



To: MAYOR AND COUNCIL

Agenda Item #: VI.C.

From: Cary Teague, Community Development Director

Action

Discussion

Date: June 17, 2014

Information

Subject: PUBLIC HEARING – Final PUD Rezoning, Final Development Plan, Lennar Corporation, 6725 York Avenue, and 6712, 6708, 6704, 6700 and 6628 Xerxes Avenue., Res. No. 2014-69 and Ordinance No. 2014-6.

Action Requested:

Final Rezoning to PUD, Planned Unit Development District & Final Development Plan

Adopt Resolution No. 2014-69, approving the Final Rezoning to PUD, Planned Unit Development, and approve the Final Development Plan.

Waive second reading and approve Ordinance No. 2014-6 establishing the PUD-6 Zoning District.

Planning Commission Recommendation: On May 28, 2014 the Planning Commission recommended approval of the Final Rezoning and Final Development Plan; Vote: 5 Ayes, 0 Nays. (See attached Planning Commission minutes.) The Commission added two conditions:

1. The applicant work with staff to develop a landscape plan for boulevard areas and if any existing trees are lost, they be replaced.
2. No signage shall be allowed on Xerxes Avenue.

These two conditions were incorporated into Condition #2 and #8 in the approving Resolution No. 2014-69.

Staff Recommendation: Staff recommends approval of the Final Rezoning and Final Development Plan per the findings and conditions outlined in the attached Resolution.

Information/Background:

(Deadline for a City Council Decision – July 1, 2014)

Lennar Multifamily Communities, LLC is requesting final review for a proposal to tear down the existing retail building at 6725 York Avenue, and single family homes at 6712, 6708, 6704, 6700 and 6628 Xerxes Avenue, and build a six-story, 240 unit upscale apartment building with 11,500 square feet of retail on the first level. A parking lot is proposed in front of the retail store on York Avenue, with underground parking for residents provided under the apartments. Surface spaces would be available along the north and south lot lines for resident guests. (See location, narrative and plans on pages A1–A46 in the Planning Commission Staff Report, and larger scale plans in the attached development book.)

This request has received the following approvals from the City Council:

- Comprehensive Plan Amendment regarding land use, height and density;
- Preliminary Rezoning from PCD-3, Planned Commercial District and R-1, Single Dwelling Unit District to PUD, Planned Unit Development; and
- Preliminary Development Plan.

The proposed plans are consistent with the approved Preliminary Plans, including the revised plans submitted to the City Council on May 6th. (See minutes on pages A81k-A81n.) Revisions included moving the building 10 feet to the west away from Xerxes Avenue, reducing the square footage of retail space, and creating an additional setback of 8 feet on the top floor corners of the building on Xerxes.

(See attached Preliminary Development Plans on pages A52–A54.)

The following is therefore requested for this final review:

- Final Rezoning from PCD-3, Planned Commercial District and R-1, Single Dwelling Unit District to PUD, Planned Unit Development; (Including a Zoning Ordinance Amendment to establish the PUD Zoning District.) and
- Final Development Plan

The proposed plans are consistent with the approved preliminary development plans.

ATTACHMENTS:

- Resolution No. 2014-69
- Ordinance No. 2014 -6
- Planning Commission minutes, May 28, 2014
- Planning Commission staff report dated May 28, 2014



RESOLUTION NO. 2014-69

APPROVING FINAL REZONING FROM PCD-3, PLANNED COMMERCIAL DISTRICT AND R-1, SINGLE DWELLING UNIT DISTRICT TO PUD, PLANNED UNIT DEVELOPMENT AND FINAL DEVELOPMENT PLAN FOR 6725 YORK AVENUE AND 6712, 6708, 6704, 6700 AND 6628 XERXES AVENUE

BE IT RESOLVED by the City Council of the City of Edina, Minnesota, as follows:

Section 1. BACKGROUND.

- 1.01 Lennar Corporation is proposing to tear down the existing retail building at 6725 York Avenue, and single family homes at 6712, 6708, 6704, 6700 and 6628 Xerxes Avenue, and build a six-story, 240 unit apartment building with 11,500 square feet of retail on the first level.
- 1.02 The property is legally described as follows:
- See attached Exhibit A
- 1.03 To accommodate the request, the following land use applications are requested:
1. Final Rezoning from PCD-3, Planned Commercial District and R-1, Single Dwelling Unit District to PUD, Planned Unit Development; and
 2. Final Development Plan.
- 1.04 On April 9, 2014, the Planning Commission recommended denial of the Preliminary Rezoning and Preliminary Development Plan. Vote: 5 Ayes and 1 Nays. Denial was based on the layout of the project.
- 1.05 On April 30, 2014, Lennar submitted revised plans to address some of the project layout concerns raised by the Planning Commission.
- 1.06 On May 6, 2014, the City Council approved the Preliminary Rezoning and Preliminary Development Plan. Vote: 4 Ayes and 1 Nay.
- 1.04 On May 28, 2014, the Planning Commission recommended approval of the Final Rezoning and Final Development Plan. Vote: 5 Ayes and 0 Nays.

Section 2. FINDINGS

- 2.01 Approval is subject to the following findings:
1. The project is consistent with the approved Preliminary Development Plans.

