special ethnic dinner parties.
- ❖ **Bistro** – Our northeast corner will have an internet café open to the plaza with seating around the special flower gardens and pedestrian way. Offerings will be premium coffee, ice cream, light meals and other refreshments.
- ❖ **Community Room** – This room is used for music events or special lectures of interest. There will be frequent OSHER Life Long Learning lectures from the University of Minnesota.
- ❖ **Beauty Shop** – Hair Stylist will have a daily schedule and will offer an array of salon services by appointment only.

**All Offerings and Prices will be subject to change without notice. 5/18/13*



Part of Fairview Health Services

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May 31st, 2013

Dear Mr. Teague,

The 6500 France Avenue location is a gateway into Edina, providing Ebenezer an opportunity to build a senior living community offering Independent Living, Assisted Living, Care suites, Transitional Care Suites, and Observation Rooms for Ebenezer's nearby affiliate Fairview Southdale Hospital and the Twin City Orthopedics center. The new facility would feature Healthsense, state-of-the-art technology, and offer the following: a heated, underground parking garage, full-service salon, exercise room, massage therapist, bistro, club lounge, full-service dining room, gift shops, library/computer lounge with Wi-Fi, theatre and a concierge service, bus lines and bike paths for employees, pharmacies, and shopping. It also faces nature and the lake, providing residents with activity views and beautiful scenery. Ebenezer is looking forward to developing in and partnering with Edina.

Thank you,

Susan Farr



Minnesota Department of **Human Services**

Elderly Waiver Program

What is the Elderly Waiver Program?

The Elderly Waiver (EW) program funds home and community-based services for people age 65 and older who are eligible for Medical Assistance (MA) and require the level of care provided in a nursing home, but choose to reside in the community. The Minnesota Department of Human Services operates the EW program under a federal waiver to Minnesota's Medicaid State Plan. Counties, tribal entities and health plan partners administer the program.

What types of services are available?

Covered services include:

- Adult day service
- Case management
- Chore services
- Companion services
- Consumer-directed community supports
- Home health aides
- Home-delivered meals
- Homemaker services
- Licensed community residential services (customized living services or 24-hour customized living services, family and corporate foster care, residential care)
- Environmental accessibility adaptations
- Personal care
- Respite care
- Skilled nursing
- Specialized equipment and supplies
- Personal Emergency Response Systems
- Training and support for family caregivers
- Transitional supports
- Nonmedical transportation

Who is eligible?

- Those eligible for the EW are 65 or older, eligible for MA and need nursing home level of care as determined by the Long-Term Care Consultation process.
- The EW service cost for an individual cannot be greater than the estimated nursing home cost for that same individual.
- The person chooses to receive home and community-based services instead of nursing facility services.

How many people? How many dollars?

In fiscal year 2012, EW served 31,320 people at a total cost of approximately \$311,817,288. Ninety-two percent of EW participants receive their services through a managed care organization. The managed care program options include the Minnesota Senior Health Options (MSHO) program, an integrated Medicaid/Medicare health and long-term care program; and Minnesota Senior Care Plus (MSC+), a Medicaid health and long-term care option.

The average monthly EW participant population for fiscal year 2012 was 22,357 with an average monthly cost of \$1,504 under fee-for-service purchase and \$1,124 per participant per month under managed care.

What alternatives exist for people who are eligible for EW?

Probable alternatives to EW include Medicaid-certified skilled nursing facilities and certified board-and-care homes. The average cost of these alternative settings is \$5,054 per person, per month, less a resident contribution toward cost of care.

Where can I learn more about the EW program?

The EW program is described in [Minnesota Statutes 256B.0915](#).

Where can I learn more about managed care for seniors?

[More information about managed care for seniors](#) is on the DHS website.

How can I enroll?

Contact your [county's social services or public health department](#). If you are already on Medical Assistance and enrolled in a health plan, you should contact your health plan.

How do I obtain more information as a provider of home and community-based services?

See [the Elderly Waiver and Alternative Care chapter of the Minnesota Health Care Provider Manual](#).

Call the Senior LinkAge Line® at 800-333-2433 for more information about the program.

Log on to www.MinnesotaHelp.info for more information. MinnesotaHelp.info is an online directory of services designed to help people in Minnesota identify resources such as human services, information and referral, financial assistance, and other forms of aid and assistance within Minnesota.

This information is available in accessible formats for individuals with disabilities by calling 651-431-2400, toll-free 800-747-5484, or by using your preferred relay service. For other information on disability rights and protections, contact the agency's ADA coordinator.

Edina Senior Housing - July 25, 2013

A NEW VISION FOR BUILDING

The following list of sustainable items has been incorporated into the DESIGN, CONSTRUCTION and OPERATION of the proposed Edina Senior Housing. Many elements have been considered from the materials used to the energy consumed. The theme of **reduce, reuse, recycle** is supported by the project team's commitment to a sustainable building for patients, employees and the community to enjoy.

- No. 1: Brownfield redevelopment - we are using a site that is already developed rather than utilizing a greenfield never developed site without utilities or infrastructure. This site is reusing the gas, electrical sanitary sewer, and water service that is in place. This reduces all users of these utilities.
- No. 2: Alternative transportation - the MTC #6 bus stops at the front door of the site. Bike and van pool options reduce the overall carbon footprint of our community. We are providing the ZAP monitor to bike riders that would like to obtain a monthly report of their carbon footprint savings.
- No. 3: Storm water quantity control - storm water management devices will be installed to control the rate of storm water leaving the site. The previous buildings had 79% of the land area hard surface with no rate control ponds. The new building will have 70% hard surface with full rate control chambers, rain garden to reduce flow and green roof to absorb roof water. This is a 30% reduction in runoff from the site.
- No. 4: Storm water quality control - storm water filtration devices will be installed to control the quality of 95% of storm water leaving the site. Rain gardens and flow chambers filter sediment before it is discharged to the watershed.
- No. 5: Site lighting is designed to reduce light pollution - strategically placed light poles with appropriate shrouding will be utilized. Light timers and photo cells greatly reduce the electrical consumption.
- No. 6: Water efficient landscaping - we have strived to integrate sustainable design principles into our landscape design, such as the reduction of stormwater runoff through the use of a rain garden, diversity in plant species, disease and drought resistant (92% of plantings) native and naturalized plant material have been used.
- No. 7: Water use reduction - the use of water efficient irrigation, such as a rain sensor and drip irrigation will be integrated into the irrigation system and used around the proposed building. Drip irrigation delivers water directly to the roots so less water is used. The building will also be designed with water efficient plumbing fixtures.
- No. 8: Baseline energy performance - mechanical equipment will be above code minimum energy ratings and ASHRAE standards. We are participating in the CenterPoint energy management review. We anticipate savings to be 18% over the base line systems. This includes higher insulation values, set back programming thermostats, heat sensor monitors on boilers and light switching systems.

- No. 9: Storage and collection of recyclables – the building will include an easily accessible area that serves the entire building and is dedicated to the collection and storage of materials for recycling including paper, cardboard, glass, plastics and metals.
- No. 10: Construction waste management - recycling measures will be taken during construction to ensure that maximum recycling of steel, cardboard and cement products. Material specific containers will be placed on-site and clearly labeled to ensure the materials are placed in the appropriate container. Quantified tracking of these materials will be documented in monthly reports from our recycling vendor. On average, 80% of construction waste is diverted from landfills.
- No. 11: Locally produced materials - emphasis on regionally produced materials. Materials that can be readily sourced and/or manufactured by local suppliers will be specified. These materials may include but are not limited to brick, stone, precast, steel and finish materials. By sourcing locally, it not only reduces gas omissions from long distance shipping, but also contributes to the local economy. Approximately 40% of the building materials are assembled and/or manufactured within 200 miles of the project.
- No. 12: Certified wood materials - Forest Stewardship Council (FSC) certified wood products will be installed. Only wood from FSC certified forests will be specified, protecting forests for future generations. Materials will be tracked from the source to the installation through certified suppliers.
- No. 13: Construction indoor air quality management - filtration systems will be utilized during construction to ensure that permanent systems are not polluted with particulates. Permanent systems will be protected and/or not used during construction. This will ensure that no lingering construction particulates are present at completion.
- No. 14: Low emitting materials - all paints, coatings, carpets, adhesives and sealants specified are low in volatile organic compounds (VOC). Only materials that are free of VOC's will be specified. This will improve the overall indoor air quality.
- No. 15: Green cleaning products - daily building maintenance fluids will be nontoxic to protect the environment.

Preliminary Development Plan, Comprehensive Guide Plan Amendment and Re-Zoning Permit Submittal

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7. Rendering of View Looking Northwest
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9. Rendering of View Looking at Front Entry
10. Rendering of View Looking at Terrace
11. Rendering of View Looking Northeast
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13. A5.2 East and West Elevation
14. C2.0 Civil Site Plan
15. C3.0 Grading Plan
16. C5.0 Landscape Plan
17. First Floor Plan
18. Interior Building Photos
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20. Views from Cornelia Place
21. Planting Concepts
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24. Site Overlay (M.O.B. vs. Sr. Housing)
25. Building Height Measurements
26. Building Height Comparison



6500 France Avenue

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July 26, 2013

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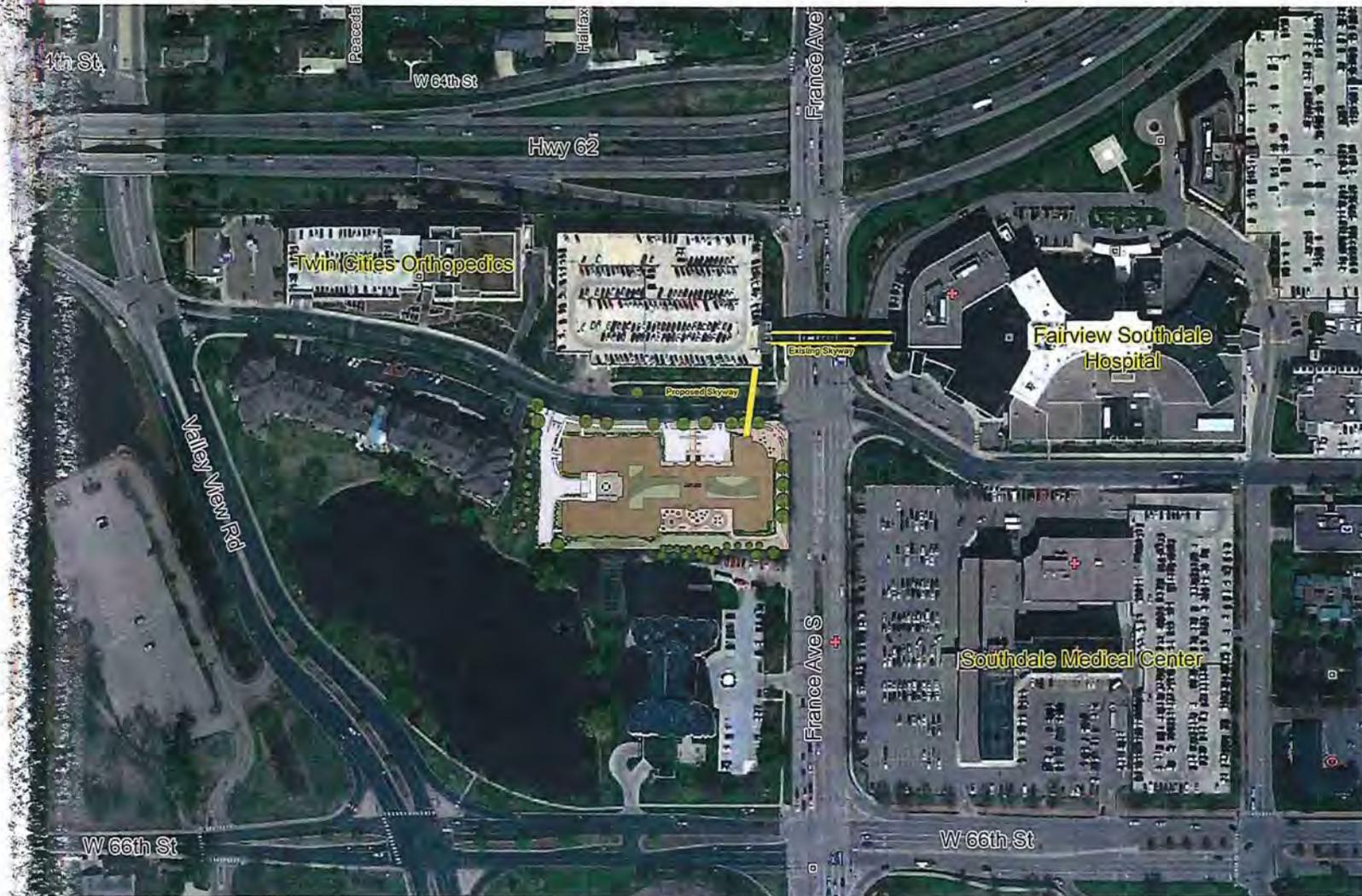
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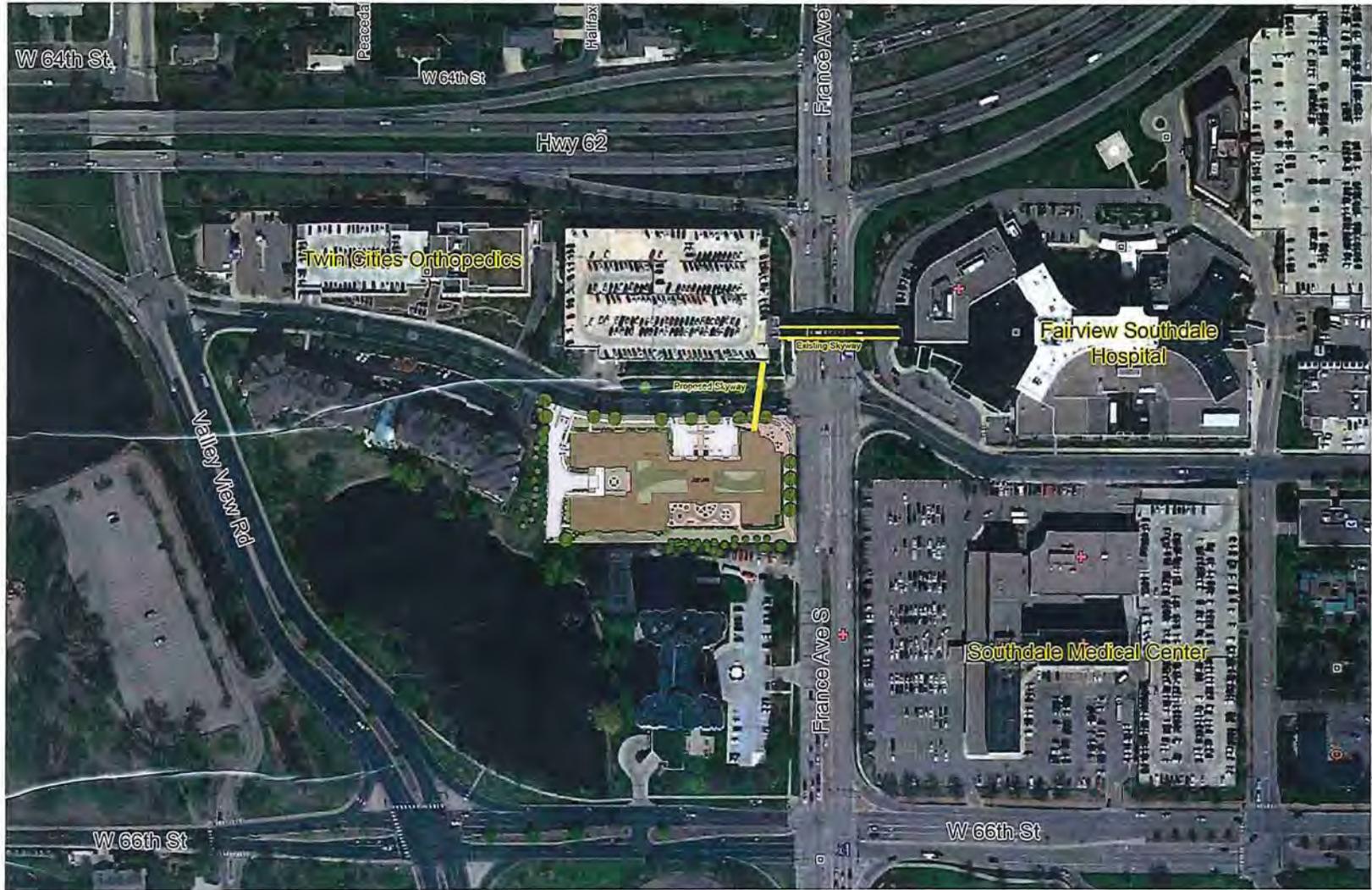


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MOUNT DEVELOPMENT CO.





Regional Map

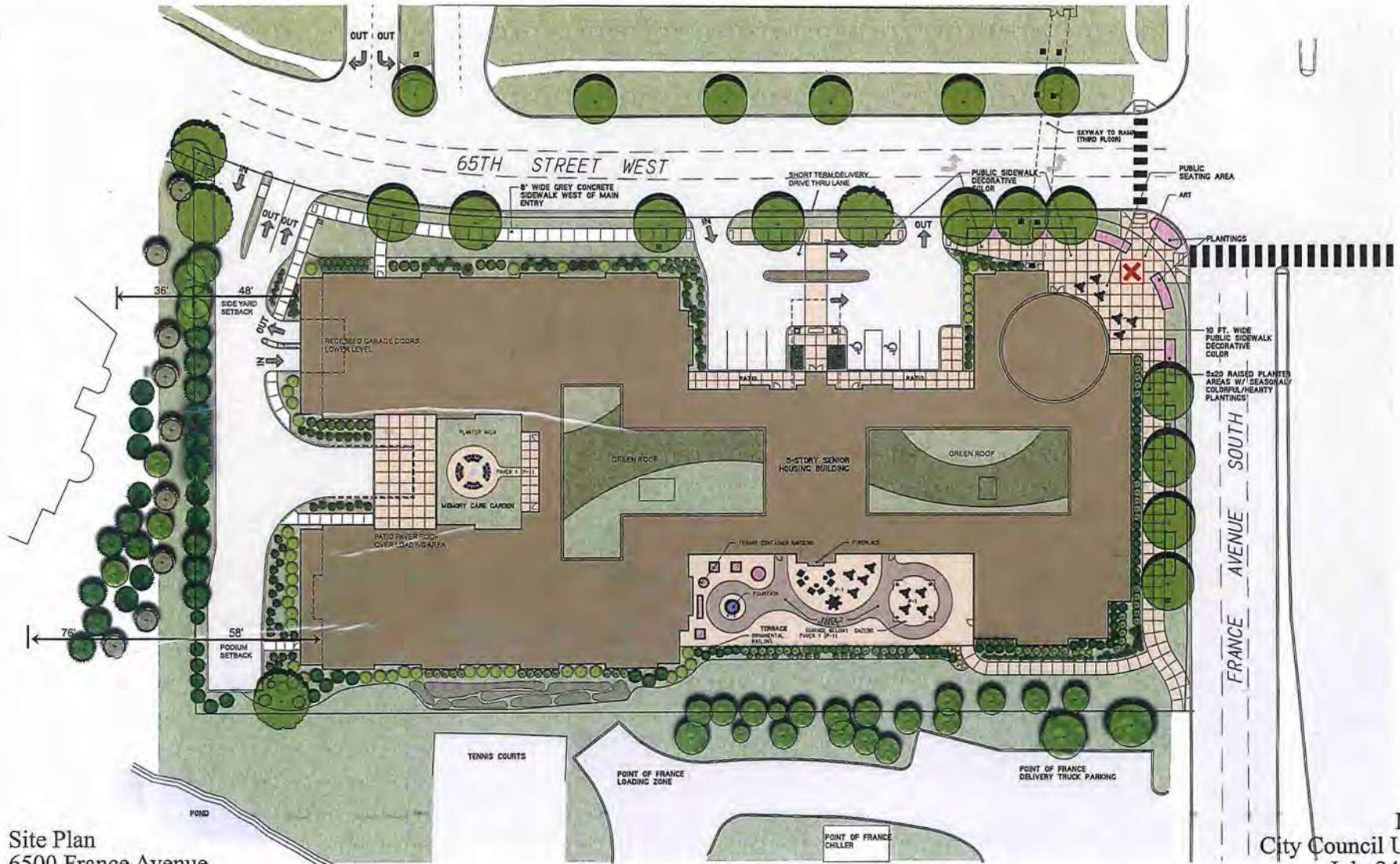
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July 26, 2013

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 MOUNT DEVELOPMENT CO.



Site Plan
6500 France Avenue

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Investments, LLC



MOUNT DEVELOPMENT CO.

Preliminary Development Plan, Comprehensive Guide Plan Amendment and Re-Zoning Permit Submittal

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6500 France Avenue

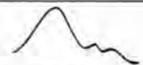
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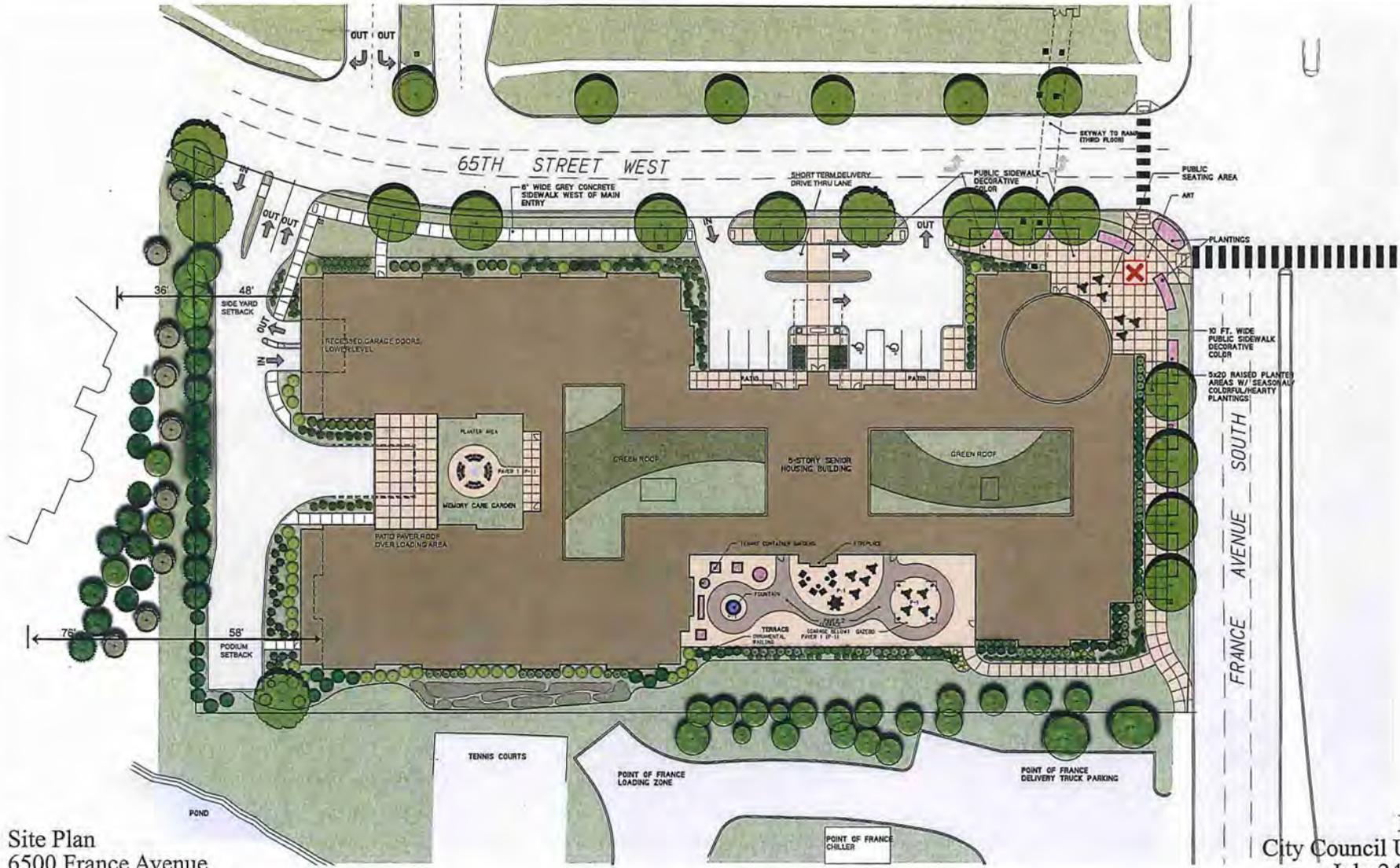
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MOUNT DEVELOPMENT CO.