2. The proposal would meet the purpose and intent of the PUD, as most of the above criteria would be met. The site is guided in the Comprehensive Plan as "Community Activity Center - CAC," which encourages a mixing of uses, including retail and multifamily residential. The proposed uses are therefore consistent with the Comprehensive Plan.
3. The project would create a pedestrian friendly development with extensive pedestrian paths planned for the site. Sidewalks would provide pedestrian connections for residents in the City of Richfield to Southdale.
4. Podium Height would be used on both York and Xerxes.
5. Sustainable design principles would be utilized. The proposed buildings would be a high quality brick, stone, precast concrete, metal and glass building. "Edina" limestone is proposed at the street level.
6. The PUD would ensure that the building proposed would be the only building built on the site, unless an amendment to the PUD is approved by City Council.
7. The proposed uses would fit in to the neighborhood. As mentioned, this site is guided in the CAC, Community Activity Center which encourages mixing land uses, including retail and multiple family residential, on one site.
8. The existing roadways would support the project. WSB conducted a traffic impact study, and concluded that the proposed development could be supported by the existing roads subject to conditions.
9. The proposed project would meet the following goals and policies of the Comprehensive Plan:
 - a. Building Placement and Design. Where appropriate, building facades should form a consistent street wall that helps to define the street and enhance the pedestrian environment.
 - b. Movement Patterns.
 - Provide sidewalks along primary streets and connections to adjacent neighborhoods along secondary streets or walkways.
 - A Pedestrian-Friendly Environment.
 - c. Encourage infill/redevelopment opportunities that optimize use of city infrastructure and that complement area, neighborhood, and/or corridor context and character.
 - d. Support and enhance commercial areas that serve the neighborhoods, the city, and the larger region.
 - e. Increase mixed use development where supported by adequate infrastructure to minimize traffic congestion, support transit, and diversify the tax base.
 - f. Increase pedestrian and bicycling opportunities and connections between neighborhoods, and with other communities, to improve transportation infrastructure and reduce dependence on the car.

- g. Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.
- h. Buildings should be placed in appropriate proximity to streets to create pedestrian scale. Buildings "step down" at boundaries with lower-density districts and upper stories "step back" from street.

Section 3. APPROVAL

NOW THEREFORE, it is hereby resolved by the City Council of the City of Edina, approves the Final Rezoning to PUD, Planned Unit Development and Final Development Plan subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, unless modified by the conditions below:
 - Site plan date stamped May 12, 2014.
 - Grading plan date stamped May 12, 2014.
 - Utility plan date stamped May 12, 2014.
 - Landscaping plan date stamped May 12, 2014.
 - Building elevations date stamped May 12, 2014
 - Building materials board as presented at the Planning Commission and City Council meeting.
2. Prior to issuance of a building permit, a final landscape plan must be submitted, subject to staff approval. The Final Landscape Plan must meet all minimum landscaping requirements per Section 36-1436 through 36-1462 of the City Code. The applicant must work with staff to develop a landscape plan for boulevard areas and if any existing trees are lost, they be replaced. Additionally, a performance bond, letter-of-credit, or cash deposit must be submitted for one and one-half times the cost amount for completing the required landscaping, screening, or erosion control measures.
3. Any plantings in the right-of-way of York Avenue must meet the requirements of Hennepin County.
4. The property owner is responsible for replacing any required landscaping that dies.
5. The Final Lighting Plan must meet all minimum requirements per Section 36-1260 of the City Code.
6. Submit a copy of the Nine Mile Creek Watershed District permit. The City may require revisions to the approved plans to meet the district's requirements.
7. Sustainable design principles must be used per the applicant narrative. Attempts must be made meet an energy savings goal of 10%.

8. All signage for the site must meet the underlying PCD-3 Zoning District regulations. No signage shall be allowed on the Xerxes side of the project.
9. Compliance with all of the conditions outlined in the director of engineering's memo dated April 2, 2014; including that all public utility easements shall be dedicated to the City.
10. At the time of building permit application, compliance with all of the conditions outlined in the chief building official's memo dated March 27, 2014.
11. Continue to work with Hennepin County to secure a left turn in lane from south bound York Avenue.
12. Approval of a Zoning Ordinance Amendment regarding consideration of R-1 property within a PUD, prior to final rezoning.
13. Final Rezoning is subject to a Zoning Ordinance Amendment creating the PUD, Planned Unit Development for this site.
14. Metropolitan Council approval of the City Council approved Comprehensive Plan Amendment regarding land use, height and density.

Adopted by the city council of the City of Edina, Minnesota, on June 17, 2014.

ATTEST: _____
Debra A. Mangen, City Clerk

James B. Hovland, Mayor

STATE OF MINNESOTA)
COUNTY OF HENNEPIN)SS
CITY OF EDINA)

CERTIFICATE OF CITY CLERK

I, the undersigned duly appointed and acting City Clerk for the City of Edina do hereby certify that the attached and foregoing Resolution was duly adopted by the Edina City Council at its Regular Meeting of June 17, 2014, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this ____ day of _____, 2014.