Site Plan
6500 France Avenue



View Looking Southwest

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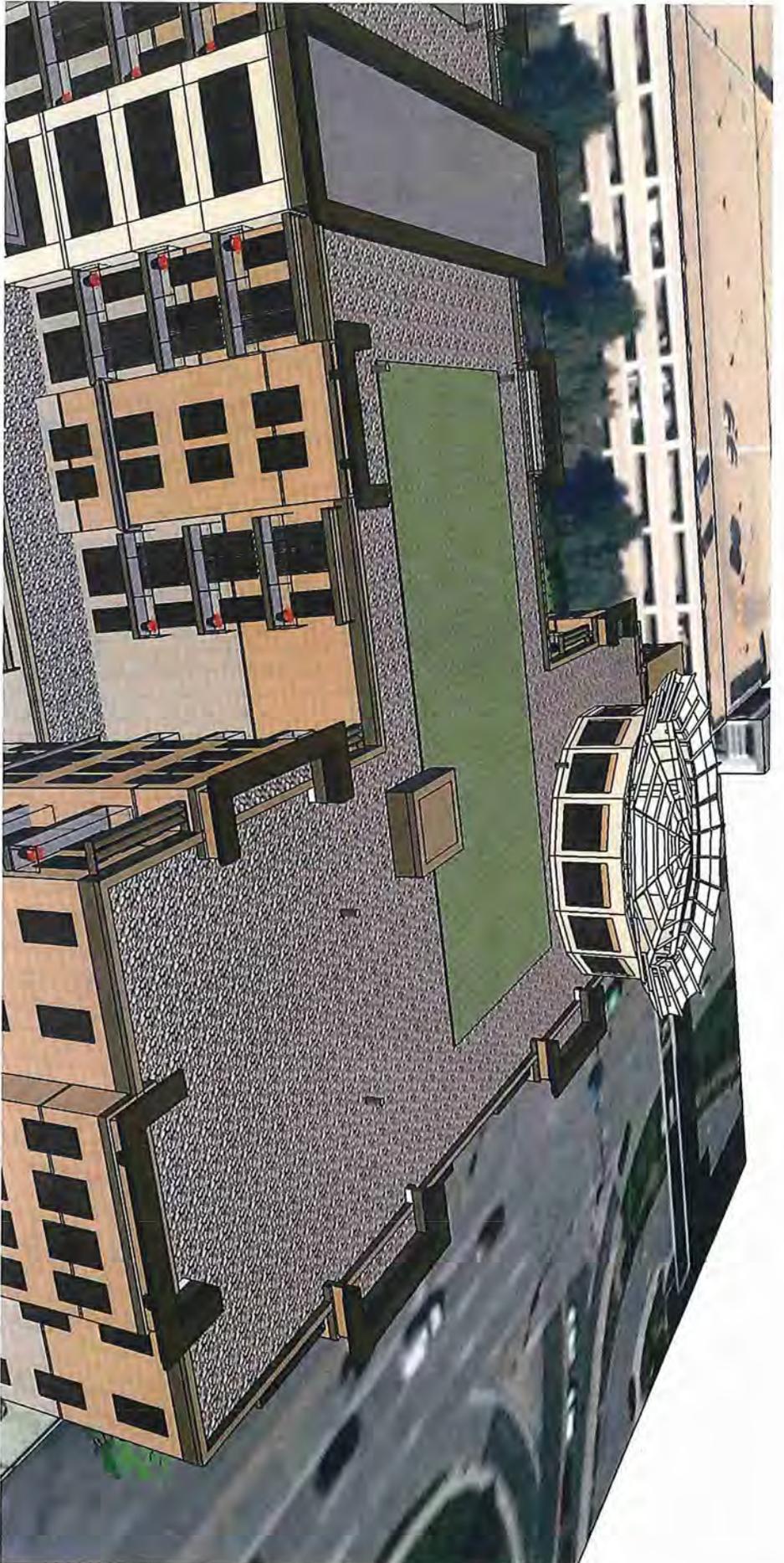
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MOUNT DEVELOPMENT CO.



Aerial View Looking Southwest



View From Point Of France Looking at Top Crown





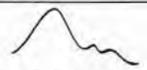
View Looking Northwest

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View Looking Southeast

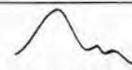
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MOUNT DEVELOPMENT CO.



View Looking at Front Entry

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View Looking at Terrace

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MOUNT DEVELOPMENT CO.



View Looking Northeast

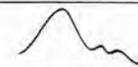
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AURORA ON FRANCE



AURORA
Investments, LLC



MOUNT DEVELOPMENT CO.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
 EDGAR A. FARR

Date _____ Reg. No. 16302
 Project Number _____

- MATERIALS LEGEND**
- 1 FACE BRICK #1 - FIELD
 - 2 FACE BRICK #2 - BASE
 - 3 FACE BRICK #3 - ACCENT
 - 4 EIFS CORNICE
 - 5 PRECAST (PCI) CORNICE
 - 6 BRONZE TINTED GLASS IN CHAMPAGNE ALUM. FRAMES
 - 7 STRUCT. PC CONC #2 - ACID ETCH TO MATCH BRICK #2
 - 8 DECORATIVE WALL LIGHT
 - 9 GLASS CANOPY
 - 10 SIGNAGE/ADDRESS NUMBERS
 - 11 PREFINISHED METAL PANELS
 - 12 ORNAMENTAL GUARDRAIL
 - 13 BALCONIES - CONCRETE
 - 14 O.H. DOOR - PAINTED
 - 15 LOUVERS
 - 16 MECHANICAL SCREENING



1 NORTH ELEVATION



2 SOUTH ELEVATION



Client: MOUNT DEVELOPMENT CO.

Project: AURORA ON FRANCE RE-ZONING SUBMITTAL

Location: 8500 FRANCE AVENUE SOUTH EDINA, MINNESOTA

Sheet For	Date
City Council	06/26/2013

Sheet Title: NORTH/SOUTH ELEVATIONS
 Project Number: 13.025
 Sheet Number: A5.1

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Edward A. Farr

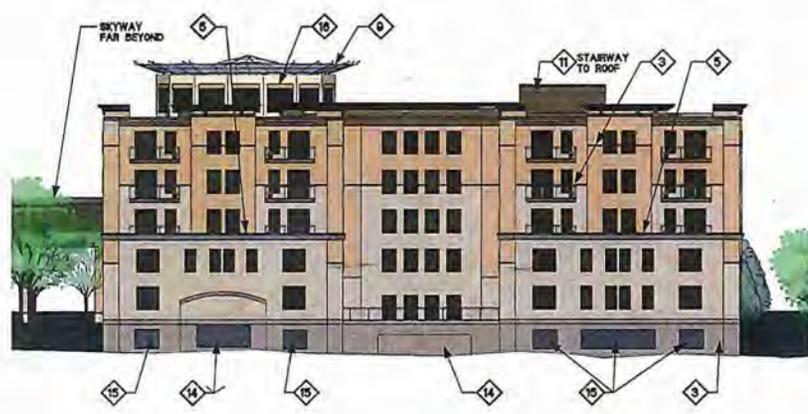
Date _____ Reg. No. 16362
Project Manager _____

MATERIALS LEGEND

- 1 FACE BRICK #1 - FIELD
- 2 FACE BRICK #2 - BASE
- 3 FACE BRICK #3 - ACCENT
- 4 PIPE CORNICE
- 5 PRECAST CONCRETE CORNICE
- 6 BRONZE TINTED GLASS IN CHAMPAGNE ALUM FRAME
- 7 STRUCT PC CORN #2 - ACID ETCH TO MATCH BRICK #2
- 8 DECORATIVE WALL LIGHT
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- 12 ORNAMENTAL GUARDRAIL
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- 15 COVERS
- 16 MECHANICAL SCREENING



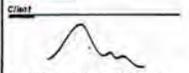
1 EAST ELEVATION
SCALE: 1/16"=1'-0"
0 8 16 32



2 WEST ELEVATION
SCALE: 1/16"=1'-0"
0 8 16 32

EDWARD FARR ARCHITECTS INC.
7700 Lakes Avenue East
Lake Park, Minnesota 55044
Tel: 952-934-4444
Fax: 952-934-4444
www.edwardfarr.com

AURORA Investments, LLC



Client: MOUNT DEVELOPMENT CO.
Project: AURORA ON FRANCE RE-ZONING SUBMITTAL
Location: 6000 FRANCE AVENUE SOUTH EDINA, MINNESOTA

Issued For	Date
CITY SUBMITTER	06/06/2013

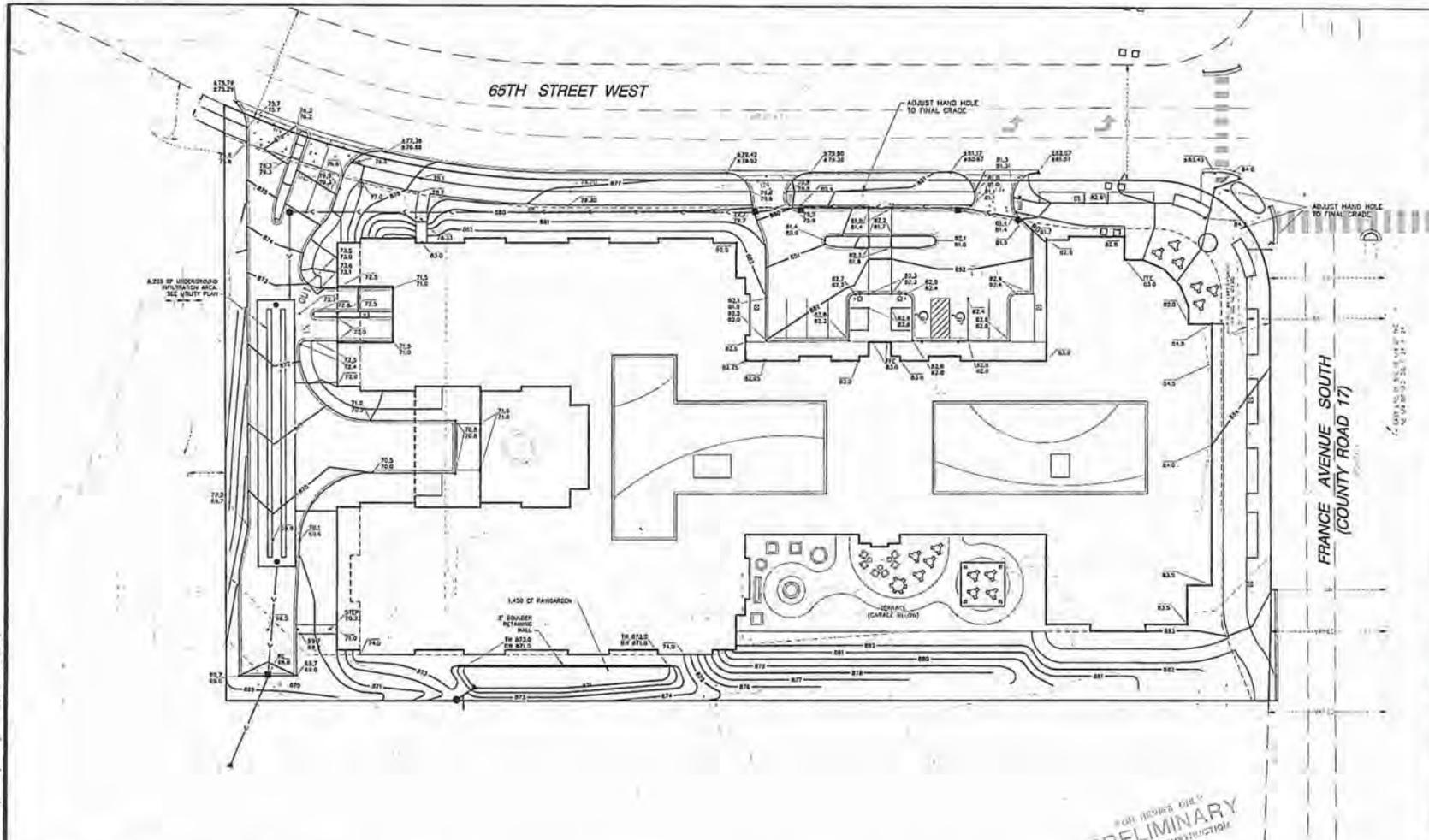
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EAST/WEST ELEVATIONS	
Project Number	Sheet Number
13.025	A5.2

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I hereby certify that the plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Mark Rausch, PE

Date _____ Fig. No. _____
 Project Number _____
 Commissioned 2013



ALLIANT ENGINEERING, INC.
 233 PARK AVE. SOUTH, SUITE 100
 MINNEAPOLIS, MN 55415
 PHONE 612 758-0900
 FAX 612 758-0000

AURORA
 Investments, LLC

MOUNT DEVELOPMENT CO.

Project
AURORA ON FRANCE
 RE-ZONING
 SUBMITTAL

Location
 6500 FRANCE AVENUE SOUTH
 EDINA, MINNESOTA

Issue No.	Date
0111 SUBMITTAL	12/02/2013
0112 REVISION 17A	01/26/2013

Sheet Title
GRADING, EROSION, AND SEDIMENT CONTROL PLAN
 Project Number 13.0063 Sheet Number C3.0

GRADING LEGEND:

- 78- Existing Contour
- 78- Proposed Contour
- Catch Basins
- 78.00 Proposed Spot Elevation
- 78.00 Drainage Routing
- 78.00 RW OR HIGHPOINT ELEVATION
- 78.00 Emergency Flood Routing
- 78.00 Proposed Storm Sewer
- 78.00 Existing Storm Sewer
- 78.00 Salt Fence/Construction Lines
- 78.00 Top of Earth Elevation
- 78.00 Outer Elevation
- 78.00 Property Line
- 78.00 Utility Preference

GRADING NOTES:

1. ALL TRUCKED BRACKS SHALL SLURP AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2.0% (WHERE FEASIBLE).
2. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND MINN.
3. NOTIFY DOPHER STATE ONE CALL AT (650)252-1146, 48 HOURS PRIOR TO START OF CONSTRUCTION.
4. ALL IMPROVEMENTS TO CONFORM WITH CITY OR STATE CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
5. ROCK CONSTRUCTION ENHANCEMENTS SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
6. CONTRACTOR TO KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE AT ALL TIMES.
7. REFER TO GEOLOGICAL REPORT FOR SOIL CORRECTION, TESTING REQUIREMENTS AND FOR PRELIMINARY RECOMMENDATIONS AND SUBMIT RECOMMENDATIONS.
8. EXIST. HORSES PRIOR TO ANY CONSTRUCTION. REMOVE STOCKPILE ON SITE. (WHERE FEASIBLE).
9. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
10. IMMEDIATELY FOLLOWING GRADING OF (X) OR GREATER SIDE SLOPES AND DRAINAGE CHANNELS, WOOD FIBER BLENDED OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL.
11. THE GENERAL CONTRACTOR MUST PROVIDE DRAINAGE PLANS WITH ALL SUBSCRIPTIONS TO VERIFY HOLES REQUIREMENTS. IF DONATING TO BE REVIEWED DURING CONSTRUCTION CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHOD.
12. PAUL, REVEALS AND INSPECTOR AREAS SHOULD BE DISCUSSED WITH CITY OF EDINA PRIOR TO EXPORTING MATERIAL OFFSITE.
13. ALL UTILITY INSTALLATION BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SOIL TESTING AGENCY REQUIREMENTS AND/OR SPECIFICATIONS. SOIL REPORT RECOMMENDATIONS INCLUDE PLACING BACKFILL AND FILL IN LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS. THE COMPACTED DENSITY OF THE FILL SHALL BE THE FOLLOWING PERCENTAGES OF STANDARD PROCTOR:
 - BELOW FOUNDATIONS AND INTERIOR SLABS - 98%
 - BELOW EXTERIOR SLABS - 95%
 - WITHIN 3 FEET OF FUNDATION - 100%
 - BELOW EXTERIOR SLABS - 95%
 - BELOW LANDSCAPE SURFACES - 90%
14. DRAINAGE CONTROL NOTES AND PROCEDURES SHALL BE INCLUDED IN THE CONSTRUCTION DOCUMENTS. SEE SHEET C18 FOR DETAILS.
15. CONTRACTOR SHALL COORDINATE PRIVATE/PUBLIC UTILITIES RELOCATIONS, SUCH AS TRAFFIC SIGNAL HANDHOLES, AND MANHOLE, ETC.

FOR REVIEW ONLY
 PRELIMINARY
 NOT FOR CONSTRUCTION

STORMWATER DATA:

SOIL DATA
 TOTAL SITE AREA: 2.364 AC
 EXISTING IMPERVIOUS AREA: 1.883 AC
 PROPOSED IMPERVIOUS AREA: 1.824 AC
 EXISTING DETENTION VOLUME:
 1,624 AC * 1" = 3,033 CF
 PROPOSED WATER QUALITY VOLUME:
 2.0" EXIST = 0.85" RUNOFF DEPTH
 2.364 * 0.85" = 2,005 CF
 25 YEAR SEDIMENT STORAGE = 400 CF
 7,375 + 400 CF = 7,775 CF
 PROPOSED RETENTION & WATER QUALITY VOLUME:
 INTERIM UNDERGROUND RETENTION: 2,328 CF
 PROPOSED BAH CATCHEN: 1,450 CF
 2,880 CF TOTAL INFILTRATION & WATER QUALITY VOLUME PROVIDED



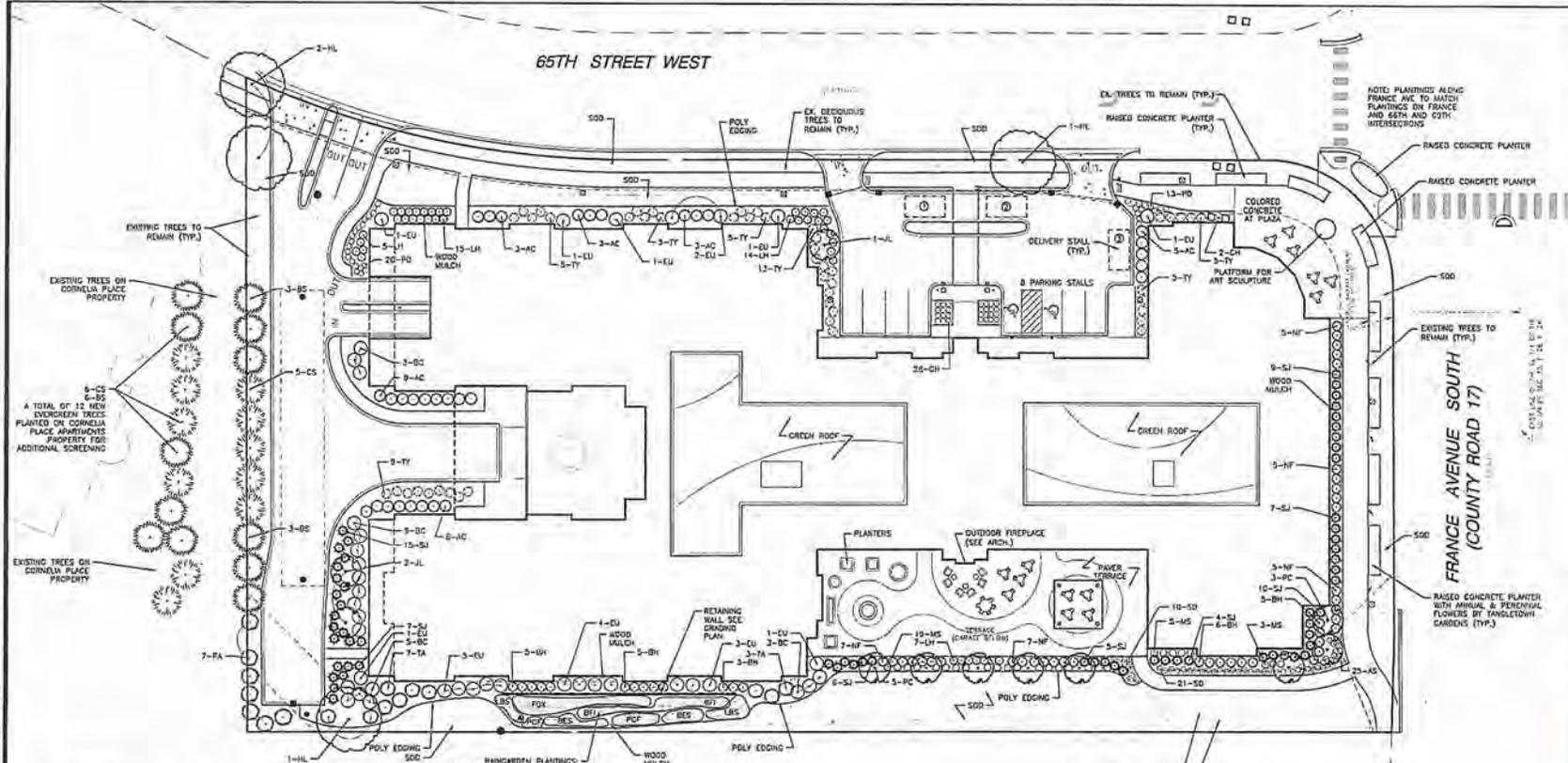
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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.
 Mark Kranberk, ASLA

Date: _____ Rep. No. _____
 Project Manager: _____

Contract No. _____



NO.	SYMBOL	DESCRIPTION	QTY	REMARKS
1	1-EU	EMERALD UNCLE	1	PLANTING
2	2-AC	AMERICAN CORNELIA	2	PLANTING
3	3-AC	AMERICAN CORNELIA	3	PLANTING
4	4-EU	EMERALD UNCLE	4	PLANTING
5	5-AC	AMERICAN CORNELIA	5	PLANTING
6	6-BS	BURNING BUSH	6	PLANTING
7	7-FA	FRAXINUS AMERICANA	7	PLANTING
8	8-BS	BURNING BUSH	8	PLANTING
9	9-AC	AMERICAN CORNELIA	9	PLANTING
10	10-SI	SILVER CHERRY	10	PLANTING
11	11-MS	MORNING GLORY	11	PLANTING
12	12-MS	MORNING GLORY	12	PLANTING
13	13-MS	MORNING GLORY	13	PLANTING
14	14-LH	LIGHT HOUSE	14	PLANTING
15	15-LH	LIGHT HOUSE	15	PLANTING
16	16-AC	AMERICAN CORNELIA	16	PLANTING
17	17-AC	AMERICAN CORNELIA	17	PLANTING
18	18-AC	AMERICAN CORNELIA	18	PLANTING
19	19-AC	AMERICAN CORNELIA	19	PLANTING
20	20-PO	PORPHYRY	20	PLANTING
21	21-SO	SUNSHINE	21	PLANTING
22	22-AC	AMERICAN CORNELIA	22	PLANTING
23	23-AC	AMERICAN CORNELIA	23	PLANTING
24	24-AC	AMERICAN CORNELIA	24	PLANTING
25	25-AC	AMERICAN CORNELIA	25	PLANTING
26	26-AC	AMERICAN CORNELIA	26	PLANTING
27	27-AC	AMERICAN CORNELIA	27	PLANTING
28	28-AC	AMERICAN CORNELIA	28	PLANTING
29	29-AC	AMERICAN CORNELIA	29	PLANTING
30	30-AC	AMERICAN CORNELIA	30	PLANTING

LANDSCAPE REQUIREMENTS

OVERSTORY TREES REQUIRED = 30
 OVERSTORY TREE SHALL NOT BE LESS THAN THE PERCENT OF THE LOT AS MEASURED IN FEET DIVIDED BY 10 = (1200/40) = 30
 MINIMUM REQUIREMENT: 30% OVERSTORY TREES: PROVIDED TREES:
 50% CORNIFOLIA (C1-BB) 15
 50% DECIDUOUS (D1-DB) 15
 20% ACENT (A1-DB) 0
 10% PRIMARY (P1-DB) 0
 10% TERTIARY (T1-DB) 0
 TOTAL TREES = 30
 EXISTING TREES ALONG PERIMETER OF SITE TO REMAIN = 16
 TOTAL TREES ON SITE = 46

GREEN ROOF AREA = 7,715 SF

GREEN ROOF TO BE PLANTED WITH LAZYBOLT ROYALTEC MODULAR GREEN ROOF SYSTEM (LAZYBOLT STANDARD). PLANTING SOIL TO BE A 1/4" DEEP. PLANTING WILL INCLUDE A VARIETY OF COLORFUL SEEDS AND SUCCESSION CROPPING COVERS. DETAILED PLANT SPECIES AND PLANTING DESIGN TO BE DETERMINED.

RAINGARDEN PLANTINGS

QTY	SYMBOL	DESCRIPTION	CONTAINER
48	BS	BLACK EYED SUSAN/RAINGARDEN 1/16"	4" cont., 24" h.c.
34	BF	BLUE FLAG IRIS/1/16" WRAPROOF	4" cont., 24" h.c.
70	FX	FOX GLOVE/COVERS RAINGARDEN	4" cont., 24" h.c.
23	LS	LITTLE BLUESTEM/RAINGARDEN 1/16"	4" cont., 24" h.c.
30	PF	PURPLE COMPTONER/RAINGARDEN 1/16"	4" cont., 24" h.c.

PLANTING NOTES:

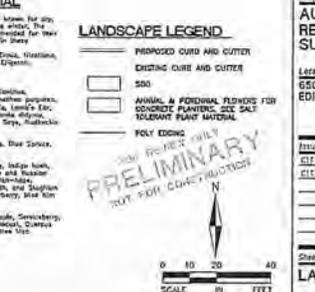
- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING OR TO BEING COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- INSTALL 4" MIN. BLACK OBN TO ALL SOG BEDS AND DRIVE AREAS. CONTRACTOR RESPONSIBLE FOR FINE GRADING OF SOG AREAS. PROVIDE 1" PLANTING SOIL FOR ALL PERENNIAL & ANNUAL PLANTING AREAS.
- CONTRACTOR WILL STAKE ON MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- ALL DRIVE AREAS UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 2" DEPTH OF DOUBLE SHIPPED HARDWOOD MULCH. GOLDEN COLOR ON SITE BARRIERS. POLY-EDGING TO BE WALKED OVER BLACK DRAINAGE OR APPROVED EQUAL.
- ALL PERENNIAL BEDS TO BE BED MULCHED WITH 3" DEPTH OF DOUBLE SHIPPED HARDWOOD MULCH. GOLDEN COLOR.
- INSTALL 4"-8" DEPTH DOUBLE SHIPPED HARDWOOD MULCH AROUND ROOF SLOPER OF ALL TREES ISOLATED FROM PLANT BEDS.
- PLANTING SOIL SHALL CONSIST OF SOG SELECT LOAMY TOPSOIL, 25% PEAT MOSS, 25% RFI RUN SAND.
- CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF TWO YEARS (24 MONTHS) BEGINNING AT THE DATE OF SUBMITTING PROJECT COMPLETION. CONTRACTOR WILL HAVE ALL REPLACEMENTS INSTALLED BY THE END OF SECOND YEAR.
- ANY MULCHING WORK SHALL BE OBSERVED PRIOR TO ACCEPTANCE OF THE WORK. MULCH SHALL BE REPLACED AND REOBSERVED.
- THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REMOVE ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.