City Clerk

Exhibit A

DESCRIPTION OF PROPERTY SURVEYED

(Per Certificate of Title No. 1159936)

All that part of vacated West 67th Street dedicated in the plat of "York Terrace" lying West of a line drawn from the Southeast corner of Tract Q, Registered Land Survey No. 432 to the Northeast corner of Tract P of said Registered Land Survey and lying East of a line drawn from the Southwest corner of said Tract Q to the Northwest corner of Tract P; and

All that part of vacated York Avenue South, dedicated in the plat of "York Terrace", and all that part of Tract P, Registered Land Survey No. 432, and all that part of Tract F, Registered Land Survey No. 629, lying North of the following described line: Beginning at the Northwest corner of Lot 5, Block 2, "York Terrace", thence running Westerly parallel with the South line of vacated West 68th Street dedicated in the plat of "York Terrace", and its Westerly extensions to a point in the Westerly line of said Tract F, and there terminating, and all that part of said Tract F, all that part of Tract Q, Registered Land Survey No. 432, and all that part of vacated York Avenue South dedicated in the plat of "York Terrace", lying South of the following described line: Beginning at a point in the East line of said Tract Q, said point being 1.81 feet North of the Southeast corner of said Tract Q as measured along the East line thereof, thence running Westerly parallel with said South line of vacated West 68th Street and its Westerly extension to a point in the Westerly line of said Tract F, and there terminating.

AND

Lot 1, Block 2, "York Terrace"
(Certificate of Title No. 193410)

AND

Lot 2, Block 2, "York Terrace"
(Certificate of Title No. 1328257)

AND

Lot 3, Block 2, "York Terrace"
(Certificate of Title No. 1100460)

AND

Lot 4, Block 2, "York Terrace"
(Certificate of Title No. 1145680)

AND

Lot 5, Block 1, "York Terrace"
(Certificate of Title No. 1380227)

And part of vacated West 67^h Street per City Resolution Doc. No. 4734665

Property is located in Hennepin County, Minnesota.

PLANNING DEPARTMENT
MAR 03 2014
CITY OF EDINA

ORDINANCE NO. 2014-6

AN ORDINANCE AMENDING THE ZONING ORDINANCE
TO ESTABLISH THE PUD-6, PLANNED UNIT DEVELOPMENT-6
DISTRICT AT 6725 YORK AVENUE AND 6712, 6708, 6704, 6700,
AND 6628 XERXES AVENUE

The City Of Edina Ordains:

Section 1. Chapter 36, Article VIII, Division 4 is hereby amended to rezone the below described property to PUD, Planned Unit Development in accordance with the following:

Sec. 36-493 Planned Unit Development District-6 (PUD-6) – 6725 York Avenue

(a) *Legal description:*

(Per Certificate of Title No. 1159936)

All that part of vacated West 67th Street dedicated in the plat of "York Terrace" lying West of a line drawn from the Southeast corner of Tract Q, Registered Land Survey No. 432 to the Northeast corner of Tract P of said Registered Land Survey and lying East of a line drawn from the Southwest corner of said Tract Q to the Northwest corner of Tract P; and All that part of vacated York Avenue South, dedicated in the plat of "York Terrace", and all that part of Tract P, Registered Land Survey No. 432, and all that part of Tract F, Registered Land Survey No. 629, lying North of the following described line: Beginning at the Northwest corner of Lot 5, Block 2, "York Terrace", thence running Westerly parallel with the South line of vacated West 68th Street dedicated in the plat of "York Terrace", and its Westerly extensions to a point in the Westerly line of said Tract F, and there terminating, and all that part of said Tract F, all that part of Tract Q, Registered Land Survey No. 432, and all that part of vacated York Avenue South dedicated in the plat of "York Terrace", lying South of the following described line: Beginning at a point in the East line of said Tract Q, said point being 1.81 feet North of the Southeast corner of said Tract Q as measured along the East line thereof, thence running Westerly parallel with said South line of vacated West 68th Street and its Westerly extension to a point in the Westerly line of said Tract F, and there terminating.

AND

Lot 1, Block 2, "York Terrace"
(Certificate of Title No. 193410)

AND

Lot 2, Block 2, "York Terrace"
(Certificate of Title No. 1328257)

AND

Lot 3, Block 2, "York Terrace"
(Certificate of Title No. 1100460)

AND

Lot 4, Block 2, "York Terrace"
(Certificate of Title No. 1145680)

AND

Lot 5, Block 1, "York Terrace"

(Certificate of Title No. 1380227)

And part of vacated West 67h Street per City Resolution Doc. No. 4734665

Property is located in Hennepin County, Minnesota

- (b) **Approved Plans.** Incorporated herein by reference are the re-development plans received by the City on May 12, 2014 except as amended by City Council Resolution No. 2014-69, on file in the Office of the Planning Department.
- (c) **Principal Uses:**

All principal uses allowed in the PCD-3, Planned Commercial – 3 District (PCD-3) Multi-Family Residential
- (d) **Accessory Uses:**

All accessory uses allowed in the PCD-3, Planned Commercial District-3 (PCD-3)
- (e) **Conditional Uses:**

All conditional uses allowed in the PCD-3, Planned Commercial District-3 (PCD-3) except multifamily residential.
- (f) **Development Standards.** Development standards per the PCD-3 Zoning District, except the following:

Building Setbacks

<u>Building Setbacks</u> Front – York Avenue Front – Xerxes Avenue (Stories 1 & 2) (Porch) (Stories 3 – 6) (Porch/Deck Stories 3-6) Side – North Rear – South	 124 feet 47 feet 40 feet 55 feet 50 feet 36-58 feet 36-59 feet
Building Height	Six Stories & 68 feet*
Maximum Floor Area Ratio (FAR)	1.22%

- (g) Signs shall be allowed per the PCD-3 standards in Sec. 36-1714, with the exception that no signage shall be allowed on the Xerxes Avenue side of the development.