SALT TOLERANT PLANT MATERIAL

- ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CROCK TAPE YEARLY, APPLY WRAP IN WINTER AND REMOVE IN APRIL.
- LANDSCAPE CONTRACTOR TO WATER AND MAINTAIN ALL PLANT MATERIALS AND SOG SOIL SALTY ACCEPTANCE.
- REMOVE ALL SOG COST TO OWNER ALL DAMAGE TO PROPERTY RESULTING FROM LANDSCAPE WORK.
- CONTRACTOR IS RESPONSIBLE FOR CALLING CONNER STATE GUY AT 624-3004 FIRST FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL ADD DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION.
- LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATCHING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL.
- CHEMICAL WEED CONTROL MUST BE APPLIED TO ALL LANDSCAPE AREAS PRIOR TO ANY PLANT INSTALLATION.
- LANDSCAPE CONTRACTORS TO COORDINATE INSTALLATION WITH EXISTING CONTRACTOR.
- STAKING AND STAKING OF TREES UPONLANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTING OF TREES FOR DURATION OF WARRANTY PERIOD.
- SLEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
- CONTRACTOR TO SUPPLY DESIGN AND INSTALLATION OF AN IRRIGATION PLAN WITH SOG COVERAGE FOR DRIVE BEDS, SOG PLANTING AREAS AND ALL OTHER SPACE. SOG AND PLANTING/ANNUAL MULCH TO BE ON EXISTING GRASS WITH SOG LAYOUTS AND IRRIGATION OR APPROVED EQUAL. COORDINATE WITH PROPERTY OWNER.

CONTRACTOR TO BE PLANTED BY STAGGERS ROWS, UNLESS SHOWN OTHERWISE ON PLAN.
 QUANTITIES OF PLANT SPECIFIC LIST QUANTITIES IN EVENT OF DISCREPANCY.

LANDSCAPE LEGEND



SCALE 1" = 10' FEET
 SCALE IN FEET

ALLIANT ENGINEERING, INC.
 233 PARK AVE. SOUTH, SUITE 200
 MINNEAPOLIS, MN 55410
 PHONE (612) 758-2888
 FAX (612) 758-0929

AURORA INVESTMENTS, LLC

INDUSTRIAL DEVELOPMENT CO.

AURORA ON FRANCE RE-ZONING SUBMITTAL

Location: 6500 FRANCE AVENUE SOUTH EDINA, MINNESOTA

Issue For:	Date:
CITY SUBMITTAL	5/20/2013
CITY REVISIONS	6/27/2013

Sheet Title: LANDSCAPE PLAN

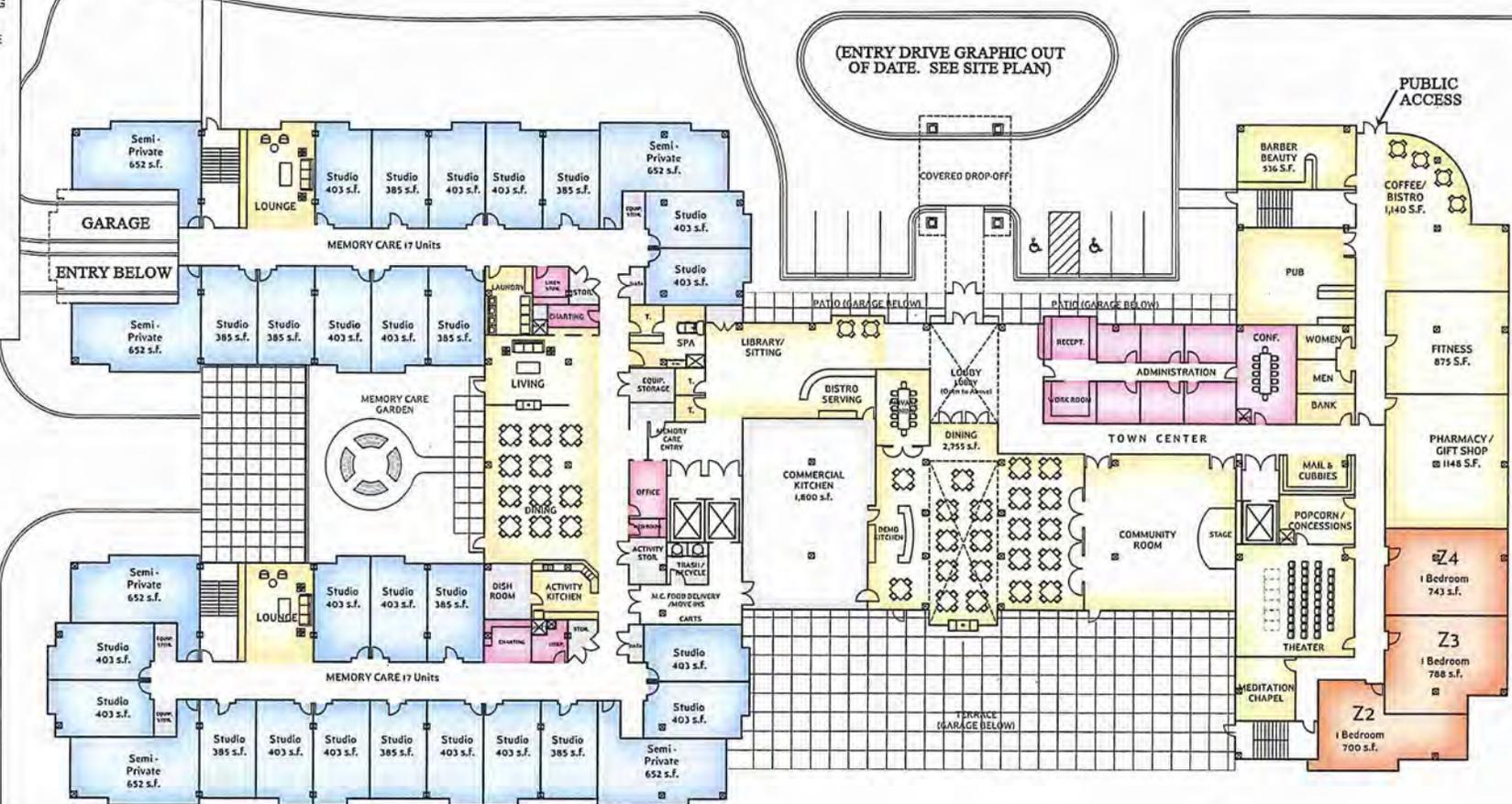
Project Number: 13.0063 Sheet Number: C5.0

Page 16
 City Council Update
 July 26, 2013

Drawing Name: A:\31013\31013.dwg Date: 07/26/2013 10:48:00 AM
 Drawing Path: C:\Users\Mark.Kranberk\AppData\Local\Temp\13013\31013.dwg
 Drawing Scale: 1/8" = 1'-0"

65TH STREET WEST

- CONGREGATE LIVING
- TRANSITIONAL CARE
- MEMORY CARE
- CARE SUITES
- COMMON SPACES
- ADMINISTRATIVE
- CIRCULATION
- SUPPORT
- PARKING



FRANCE AVENUE SOUTH

FIRST FLOOR PLAN



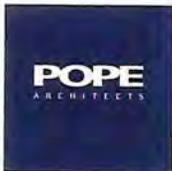
6500 France Senior Housing

EDINA, MINNESOTA
7-19-2013 | COMM#17656-13051

MOUNT DEVELOPMENT CO.



AURORA
Investments, LLC



6500 France Senior Housing

EDINA, MINNESOTA
6-11-2013 | COMM#17656-13051

MOUNT DEVELOPMENT CO.

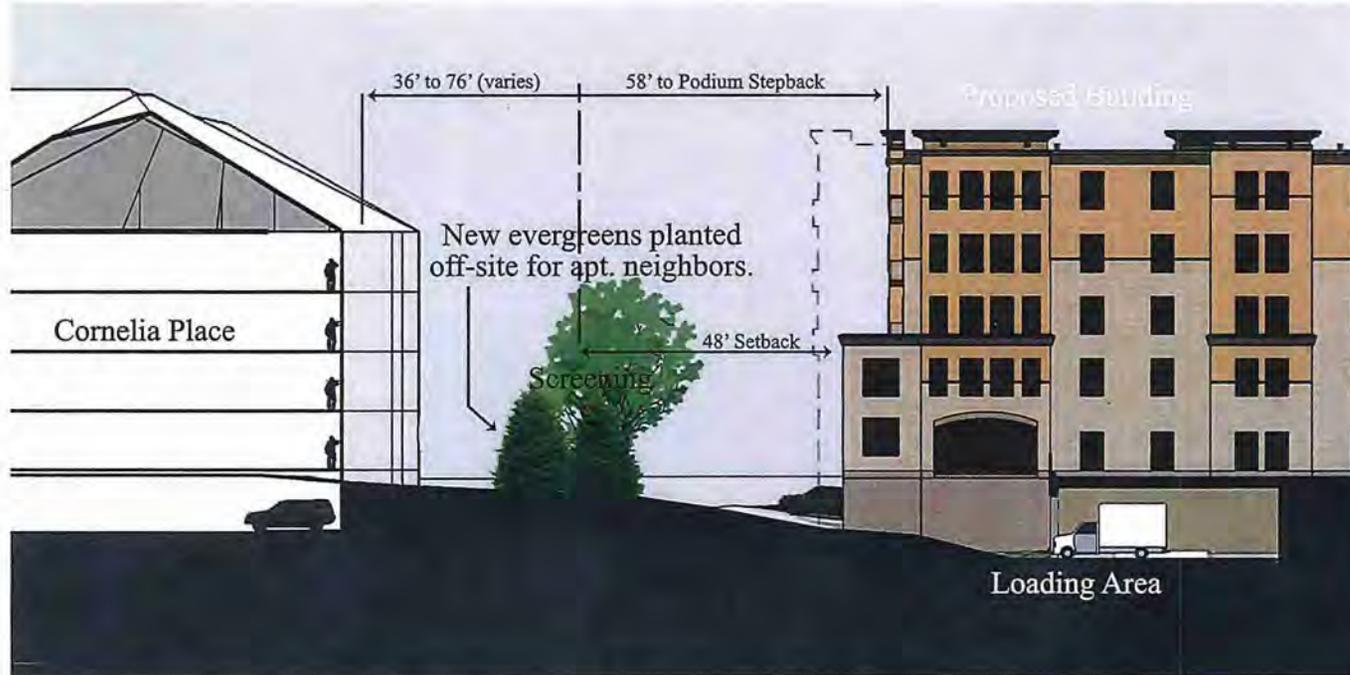


AURORA
Investments, LLC



View Notes

Cornelia Residents no longer have a view of an Office Rooftop (previous condition) nor the view of a Parking Ramp (previously approved condition).





From 1st Floor Apartment



From 2nd Floor Apartment



From 3rd Floor Apartment



From 4th Floor Apartment

Views from Cornelia Place

Page 20
July 26, 2013

EDWARD FARR
ARCHITECTS INC

AURORA ON FRANCE



AURORA
Investments, LLC



MOUNT DEVELOPMENT CO.



6500 France Ave.
Dean Engelmann & Scott Endre, Principals
Olivia Spyra, Landscape Designer



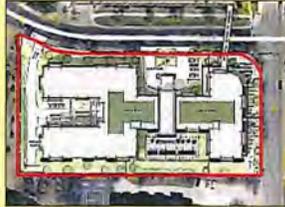
Planting Concepts for public sidewalk planter areas

Senior Housing Building Density Summary

Aurora on France

6500 France Avenue South, Edina

Units: 197
 Independent: 111
 Skilled: 34
 Memory: 34
 Care Suites: 18
 Land Area: 2.34 ac
Units per Acre: 84
 Floor Area: 228,842
FAR: 2.2



Ebenezer Park Apartments

2523 Portland, Minneapolis

Units: 200
 Independent: 141
 Skilled: 34
 Memory: 25
 Land Area: 1.2 ac
Units per Acre: 166
 Floor Area: 184,000
FAR: 3.44



Ebenezer Seniors Tower

2700 Park Ave., Minneapolis

Units: 192
 Senior Rental 62+
 Land Area: 1.66 ac
Units per Acre: 115
 Floor Area: 146,160
FAR: 2.0
 HUD Sec 8 Allocation



The Kenwood Congregate

825 Summit Avenue, Minneapolis

Units: 153
 Independent: 100
 Assisted: 53
 Land Area: .92 ac
Units per Acre: 166
 Floor Area: 166,320
FAR: 4.1



Walker Methodist Health

3737 Bryant Ave. South, Minneapolis

Units: 336
 Skilled Nursing TCU
 Land Area: 2.5 ac
Units per Acre: 134
 Floor Area: 231,200
FAR: 2.1



Augustana Healthcare

1007 E. 14th Street, Minneapolis

Units: 303
 Skilled Nursing TCU
 Land Area: 2.0 ac
Units per Acre: 151
 Floor Area: 183,000
FAR: 2.1



Apartment Building Density Summary

Sydney Hall
 310 - 15th Avenue SE, Minneapolis

Units: 125
 Land Area: 1.0 ac
Units per Acre: 125
 Floor Area: 165,297
FAR: 2.9




Velo Apartments
 103 2nd Street N, Minneapolis

Units: 101
 Land Area: .69 ac
Units per Acre: 146
 Floor Area: 97,638
FAR: 3.2




Elan Apartments
 2837 Dupont Avenue, Minneapolis

Units: 219
 Land Area: 1.32 ac
Units per Acre: 165
 Floor Area: 231,386
FAR: 4.0 (retail included)




Flux Apartments
 2838 Fremont Avenue S, Minneapolis

Units: 216
 Land Area: 1.81 ac
Units per Acre: 119
 Floor Area: 194,400
FAR: 2.4




Mill and Main Apartments
 425, 501 Main Street SE, Minneapolis

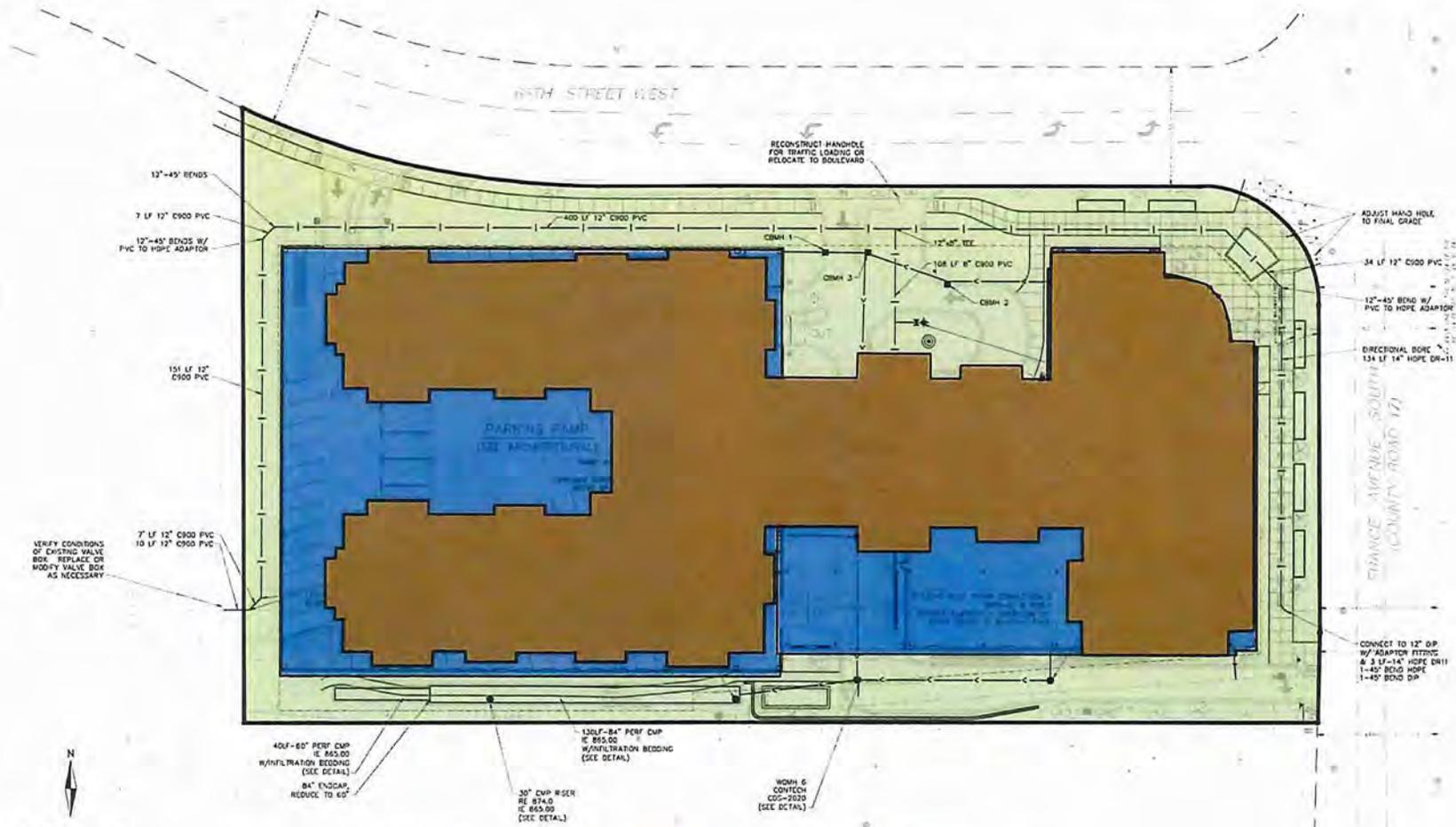
Units: 375
 Land Area: 2.57 ac
Units per Acre: 145
 Floor Area: 324,652
FAR: 2.9




The Mural Apartments
 2833 Lyndale Ave. S, Minneapolis

Units: 101
 Land Area: 1.0 ac
Units per Acre: 100
 Floor Area: 148,960
FAR: 3.4



VERIFY CONDITIONS OF EXISTING VALVE BOX. REPLACE OR MODIFY VALVE BOX AS NECESSARY.



Site Overlay

New Building
 Approved Building
 Site Area

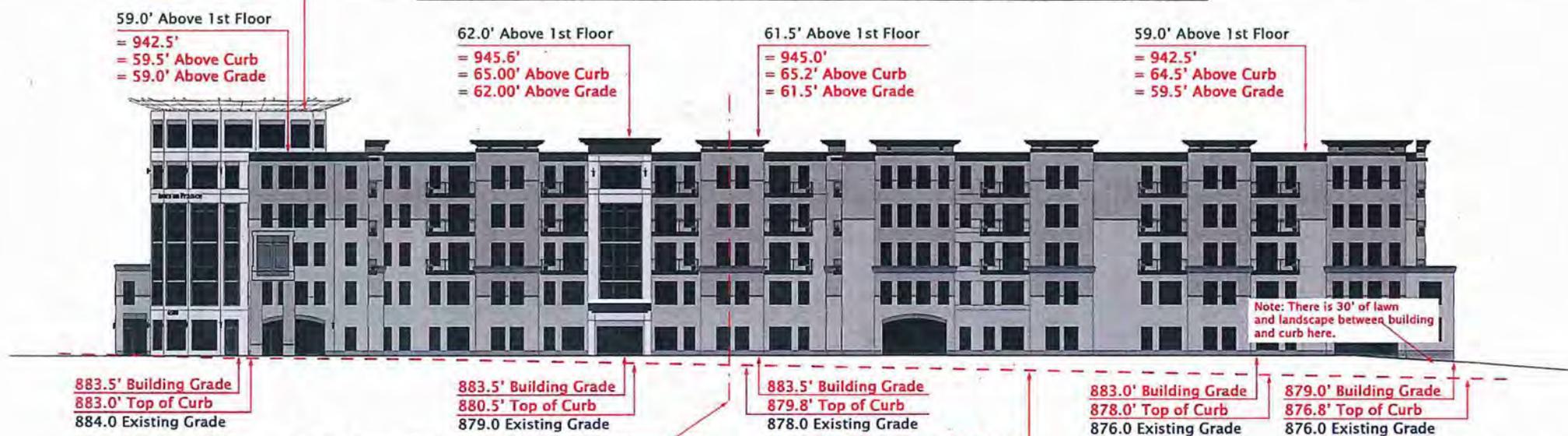
- 40'-60" DEEP CUP
E 865.00
W/INFILTRATION BEDDING
[SEE DETAIL]
- 120'-84" DEEP CUP
E 865.00
W/INFILTRATION BEDDING
[SEE DETAIL]
- 84" ENCLOSURE
REDUCE TO 60"
- 30" CUP RISE
E 874.0
E 865.00
[SEE DETAIL]
- W/6" &
CONTECH
E 865.00
[SEE DETAIL]

6500 France Avenue



East Elevation – 6500 France Avenue – Primary Architectural Front

Note: Existing Grade Elevation taken at location of new building footprint



North Elevation – 65th Street West

Approximate Center Line of Building

Note: There is 30' of lawn and landscape between building and curb here.

Point of France



6566 France Avenue South
13 Stories - 123'

—Twin City Orthopedics 85'

Southdale Medical Center



6545 France Avenue South
6 Stories - 82'

Cornelia Place Apartments



4105 West 65th Street
4 Stories - 79' (including gable roof)

—Aurora on France 62'



Fairview Southdale Hospital



6401 France Avenue South
8 Stories - 124'

Southdale Office Center



6600 & 6800 France Ave. South
6 & 7 Stories - 99'

Twin City Orthopedics



4010 West 65th Street
4 Stories - 82' & 85'



RESOLUTION NO. 2013-61
RESOLUTION APPROVING A GUIDE PLAN AMENDMENT
TO ALLOW SENIOR HOUSING IN THE RMD DISTRICT AND DETERMINE
MAXIMUM DENSITIES FOR SENIOR HOUSING
ON A CASE BY CASE BASIS

BE IT RESOLVED by the City Council of the City of Edina, Minnesota, as follows:

Section 1. BACKGROUND.

- 1.01 Mount Properties is requesting Comprehensive Guide Plan Amendment to allow senior housing as part of their development proposal at 6500 France Avenue and 4005 West 65th Street.
- 1.02 The Edina Comprehensive Plan currently does not allow senior housing in the Regional Medical District establishes a maximum density at 30 units per acre for senior housing.
- 1.03 On July 10, 2013, the Planning Commission considered the proposal, and a motion to approve the request, with added conditions failed. Vote: 4 Ayes and 5 Nays.

Section 2. FINDINGS

- 2.01 Approval is subject to the following findings:
 1. Senior Housing is a compatible use with the Regional Medical District. It would provide seniors a benefit of having medical facilities within close proximity.
 2. Densities for Senior Housing within the RMD & HDR Districts would be determined on a case by case basis, allowing the City some discretion as to when high density for senior housing may be appropriate. Densities for senior housing would be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.
 3. In general, senior housing generates less traffic than all-age housing or medical office facilities.

Section 3. APPROVAL

NOW THEREFORE, it is hereby resolved that the City Council of the City of Edina, approves the following guide plan amendment:

Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
<p>RM Regional Medical</p>	<p>Hospitals, senior housing*, medical and dental offices and clinics, and laboratories for performing medical or dental research, diagnostic testing, analytical or clinical work, having a direct relationship to the providing of health services. General office uses are permitted.</p> <p>* Senior housing shall be defined as: Independent living housing for seniors including assisted living, memory care, and skilled nursing.</p>	<p>Form-based design standards for building placement, massing and street-level treatment. Pedestrian circulation and open space amenities should be provided for larger sites.</p>	<p>Floor to Area Ratio - Per current Zoning Code: maximum of 1.0 for medical office uses. Density for senior housing shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p>
<p>HDR High-Density Residential</p> <p>HDR High-Density Residential</p>	<p>Existing “high-rise” and other concentrated multi-family residential, some of which may contain a mixed use component.</p> <p>May also include limited office, service or institutional uses primarily to serve residents’ needs, parks and open space</p> <p>* Senior housing shall be defined as: Independent living housing for seniors including assisted living, memory care, and skilled nursing.</p>	<p>Provide incentives for updating older multifamily buildings. Work to create an attractive, pedestrian-friendly street edge and provide convenient access to transit, schools, parks, and other community destinations.</p>	<p>12 - 30 units/acre Density for senior housing may be increased, based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density for senior housing would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p> <p>Floor to Area Ratio: per current Zoning Code*</p>

ATTEST: _____
Debra A. Mangen, City Clerk

James B. Hovland, Mayor

STATE OF MINNESOTA)
COUNTY OF HENNEPIN)SS
CITY OF EDINA)

CERTIFICATE OF CITY CLERK

I, the undersigned duly appointed and acting City Clerk for the City of Edina do hereby certify that the attached and foregoing Resolution was duly adopted by the Edina City Council at its Regular Meeting of August 5, 2013, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this ____ day of _____, 2013.

City Clerk



RESOLUTION NO. 2013-62

APPROVING PRELIMINARY REZONING TO AMEND THE PUD, PLANNED UNIT DEVELOPMENT - 3 ZONING DISTRICT AND PRELIMINARY DEVELOPMENT PLAN FOR AURORA INVESTMENTS AT 6500 FRANCE AND 4005 WEST 65TH STREET

BE IT RESOLVED by the City Council of the City of Edina, Minnesota, as follows:

Section 1. BACKGROUND.

1.01 Aurora Investments, LLC is requesting a rezoning from to amend the PUD-3, Planned Unit Development District to allow a five-story, 62-foot tall senior housing development at 6500 France Avenue and 4005 West 65th Street.

1.02 The property is legally described as follows:

All of Lot 4 and the Easterly 56.44 feet of Lot 3, Block 2 Southdale Office Park Second Addition, Hennepin County, Minnesota.

And

Lot 3, Block 2, except the Easterly 58.44 feet thereof, Southdale Office Park Second Addition, Hennepin County Minnesota.

1.03 On July 10, 2013, the Planning Commission considered the proposal, and a motion to approve the request, with added conditions failed. Vote: 4 Ayes and 5 Nays.

1.04 The applicant submitted revised plans on July 26, 2013, in an attempt to address concerns raised by the Planning Commission.

Section 2. FINDINGS

2.01 Approval is based on the following findings:

1. The proposed land uses are consistent with the Comprehensive Plan, assuming the Comprehensive Plan Amendment is approved.
2. The site layout would be an improvement over a site layout required by standard zoning; the building is brought up to the street, provides podium height, and front door entries toward the street, includes sidewalks to encourage a more pedestrian friendly environment along the street, provides underground parking, and provides an indoor pedestrian connection to the hospital.
3. The design of the building is of a high quality brick, architectural precast concrete, and glass, and is compatible with previously approved medical building.