Section 3. This ordinance is effective immediately upon its passage and publication.

First Reading:

Second Reading:

Published:

ATTEST:

Debra A. Mangen, City Clerk

James B. Hovland, Mayor

Please publish in the Edina Sun Current on:

Send two affidavits of publication.

Bill to Edina City Clerk

CERTIFICATE OF CITY CLERK

I, the undersigned duly appointed and acting City Clerk for the City of Edina do hereby certify that the attached and foregoing Ordinance was duly adopted by the Edina City Council at its Regular Meeting of June 17, 2014, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this _____ day of _____, 2014.

City Clerk

**B. Final Rezoning and Final Development Plan. Lennar Multifamily Communities LLC
– 6725 York Avenue, 6628 Xerxes Avenue and 6700, 04, 08, 12 Xerxes Avenue,
Edina, MN**

Planner Presentation

Planner Teague informed the Commission that Lennar Multifamily Communities, LLC is requesting final review for a proposal to tear down the existing retail building at 6725 York Avenue, and single family homes at 6712, 6708, 6704, 6700 and 6628 Xerxes Avenue, and build a six-story, 240 unit upscale apartment building with 11,500 square feet of retail on the first level. A parking lot is proposed in front of the retail store on York Avenue, with underground parking for residents provided under the apartments. Surface spaces would be available along the north and south lot lines for resident guests.

Teague explained that this request has received the following approvals from the City Council: Comprehensive Plan Amendment regarding land use, height and density; Preliminary Rezoning from PCD-3, Planned Commercial District and R-1, Single Dwelling Unit District to PUD, Planned Unit Development; and Preliminary Development Plan.

Teague stated the proposed plans are consistent with the approved Preliminary Plans, including the revised plans submitted to the City Council on May 6th. Revisions included moving the building 10 feet to the west away from Xerxes Avenue, reducing the square footage of retail space, and creating an additional setback of 8 feet on the top floor corners of the building on Xerxes.

Planner Teague concluded that staff recommends that the City Council approve the Final Rezoning from PCD-3, Planned Commercial District to PUD, Planned Unit Development District and Preliminary Development Plan to tear down the existing retail building at 6725 York Avenue, and single family homes at 6712, 6708, 6704, 6700 and 6628 Xerxes Avenue and build a six-story, 240 unit apartment building with 11,500 square feet of retail on the first level subject to the following findings:

1. The project is consistent with the approved Preliminary Development Plans.
2. The proposal would meet the purpose and intent of the PUD, as most of the above criteria would be met. The site is guided in the Comprehensive Plan as “Community Activity Center – CAC,” which encourages a mixing of uses, including retail and multifamily residential. The proposed uses are therefore consistent with the Comprehensive Plan.
3. The project would create a pedestrian friendly development with extensive pedestrian paths planned for the site. Sidewalks would provide pedestrian connections for residents in the City of Richfield to Southdale.
4. Podium Height would be used on both York and Xerxes.
5. Sustainable design principles would be utilized. The proposed buildings would be a high quality brick, stone, precast concrete, metal and glass building. “Edina” limestone is proposed at the street level.
6. The PUD would ensure that the building proposed would be the only building built on the site, unless an amendment to the PUD is approved by City Council.

7. The proposed uses would fit in to the neighborhood. As mentioned, this site is guided in the CAC, Community Activity Center which encourages mixing land uses, including retail and multiple family residential, on one site.
8. The existing roadways would support the project. WSB conducted a traffic impact study, and concluded that the proposed development could be supported by the existing roads subject to conditions.
9. The proposed project would meet the following goals and policies of the Comprehensive Plan:
 - a. Building Placement and Design. Where appropriate, building facades should form a consistent street wall that helps to define the street and enhance the pedestrian environment.
 - b. Movement Patterns.
 - Provide sidewalks along primary streets and connections to adjacent neighborhoods along secondary streets or walkways.
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 - c. Encourage infill/redevelopment opportunities that optimize use of city infrastructure and that complement area, neighborhood, and/or corridor context and character.
 - d. Support and enhance commercial areas that serve the neighborhoods, the city, and the larger region.
 - e. Increase mixed use development where supported by adequate infrastructure to minimize traffic congestion, support transit, and diversify the tax base.
 - f. Increase pedestrian and bicycling opportunities and connections between neighborhoods, and with other communities, to improve transportation infrastructure and reduce dependence on the car.
 - g. Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.
 - h. Buildings should be placed in appropriate proximity to streets to create pedestrian scale. Buildings “step down” at boundaries with lower-density districts and upper stories “step back” from street.