4. Traffic would be improved in the area by eliminating the right-in and out access on France Avenue.
5. Based on the traffic study done by WSB, the existing roadways can support the proposed development. Traffic generated by the proposed project would be less than the approved medical building for the site.
6. The proposed project would meet the following goals and policies of the Comprehensive Plan:
 - a. Building Placement and Design. Where appropriate, building facades should form a consistent street wall that helps to define the street and enhance the pedestrian environment. On existing auto-oriented development sites, encourage placement of linear buildings close to the street to encourage pedestrian movement.
 - Locate prominent buildings to visually define corners and screen parking lots.
 - Locate building entries and storefronts to face the primary street, in addition to any entries oriented towards parking areas.
 - Encourage storefront design of mixed-use buildings at ground floor level, with windows and doors along at least 50% of the front façade.
 - Encourage or require placement of surface parking to the rear or side of buildings, rather than between buildings and the street.
 - b. Movement Patterns.
 - Provide sidewalks along primary streets and connections to adjacent neighborhoods along secondary streets or walkways.
 - Limit driveway access from primary streets while encouraging access from secondary streets.
 - Provide pedestrian amenities, such as wide sidewalks, street trees, pedestrian-scale lighting, and street furnishings (benches, trash receptacles, etc.)
 - c. Encourage infill/redevelopment opportunities that optimize use of city infrastructure and that complement area, neighborhood, and/or corridor context and character.
7. Higher densities are justified for the following reasons: The project would be connected to the Fairview Hospital by the second level skyway, tying the project to the Hospital; Senior Housing would generate less traffic than the approved medical building with retail on the site; existing roadways would support the project; adequate utilities are available to the site; convenient transit service is available for workers and residents; the building would include sustainable design principles; public art is proposed; affordable housing is offered; and primary parking would be below grade.

Section 3. APPROVAL

NOW THEREFORE, it is hereby resolved by the City Council of the City of Edina, approves the Preliminary Rezoning to amend the PUD-3, Planned Unit Development District and Preliminary Development Plan subject to the following conditions:

1. The Final Development Plan must be generally consistent with approved Preliminary Development Plans dated July 26, 2013; including construction of the skyway connection to the Fairview Hospital parking ramp.
2. A noise study must be done to demonstrate that the proposed mechanical equipment meets all noise regulations.
3. Sustainable design. The design and construction of the entire project must be done with the Sustainable Initiatives as outlined in the applicant's revised narrative.
4. All buildings must be built with sprinkler systems, subject to review and approval of the fire marshal.
5. Compliance with all of the conditions outlined in the director of engineering's memo dated July 2, 2013.
6. As part of a Developers Agreement the property owner would be required to participate in appropriate cost sharing for signal improvements at 65th Street and France Avenue.
7. Adoption and compliance with a PUD Ordinance for the site.
8. Affordable housing units shall be 10% of the assisted and independent units (11 units.)
9. Deliveries on the west side of the building shall be limited to 9:00 am to 4:00 pm.

Adopted by the city council of the City of Edina, Minnesota, on August 5, 2013.

ATTEST: _____
Debra A. Mangan, City Clerk

James B. Hovland, Mayor

STATE OF MINNESOTA)
COUNTY OF HENNEPIN)SS
CITY OF EDINA)

I, the undersigned duly appointed and acting City Clerk for the City of Edina do hereby certify that the attached and foregoing Resolution was duly adopted by the Edina City Council at its Regular Meeting of August 5, 2013, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this ____ day of _____, 2013.

City Clerk

**MINUTES OF THE
REGULAR MEETING OF THE PLANNING COMMISSION
CITY OF EDINA, MINNESOTA
CITY COUNCIL CHAMBERS
JULY 10, 2013
7:00 PM**

I. CALL TO ORDER

II. ROLL CALL

Answering the roll call were: Scherer, Schroeder, Potts, Platteter, Forrest, Grabel, Carpenter, Carr, Cherkassky, Kilberg Staunton

III. APPROVAL OF MEETING AGENDA

Commissioner Carpenter moved approval of the meeting agenda. Commissioner Platteter seconded the motion. All voted aye; motion carried.

IV. APPROVAL OF CONSENT AGENDA

Commissioner Scherer moved approval of the June 12 & 24, 2013 meeting minutes. Commissioner Carpenter seconded the motion. All voted aye; motion carried.

V. COMMUNITY COMMENT

None

VI. PUBLIC HEARINGS

-
- A. Comprehensive Plan Amendment, Preliminary Rezoning to Amend the PUD-3 Zoning District, Preliminary Development Plan. Mount Properties/Aurora Investments, 6500 France Avenue, Edina, MN**

Staff Presentation

Planner Teague informed the Commission they are being asked to consider a change to the proposal to redevelop the property at 6500 France Avenue. The previously approved plan for

the site was a five-story, 62-foot tall, 102,478 square foot medical office/retail building with an attached 4-5 level parking ramp.

Teague explained that Mount Development and Aurora Investments, LLC are requesting consideration of a change in use to 111 units of senior assisted living; 68 units of traditional care/skilled nursing and memory care beds and 18 care suites. The “care” suites would include short term stays by patients that have had surgery at Fairview Hospital or Twin City Orthopedic (TCO). The building would be similar in style from the previously approved building and still be five stories in height. A pedestrian skyway would connect the building to the hospital parking ramp to the north. The previously approved parking ramp would be removed and replaced with housing. The parking would be provided underground. There would be a 15,000 square foot reduction in the structure footprint from the previous plan.

To accommodate the request, an amendment to the Comprehensive Plan and an amendment PUD Zoning District would be required. Teague further explained that this development proposal is subject to a two-step review process. The first step in the process is to obtain the following approvals: A Comprehensive Plan Amendment to allow senior housing as a permitted use in the Regional Medical District, Preliminary Rezoning to amend the PUD, Planned Unit Development-3 Zoning District; and Preliminary Development Plan.

Teague stated the second step requires: Final Development Plan and Final Rezoning to amend the PUD-3 District and Zoning Ordinance Amendment establishing the PUD.

Teague asked the Commission to note that the applicant is also proposing to provide four (4) units of affordable housing through the Elderly Waiver program. The Planning Commission and City Council may wish to consider requiring additional affordable housing units, perhaps 10% of all the senior housing units, which would be a total of eighteen (18) units.

Planner Teague concluded that staff recommends that the City Council approve the request for a Comprehensive Plan Amendment to allow senior housing in the RMD District; and to potentially allow greater density for senior housing development under certain circumstances on a case by case basis based on the following findings:

1. Senior Housing is a compatible use with the Regional Medical District. It would provide seniors a benefit of having medical facilities within close proximity.
2. Densities for Senior Housing within the RMD & HDR Districts would be determined on a case by case basis, allowing the City some discretion as to when high density for senior housing may be appropriate. Densities for senior housing would be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.
3. In general, senior housing generates less traffic than all-age housing or medical office facilities.

Recommend that the City Council approve the Preliminary Rezoning to amend the PUD-3 District, and approve the Preliminary Development Plan.

Approval is also based on the following findings:

1. The proposed land uses are consistent with the Comprehensive Plan, assuming the Comprehensive Plan Amendment is approved.
2. The site layout would be an improvement over a site layout required by standard zoning; the building is brought up to the street, provides podium height, and front door entries toward the street, includes sidewalks to encourage a more pedestrian friendly environment along the street, provides underground parking, and provides an indoor pedestrian connection to the hospital.
3. The design of the building is of a high quality brick, architectural precast concrete, and glass, and is compatible with previously approved medical building.
4. Traffic would be improved in the area by eliminating the right-in and out access on France Avenue.
5. Based on the traffic study done by WSB, the existing roadways can support the proposed development. Traffic generated by the proposed project would be less than the approved medical building for the site.
6. The proposed project would meet the following goals and policies of the Comprehensive Plan:
 - a. Building Placement and Design. Where appropriate, building facades should form a consistent street wall that helps to define the street and enhance the pedestrian environment. On existing auto-oriented development sites, encourage placement of linear buildings close to the street to encourage pedestrian movement.
 - Locate prominent buildings to visually define corners and screen parking lots.
 - Locate building entries and storefronts to face the primary street, in addition to any entries oriented towards parking areas.
 - Encourage storefront design of mixed-use buildings at ground floor level, with windows and doors along at least 50% of the front façade.
 - Encourage or require placement of surface parking to the rear or side of buildings, rather than between buildings and the street.
 - b. Movement Patterns.
 - Provide sidewalks along primary streets and connections to adjacent neighborhoods along secondary streets or walkways.
 - Limit driveway access from primary streets while encouraging access from secondary streets.

- Provide pedestrian amenities, such as wide sidewalks, street trees, pedestrian-scale lighting, and street furnishings (benches, trash receptacles, etc.)
- c. Encourage infill/redevelopment opportunities that optimize use of city infrastructure and that complement area, neighborhood, and/or corridor context and character.
- 7. Higher densities are justified for the following reasons: The project would be connected to the Fairview Hospital by the second level skyway, tying the project to the Hospital; Senior Housing would generate less traffic than the approved medical building with retail on the site; existing roadways would support the project; adequate utilities are available to the site; convenient transit service is available for workers and residents; the building would include sustainable design principles; public art is proposed; affordable housing is offered; and primary parking would be below grade.

Preliminary approval is subject to the following conditions:

1. The Final Development Plan must be generally consistent with approved Preliminary Development Plans dated June 6, 2013; including construction of the skyway connection to the Fairview Hospital parking ramp.
2. A noise study must be done to demonstrate that the proposed mechanical equipment meets all noise regulations.
3. Sustainable design. The design and construction of the entire project must be done with the Sustainable Initiatives as outlined in the applicant's narrative within the Planning Commission staff report.
4. All buildings must be built with sprinkler systems, subject to review and approval of the fire marshal.
5. Compliance with all of the conditions outlined in the director of engineering's memo dated July 2, 2013.
6. As part of a Developers Agreement the property owner would be required to participate in appropriate cost sharing for signal improvements at 65th Street and France Avenue.
7. Adoption and compliance with a PUD Ordinance for the site.

Appearing for the Applicant

Stephen Michals, Mount Development Co., Ed Farr, Edward Farr, Edward Farr Architects, Susan Farr, Ebenezer and Luigi Bernardi, owner.

Discussion

Commissioner Carr said in reviewing the submitted materials it appeared to her that the description of Senior Housing includes independent living, assisted living, memory care, and

skilled nursing-Carr asked if any of the tenants of this facility would be under 55-years in age; and if so would that become an issue. Continuing, Carr said she assumes that this facility would allow those under 55 in need that need assisted living, adding clarification may be needed on the definition.

Commissioner Carpenter also noted in the Regional Medical District (RMD) senior housing isn't permitted. Planner Teague agreed, adding when this site was designated as RMD there was no thought of housing of any type in this area; therefore an amendment to the Comprehensive Plan is required

Commissioner Carr asked where the definition of affordable housing comes from. Planner Teague responded it was established by the Met Council.

Commissioner Potts also asked Planner Teague if the City has established a definition for sustainable design principles. Teague responded at this time there is no definition.

Chair Staunton asked Planner Teague if the amendment to the Comprehensive Plan for the previous proposal also included building height. Teague responded in the affirmative.

Commissioner Platteter asked Planner Teague if the ramp that was proposed for the previous approved project for the medical office building was include in the Floor Area Ratio (FAR), and if so would the FAR be similar. Teague responded the ramp was not included in FAR, adding he believes if the ramp were included the FAR would be greater than the FAR of the new proposal.

Applicant Presentation

Steve Michals thanked the Commission for their time and introduced the development team Ed Farr, Susan Farr and Luigi Bernardi.

Ed Farr addressed the Commission reporting that the proposal is for a senior care building that is 5-stories; plus one level of under-building parking at 228,842 square feet. Farr delivered a power point presentation including graphics indicating the building design presents an attractive façade using multiple colors of face brick, warm toned architectural precast concrete wall panels with a variety of surface finishes. Farr pointed out that the corner plaza area will offer outdoor seating coordinating with the City's initiative to upgrade the pedestrian experience. Concluding Farr stated that the NE building corner and France and 65th will still have its distinctive glazed backlit crown.

Steve Michals addressed the Commission and explained a number of the units would be high

end and include fireplaces. The building as proposed will contain interactive features such as dining, hair dresser, exercise facilities and theater. Michals said the dining and theater amenities have been offered for use to residents of the Point of France and Cornelia Place. Michals indicated this proposal is different from the previous proposal as it engages the street. This change is because of the change in use. Michals further explained that this project continues to support the pedestrian environment along France with flower gardens and sitting areas similar to the previously approved medical office building. Continuing, Michals said similar to the previously approved project green building practices would be incorporated throughout all phases of the project. Concluding, Michals stated this project would benefit the entire community by creating new jobs, new senior services, increased tax base and a reduction in traffic congestion

Commissioner Grabiell asked the status of the skyway; will it be built. Michals responded the skyway is part of the application and will be built.