Approval is also subject to the following Conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, unless modified by the conditions below:
 - Site plan date stamped May 12, 2014.
 - Grading plan date stamped May 12, 2014.
 - Utility plan date stamped May 12, 2014.
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2. Prior to issuance of a building permit, a final landscape plan must be submitted, subject to staff approval. The Final Landscape Plan must meet all minimum landscaping requirements per Section

36-1436 through 36-1462 of the City Code. Additionally, a performance bond, letter-of-credit, or cash deposit must be submitted for one and one-half times the cost amount for completing the required landscaping, screening, or erosion control measures.

3. Any plantings in the right-of-way of York Avenue must meet the requirements of Hennepin County.
4. The property owner is responsible for replacing any required landscaping that dies.
5. The Final Lighting Plan must meet all minimum requirements per Section 36-1260 of the City Code.
6. Submit a copy of the Nine Mile Creek Watershed District permit. The City may require revisions to the approved plans to meet the district's requirements.
7. Sustainable design principles must be used per the applicant narrative. Attempts must be made meet an energy savings goal of 10%.
8. All signage for the site must meet the underlying PCD-3 Zoning District regulations.
9. Compliance with all of the conditions outlined in the director of engineering's memo dated April 2, 2014; including that all public utility easements shall be dedicated to the City.
10. At the time of building permit application, compliance with all of the conditions outlined in the chief building official's memo dated March 27, 2014.
11. Continue to work with Hennepin County to secure a left turn in lane from south bound York Avenue.
12. Approval of a Zoning Ordinance Amendment regarding consideration of R-I property within a PUD, prior to final rezoning.
13. Final Rezoning is subject to a Zoning Ordinance Amendment creating the PUD, Planned Unit Development for this site.
14. Metropolitan Council approval of the City Council approved Comprehensive Plan Amendment regarding land use, height and density.

And recommend the City Council adopt the Ordinance Amendment establishing the PUD-6 Zoning District.

Appearing for the Applicant

Peter Chmielewski, Development Manager, Lennar Multi-Family Communities and Aaron Russeth, ESG Architects.

Applicant Presentation

Mr. Chmielewski addressed the Commission and delivered a power point presentation highlighting the revisions made to the plans; specifically pointing out the increased setback and the eroded building corners. Chmielewski introduced Aaron Russeth to further address the revisions.

Mr. Russeth told the Commission the architectural design and massing of the project is based on urban design which includes a large opening in the building mass breaking up the south façade allowing for both increased solar penetration and a view of a vegetative courtyard.

Continuing, Russeth said the project has a contemporary and new street expression. Russeth presented the materials board depicting building materials featuring transparent glass storefront, masonry, and "Edina" limestone at the street. He explained above will float a traditionally inspired composition of masonry, architectural metal and large amounts of glass.

Discussion

Commissioner Forrest said light pollution is important to her, adding she wants assurances that no lighting is directed toward the residential properties along Xerxes Avenue. Forrest further questioned if any signs, monument or otherwise, were proposed for the Xerxes streetscape. Mr. Russeth responded that the lighting proposed would be normal "street lighting" including sconce lighting for the "stoops" on the "townhouse" element. Forrest commented her concern was that the lighting would have more of a "retail feel". Russeth reiterated the lighting would be what one would expect in a residential setting not a retail setting. Mr. Chmielewski reported a monument sign is not proposed on Xerxes Avenue.

Continuing, Forrest asked the development team to emphasize public green space where appropriate. Mr. Chmielewski responded the area is designed with a community feel, adding their intent was to be part of the community and neighborhood.

Commissioner Schroeder asked what their intent was for the green space on the Xerxes side and if plantings were proposed on the public right-of-way. Mr. Russeth stated their intent is to elevate the "townhome" feel of the building on Xerxes with individual stoops including lighting; however the green space area would be a shared place for the entire building. Russeth said he can envision residents throwing a Frisbee, etc. in this common area. Continuing, Russeth said they didn't consider the boulevard area but would work with an arborist on what vegetation would work best there. Russeth acknowledged some boulevard trees do exist, adding they are committed to a tree line. Commissioner Schroeder commented in his opinion if any of the existing trees die during the construction phase they should to be replaced. Russeth responded that would make sense.

Commissioner Schroeder referred to sustainable design methods and noted when a PUD is requested the City is looking for items in the project that are extraordinary, adding in his opinion what he's viewed so far is good; but not extraordinary. Mr. Russeth responded that in his opinion the location of the project itself is extraordinary, adding the walkability and area transition adds to this project. Continuing, Russeth pointed out people are now renting by choice, adding this location offers its residents multiple amenities. Russeth further stated the project includes bus access, bike racks, bike storage, dedicated green space, integration of native landscaped environments, tree canopy, storm water management where currently there is none including treating and holding water, paint energy friendly, LED lighting, White Group input on heating and cooling, low flow showers, etc. Concluding, Russeth said a construction document would be created documenting all materials and taken in the project.

A discussion ensued on sustainable design features and how they are measured. It was observed that the PUD process is a flexible process; however the City hopes that developers

strive for a design plan that exceeds what is normally expected. Commissioners acknowledged that it is difficult to require projects to exceed code but the PUD process should offer the flexibility to reach higher than code.

Commissioner Forrest commented she would also like to see Lennar develop written tenant Sustainable and safe building practices.

Chair Staunton asked if the project includes an affordable housing component. Mr. Chmielewski responded that no affordable housing units are proposed. Continuing, Chmielewski said in discussions with Richfield it was found that Richfield would not support affordable housing units on this site.

Chair Staunton opened the public hearing.

Public Testimony

Jim Halvorson, 6700 Xerxes Avenue informed the Commission he has lived in Edina for 62-years and in his opinion this is the time to redevelop this area. Halvorson said in this instance an evolution of the area is occurring, adding no one is the enemy. There is a give and take between communities and taxes are generated by this project that benefits both cities.

Chair Staunton asked if anyone else would like to speak to the project; being none, Commissioner Platteter moved to close the public hearing. Commissioner Carr seconded the motion. All voted aye; motion carried.

Motion

Commissioner Platteter moved to recommend Final Rezoning and Final Development Plan approval based on staff findings and subject to staff conditions. Commissioner Carr seconded the motion.

Commissioner Schroeder offered an amendment to the motion adding to the conditions that the developer will work with City staff to develop a landscaping plan for the boulevard area and if any of the existing trees along the boulevard are lost as the result of construction that they be replaced.

Commissioner Forrest offered another amendment to include as a condition of approval that no signage; including monument be on Xerxes Avenue.

Commissioners Platteter and Carr accepted those amendments.

Chair Staunton stated he would be voting in favor of the development project. He noted in his opinion the plans have been revised addressing the concerns expressed by both the Commission and City Council. Continuing, Staunton said the Commission continues to be frustrated with the lack of traction on increased sustainable building practices. Staunton added he is also disappointed that affordable housing wouldn't be added in this project; however, he

believes the project on the whole is good for the City,

Commissioner Platteter said in his opinion this project will be good for the City of Edina. He noted the site sorely needs to be redeveloped and through the approval process the project has continually improved. Platteter said the amenities of the area are an excellent benefit to the future residents of this building, adding eliminating access from Xerxes Avenue and ensuring the project has a residential feel vs. a commercial feel is also positive.

Commissioner Carr stated she also supports the project and complemented all parties on the Process.

Chair Staunton called the Vote; Ayes, Schroeder, Forrest, Platteter, Carr, Staunton. Nay, none. Motion carried.5-0.

VII. REPORTS/RECOMMENDATIONS

A.,B.,C. Karen Kurt, Assistant City Manager. Wooddale/Valley View Small Area Plan.

Staff Presentation

Assistant Manager Kurt addressed the Commission and reported to the Commission the results of a Small Area Plan Survey she conducted in March. Kurt said she received responses from 21 individuals; seven responses were from Planning Commissioners, six from the Grandview Executive Committee, three from the City Council and five from Administration and Community Development Staff.



PLANNING COMMISSION STAFF REPORT

Originator Cary Teague Community Development Director	Meeting Date May 28, 2014	Agenda # VI.B.
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INFORMATION/BACKGROUND

Project Description

Lennar Multifamily Communities, LLC is requesting final review for a proposal to tear down the existing retail building at 6725 York Avenue, and single family homes at 6712, 6708, 6704, 6700 and 6628 Xerxes Avenue, and build a six-story, 240 unit upscale apartment building with 11,500 square feet of retail on the first level. A parking lot is proposed in front of the retail store on York Avenue, with underground parking for residents provided under the apartments. Surface spaces would be available along the north and south lot lines for resident guests. (See location, narrative and plans on pages A1–A46, and larger scale plans in the attached development book.)

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- Comprehensive Plan Amendment regarding land use, height and density;
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(See attached Preliminary Development Plans on pages A52–A54.)

The following is therefore requested for this final review:

- Final Rezoning from PCD-3, Planned Commercial District and R-1, Single Dwelling Unit District to PUD, Planned Unit Development;

(Including a Zoning Ordinance Amendment to establish the PUD Zoning District.) and

- Final Development Plan

The proposed plans are consistent with the approved preliminary development plans.

SUPPORTING INFORMATION

Surrounding Land Uses

- Northerly: Automotive Repair & McDonalds; zoned PCD-3, Planned Commercial District and guided Community Activity Center.
- Easterly: Single-Family Homes in the City of Richfield; these homes are zoned Single-Family Residential, but the Richfield Comprehensive Plan guides them for medium density, 7-12 units per acre. (See pages A82–A83.)
- Southerly: Shopping center including the Edina Liquor Store and Cub Foods; zoned PCD-3, Planned Commercial District and guided Community Activity Center.
- Westerly: Southdale; zoned PCD-3, Planned Commercial District and guided Community Activity Center.

Existing Site Features

The subject property is 4.61 acres in size, is relatively flat and contains a retail building with surrounding surface parking and five single family homes on the east side. (See pages A1–A3.)

Planning

- Guide Plan designation: CAC – Community Activity Center and LDR, Low Density Residential. (See page A4.)
- Zoning: PCD-3, Planned Commercial District & R-1, Single-Dwelling Unit District (See page A5.)

Site Circulation

Access to the site would be from York Avenue only. The curb cut to Xerxes has been eliminated. Both access points would be right-in and right-out only. WSB and Associates conducted a traffic study and recommends a left turn in to the site off York Avenue. (See page A67 and A72 of the traffic study.) The city would continue to work with Hennepin Country for approval of this

access. If Hennepin County does not approve the left turn in, the project would still work with the right-in and right-out movements.