Commissioner Carr reiterated the importance of the word "senior" per Ordinance amendment and questioned if that word could become problematic for them. Ms. Farr responded the average age of their residents is 82 years; however, she agreed that for the transitional care component there is no age requirement and they could be younger than the typically accepted 55 years and older for senior designation. Continuing, Farr said Ebenezer is very excited about this location, adding they have been in the senior care industry for over 100 years.

A discussion ensued on the affordability component of the project with Commissioners indicating they felt 4 units may not be sufficient.

Commissioner Platteter asked Mr. Farr if they are keeping the existing boulevard trees. Mr. Farr responded in the affirmative, adding one tree will be removed to accommodate the construction of skyway. Platteter asked if the podium height element is similar to the previous plan. Mr. Farr responded it is similar; on the third level.

Commissioner Potts questioned if (for this project) they would continue to work with Xcel Energy White Group; and if so; when the project is finalized provide measurability targets. Mr. Farr responded they would provide that information to the best of their ability at the time of final approval.

Chair Staunton opened the public hearing.

Public Comments

Maria Field, Heritage of Edina, addressed the Commission and stated in her opinion there are more than enough assisted living facilities in Edina. Field also stated from her experience traffic congestion will become an issue because there are many more deliveries to and from an assisted living care facility than people think (care givers, pharmacy deliveries, oxygen deliveries, etc.). Field asked the Commission to vote "No".

Kate Sones, Heritage of Edina, echoed Ms. Field that there are too many assisted living facilities within close proximity to each other.

Sandy Havet, Heritage of Edina, agreed with previous comments and reported she found there are 30 assisted living facilities within 10 miles of the subject site.

Bonnie Miller, Heritage of Edina, asked the Commission to vote Nay on the request, noting the impact from employee parking and traffic would be noticeable.

Patty Schumaker, Heritage of Edina, informed the Commission Heritage is one of the few assisted living facilities in the area that accepts affordable housing senior waivers.

Dale Johnson, 6566 France Avenue, #803, informed the Commission he sits on the Board of Directors for the Point of France and reported the Board hasn't conducted a formal survey soliciting residents opinion of the change in use; however, he learned from speaking with some residents that they were "fine" with the change in use; however, the density was too high.

Ralph Laiderman, 6566 France Avenue, #402, told the Commission in his opinion the proposed assisted living facility is too dense., adding this density is overbuilding on the lot, pointing out the building as proposed would have the highest density in the City. Laiderman also questioned if the proposed balconies meet setback requirements. Concluding, Laiderman asked the Commission to encourage plan revisions for a less dense assisted living facility.

Dalia Katz, 6566 France Avenue, #503, reported that she too believes the density is too high, adding she is very worried how the construction of this building would impact her property values. Katz stated this project will increase parking demand and she is concerned visitors to the new facility may use the parking lot for the Point of France.

Mary Kramer, 6566 France Avenue, #801 stated she believes as a result of the increased density traffic would increase, congestion would occur, including problems with parking. She explained she came face to face with the areas traffic congestion while attempting to cross France Avenue which resulted in an injury. Kramer read into the record a letter from Katherine Abbott, #308.

Craig Alshouse, The Craig Company, 1300 Willowbrook Drive, (property owner of Cornelia Place) told the Commission in his opinion the developer has done a good job with the building's

design, adding he also supports the use; however, has a number of issues because of the impact this building would have on his residents at Cornelia Place.

Alshouse said he sees three issues of concern. First issue building height; Alshouse said Cornelia Place residents were fine with the height of the approved parking ramp; however, if this proposal is approved as depicted the residents on the east would now be looking up, not down on a building and have expressed displeasure with this change. The second issue is the new location of the entrance for both delivery vehicles and residents. He added the previously approved plan had multiple entrances; not one and this change negatively impact residents. Alshouse noted the new delivery location will now be visible to Cornelia Place residents and the noise of these vehicles backing up would also be negative. Listening to beep beep beep all day from vehicles backing up would get very old fast. Alshouse also observed that the chillers have been relocated from the south side to the west (directly across from Cornelia Place), adding they "cry foul". Concluding, Alshouse stated that the third concern is density. The density as proposed is higher than anything he's seen in this area.

Ron Calin, 6566 France Avenue, #901, said he can't argue with the use; it's a good one; however, traffic congestion is a grave concern. The traffic that exists within this area is very complex and with the expansion of Fairview Southdale Hospitals emergency component traffic will only get worse.

Mark Waterston, 6566 France Avenue, #1203, stated he agrees with comments on traffic adding from the 12th floor he views the comings and goings of traffic. He pointed out the Hospital was "here first" and the additional traffic in this area would be felt.

Jean Emrich, 6566 France Avenue, #508, addressed the Commission and stated she also believes noise from the proposed new building would negatively impact residents of the Point of France. She acknowledged the residential component of the plan is good but with the beeping of service vehicles the quality of life for the Point of France residents would be compromised.

Nancy Otis, 6566 France Avenue, #1211, stated in her opinion the project is too big. She stated she is concerned with parking, traffic congestion and noise. She asked the Commission to force the development team to follow Code.

Lloyd Thorsen, 6566 France Avenue, #610, urged the Commission to reconsider the request and asked the Commission to consider the density of the proposed building, increase in traffic and the fact that in the very near future Fairview Southdale Hospital would be adding an addition. Concluding, Thorsen said this project would change the area.

Alan Erkie, 6566 France Avenue, #602, stated his view would be lost and the building is just too large for the space.

Susan Laiderman, 6566 France Avenue, #402 addressed the Commission and expressed her concern that the City of Edina doesn't have an ombudsman for residents of multiunit properties, pointing out Edina recently hired a residential Redevelopment Coordinator to monitor the R-1 and R-2 zoned properties. She pointed out residents of the Point of France pay taxes too and there is no one to advocate for us. Laiderman said she would submit to City Staff letters from other residents of the Point of France.

Chair Staunton thanked everyone for their participation in the public hearing process and asked if anyone else would like to speak to the issue; being none, Commissioner Grabiell moved to close the public hearing. Commissioner Platteter seconded the motion. All voted aye; public hearing closed.

Chair Staunton asked Chuck Rickart with WSB to speak to the issue of parking and traffic congestion.

Chuck Rickart acknowledged comments from those in the assisted living care industry and residents of the Point of France that traffic congestion is already an issue and this proposal would only add to it. Rickart said it's hard to reconcile the traffic analysis with what the neighbors stated. Rickart explained that traffic movements were evaluated for impacted intersections and the in/out to the site based on the existing conditions, projected 2014 build out and the projected 2030 build out. Levels of service were also monitored during both the AM and PM peak hours to include the daily traffic. The analysis also includes "use" and based on the studies it appears that traffic will increase; however, not at the rate of the previously approved medical office use proposal. Concluding, Rickart said at this time there are no recommendations for improvements to the France Avenue and 65th Street intersections; however should delays and queuing become an issue in the future the Aurora on France development would be responsible for their share of those improvements.

Commissioner Forrest said her concern is more with the new access to the site. She pointed out this one access will be used for everything from deliveries to visitors.

Chair Staunton commented that it appears from the traffic analysis that this proposal generates fewer movements than the past proposal. Rickart responded he agrees with that statement. Continuing, Staunton referred to the balconies and the possibility of their encroachment into the setback. Mr. Farr responded he believes the balconies "jut out" about 1 ½ feet, adding on the final plans the balconies will be addressed in greater detail. Planner Teague commented that "issue" would need further clarification to ensure variances aren't required.

Continuing, Staunton said the comments from Mr. Alshouse about the impact this proposal would have on Cornelia Place made sense. The tenants on the east end of that building will now overlook service areas and would be subjected to numerous beep beep beeps from vehicles backing up, adding it's quite a change from the previous proposal. Mr. Farr responded that most of the delivery vehicles will be at a smaller scale with minimum backup. Farr also pointed out the "Memory Garden" will be visible to the upper levels.

Commissioner Carr asked Mr. Farr if he ever considered accessing the loading area off West 65th Street. Farr responded that because of the grade he doesn't believe that movement could occur; however is willing to take another look at it.

Commissioner Platteter asked Mr. Farr how many service vehicle trips he expects per day/week. Mr. Farr said he believes the use will generate roughly 20 trips per week. Platteter agreed with Commissioner Carr's comment about relocating the loading dock area and also suggested limiting delivery hours. Ms. Farr interjected and explained that the majority of Ebenezer facilities limit delivery hours to daytime hours (9-4). Platteter asked Planner Teague if there was a way to ensure that at least for large vehicles that loading and unloading could occur only during regular business hours. Teague responded that condition could be part of the PUD conditions.

Commissioner Forrest asked Ms. Farr if she knows the number of workers a facility of this magnitude employs. Ms. Farr responded at this time she doesn't know the exact number; however, she reminded the Commission this facility operates 24/7 in three shifts.

The discussion focused on the relocation of the chillers with Commissioners agreeing that the relocation of the chillers from the south side to the west directly impacted the residents of Cornelia Place not only visually but from noise. Commissioners stated they also want assurances that the chillers meet noise standards. Commissioners also wondered if the chillers could be moved to another location (roof). Commissioner Scherer commented if they consider relocating the chillers to the roof to keep in mind those chillers need to be adequately screened.

Commissioner Grabiell stated he supports the proposal as submitted. He added he doesn't believe the Commission should interject their opinion on if there are "too many" senior housing facilities within a certain area any more than they would comment on if there are too many restaurants or drug stores within a certain area. Grabiell said there is a market demand for this product, reiterating he supports it. Concluding, Grabiell stated he feels the job of the Commission is to do what's best for the City.

Commissioner Schroeder stated his concern with this proposal is that it no longer engages or enhances the pedestrian experience. Schroeder pointed out the previously approved "store front" concept and public access has been completely eliminated. He explained because of this change nothing draws the public in; nothing is proposed to attract human activity. Continuing, Schroeder reiterated that the goal of the City has been to engage the street. Farr acknowledged there is a change because of the use, adding for security reasons he doesn't believe people can just "walk in" off the street. Farr also pointed out seating and landscaped areas remain and would engage the pedestrian. Schroeder said he doesn't agree this proposal is better for France Avenue.

Commissioner Potts said he agrees with Commissioner Schroeder, adding he also has concerns with the west side of the site and believes the proposal negatively impacts the residents of Cornelia Place. Potts stated redesign is needed; it's a good project; however, it's not there yet, adding he can't support the proposal as submitted.

Commissioner Forrest stated she likes the use; however, not at this location. She said she views this area as a premiere regional medical location. Forrest said she remembers when the building across the street was constructed that the expressed vision for this area was regional medical; not residential. Concluding, Forrest said amending the Comprehensive Plan to allow this use also isn't agreeable with her.

Commissioner Carpenter stated his concern is with the impact this proposal has on its neighbors; especially Cornelia Place.

Commissioner Carr stated there are pros and cons with this project; however at the end of the day is in favor of the proposal as submitted with additional conditions. Carr said in her opinion there is no reason to limit affordable housing to four units, the use of the word senior needs clarification, the chillers need to be relocated as per discussion and the setbacks for balconies need to be addressed.

Commissioner Scherer stated she has no issue with the proposed use or density and is not worried about precedent setting; however, she is very concerned with the negative impact this building design imposes on the residents of Cornelia Place. Scherer concluded in her opinion the change to them is radical.

Commissioner Platteter said he agrees with Commissioner Scherer's comments, adding if approved delivery times should be limited to daytime only.

Chair Staunton noted that there appears to be issues with the project and asked the applicant if they would like to continue this to allow time for redesign or vote on the issue. After further discussion the applicants requested a vote.

Motion

Commissioner Carr moved to recommend approval of an amendment to the Comprehensive Plan and amendment to the PUD Zoning District for 6500 France Avenue based on staff findings; subject to staff conditions with additional conditions 1) increase affordable housing units from 4 to 10%, 2) define what's meant by the word "senior", 3) address the setback issue with balconies, 4) relocate chillers as offered by Mr. Farr to the NE corner of the roof to include an attractive screen for the chillers. Commissioner Grabiell seconded the motion. Commissioner Platteter offered an amendment that deliveries be limited to daytime hours (9-4) this excluded emergency vehicles, and residents moving in and out. Amendment accepted.

Chair Staunton called the vote. Ayes; Carr, Platteter, Grabiell, Staunton. Nays; Scherer Schroeder, Carpenter, Potts, Forrest. Motion failed. 5-4

Chair Staunton thanked everyone for their participation.

VII. CORRESPONDENCE AND PETITIONS

Chair Staunton acknowledged back of packet materials.

VIII. CHAIR AND COMMISSION MEMBER COMMENTS

Commissioner Schroeder reported that he attended the France Avenue meeting discussion On urban design, adding he would continue to update the Commission on this committee.

Chair Staunton reported that the Living Streets committee is getting ready to T-up with Commissioner Carr expressing interest in joining the committee.

Chair Staunton reported the Grandview Committee will be "firing up" soon, adding he will keep the Commission apprised of how that is going.

Commissioner Platteter reminded the audience that the City Council will address the proposed Zoning Ordinance amendments on July 16th.

IX. STAFF COMMENTS

None.

X. ADJOURNMENT

Commissioner Carr moved meeting adjournment at 11:30 pm. Commissioner Platteter seconded the motion. Meeting adjourned.

Jackie Hoogenakker
Respectfully submitted