Access into the two-level underground parking garage for the residential units would be from the north and south side of the building. The north entrance/exit would be to/from the lower level of the garage; and the entrance/exit on the south side would be to the main level.

Extensive pedestrian paths are planned for the site. A new north/south sidewalk, separated from the street, would be created along York Avenue; and a new north/south sidewalk, separated from the street would be built along Xerxes. (See page A17.) There would be five sidewalk connections into the site from the York Sidewalk; three into the retail space and proposed new building, and two that would extend all the way through the site to connect to the Xerxes sidewalk. This would provide Richfield residents a pedestrian connection to the Southdale area.

Traffic & Parking Study

WSB and Associates conducted a parking and traffic study. (See the attached study on pages A55–A76.) The Study concludes that the proposed development could be supported by the existing adjacent roadways and there would be adequate parking provided. As mentioned above, the traffic study recommends a left turn in to the site off York. (See page A67 and A72 of the traffic study.)

Landscaping

Based on the perimeter of the site, the applicant is required to have 48 over story trees and a full complement of under story shrubs. The applicant is proposing 59 over story trees, including existing and proposed. The trees would include a mixture of Maple, Elm, Birch, Honey Locust and Pine. (See pages A17–A19, and the development plan book.) A full complement of understory landscaping is proposed around the buildings. Any plantings in the right-of-way of York Avenue must meet the requirements of Hennepin County.

Loading Dock/Trash Enclosures

Loading for the retail space would take place in the front of the building or at the south side. Trash would be collected within the building and the garbage truck would pick up on the south side. The move in/trash and recycling area for the apartments would take place at the south side of the building as well.

Grading/Drainage/Utilities

The city engineer has reviewed the proposed plans and found them to be acceptable subject to the comments and conditions outlined on the attached page A85. Highlighted items include: a requirement for a developer's agreement for the placement of the public water main and sanitary sewer and for any other public improvements; connecting the water main to the Edina water distribution system, rather than both Edina and Richfield distribution systems; and SAC and WAC fees will be required. Any approvals should be conditioned on the conditions outline in the director of engineering's memo dated May 21, 2014.

Building/Building Material

The building would be constructed of high quality brick, architectural cast stone, stucco, fiber cement board and metal panels. "Edina" limestone is proposed at the street level. (See renderings on pages A11–A15.) A materials board would be presented at the Final Site Plan phase.

Signage

The underlying zoning of the property would be PCD-3, therefore, would be subject to signage requirements of that zoning district.

Setback from Single Family Homes

Within the underlying PCD-3 zoning district, the Edina City Code requires that buildings six stories tall be required to be setback twice the height of the building from the property line of single family homes. If the homes on the east side of Xerxes were in the City of Edina a 136-foot setback would be required from the six-story portion of the building. The six-story portion of the building would be setback 132 feet. (See page A20a.) The Richfield Comprehensive Plan guides those homes for medium density development at 7-12 units per acre, so the long term plan for that area is to be more densely developed, and not single-family homes. (See Richfield Comprehensive Plan on pages A82–A83.)

Shadow Study

The applicant completed a shadow study to determine impacts the height of the building might have on the surrounding area. (See pages A45–A46.) As demonstrated, the biggest impact would only be for a few hours roughly from 3-5pm in the winter months when shadows would be cast over the residential homes in Richfield.

Floor Area Ratio/Density

The proposed density of 52 units per acre would be on the high end of the end of the density range for the City's high density residential development as indicated in the table below. The site is however, located in the CAC, Community Activity Center, which is described as the most intense district in Edina. Floor area ratio (FAR) is the regulatory tool in the PCD-3 Zoning District regarding density.

Development	Address	Units	Units Per Acre
Yorktown Continental	7151 York	264	45
The Durham	7201 York	264	46
6500 France (Senior Housing)	6500 France	179	76
York Plaza Condos	7200-20 York	260	34
York Plaza Apartments	7240-60 York	260	29
Edina Place Apartments	7300-50 York	139	15
Walker Elder Suites	7400 York	72	40
7500 York Cooperative	7500 York	416	36
Edinburgh Condos	76xx York	392	36
South Haven	3400 Parklawn	100	42
69 th & York Apartments	3121 69 th Street	114	30

The applicant has attempted to address the density concern that was raised at the Sketch Plan and Preliminary review by reducing the number of units from 273 to 242, and now down to 240 units; and reducing the floor area ratio from 1.55 to 1.22.

As requested by the City Council, during the review of the 6500 France Avenue Senior housing, the following is a list of suburban examples of high density regulation and development in cities adjacent to Edina:

St. Louis Park. St. Louis Park allows densities within a PUD to be up to 75 units per acre in high density and mixed-use districts. Additionally, for PUD's in an office district, if there is a housing component as part of a mixed-use PUD, the City may remove the upper limit on residential density on a case-by-case basis. This happened recently within The West End Redevelopment project. "The Flats at the West End" has a density of 111 units per acre. It is 119 units on a 1.07 acre site.

Minnetonka. Minnetonka does not have a density cap within their Comprehensive Plan. They define high density residential as anything over 12 units per acre. Developments are then considered on a case by case basis. Factors that go in to the consideration include: environmental impacts/conditions such as wetlands, floodplain, steep slopes and trees; type of housing; provision of affordable housing; traffic impact; site plan; and surrounding area. Minnetonka does not have an example project similar to the one proposed here. Minnetonka is primarily made up of large lots, with mature trees wetlands and open space. However, their Comprehensive Plan does allow consideration of dense development.

Bloomington. The City of Bloomington allows up to 50 units per acre in general; however, in areas that are designated as "High Intensity Mixed Use with Residential" (HX-R District) an FAR minimum 1.5 with a max of 2.0) is required. The density may be increased if the following is provided: Below grade parking; provision of a plaza or park; affordable housing; sustainable design principles; provision of public art. With the exception of the park/plaza; the applicant is proposing all of the other items.

Bloomington has had three recent projects that have exceeded a 2.0 FAR: The Reflections condominiums along 34th Ave (95 units per acre); Summer House senior apartments at 98th and Lyndale (59 units per acre); and Genesee apartments at Penn and American Boulevard. (73 units per acre)

Given these examples of high density residential development in our surrounding cities, the proposed density would seem reasonable for this site, given its location in a commercial area, with convenient access to Metro Transit bus service.

Land Use

Within the City of Edina, the existing single family homes on this site are surrounded by commercial area that is guided as Community Activity Center. The only reason these are now guided for low density residential is because of the existing use. They are not uses compatible within the surrounding area within the City of Edina. The uses along Xerxes in the City of Edina typically do not have roadway access onto Xerxes. The proposed development is consistent with that, as the driveways to the existing single family homes would all be eliminated, and no new access would be created. The proposed land use is consistent with the uses allowed in the CAC.

Within the City of Richfield, the existing single-family homes are guided in the Richfield Comprehensive Plan for medium density at 7-12 units per acre. Therefore, Richfield's long term vision for this area also includes higher densities. (See pages A82–A83.)

Height

At Sketch Plan and Preliminary review, the Planning Commission and City Council expressed some concern in regard to six stories on the site, especially on the Richfield and Xerxes Avenue side of the site. Podium height was recommended to minimize the height. The applicant has both included a two-story podium on Xerxes, and has moved the building 22 feet back from the road. The setback proposed at Sketch Plan was 25 feet; the proposed setback is now 47 feet. The 3-6 story set back is proposed at 55 feet.

Podium height is also being proposed on the York Avenue side, by bringing the retail portion of the building closer to the street and stepping back the height into the site.

Planned Unit Development (PUD)

Section 36-253 of the Edina City Code provides the following regulations for a PUD:

- 1. Purpose and Intent. The purpose of the PUD District is to provide comprehensive procedures and standards intended to allow more creativity and flexibility in site plan design than would be possible under a conventional zoning district. The decision to zone property to PUD is a public policy decision for the City Council to make in its legislative capacity. The purpose and intent of a PUD is to include most or all of the following:**
 - a. provide for the establishment of PUD (planned unit development) zoning districts in appropriate settings and situations to create or maintain a development pattern that is consistent with the City's Comprehensive Plan;**
 - b. promote a more creative and efficient approach to land use within the City, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the City;**
 - c. provide for variations to the strict application of the land use regulations in order to improve site design and operation, while at the same time incorporate design elements that exceed the City's standards to offset the effect of any variations. Desired design elements may include: sustainable design, greater utilization of new technologies in building design, special construction materials, landscaping, lighting, stormwater management, pedestrian oriented design, and**

podium height at a street or transition to residential neighborhoods, parks or other sensitive uses;

- d. ensure high quality of design and design compatible with surrounding land uses, including both existing and planned;***
- e. maintain or improve the efficiency of public streets and utilities;***
- f. preserve and enhance site characteristics including natural features, wetland protection, trees, open space, scenic views, and screening;***
- g. allow for mixing of land uses within a development;***
- h. encourage a variety of housing types including affordable housing; and***
- i. ensure the establishment of appropriate transitions between differing land uses.***

The proposal would meet the purpose and intent of the PUD, as most of the above criteria would be met. The site is guided in the Comprehensive Plan as "Community Activity Center – CAC," which is described as the most intense district in terms of uses, height and coverage. Primary uses include retail and residential. Mixed uses are encouraged.

The proposal would be a mixture of use within the building with residential and retail. The site would be very pedestrian friendly with extensive pedestrian paths are planned for the site. A new north/south sidewalk, separated from the street, would be created along York Avenue; and a new north/south sidewalk, separated from the street would be built along Xerxes. There would be five sidewalk connections into the site from the York Sidewalk; three into the retail space and proposed new building, and two that would extend all the way through the site to connect to the Xerxes sidewalk. These sidewalks would provide pedestrian connections into the Southdale area for residents of Richfield.

As recommended in the Comprehensive Plan, and by the Planning Commission and City Council as part of the Sketch Plan review, podium height would be utilized on Xerxes Avenue to lessen impact to the single-family homes in Richfield. There would be two-story apartments close to Xerxes, with four additional stories stepped back into the site. The top corners of the sixth story also step back further.

The applicant is also proposing some sustainability principles within their project narrative. (See page A8.) The proposed buildings would be a high quality brick, stone, precast concrete, metal and glass building. "Edina" limestone is proposed at the street level. A green roof is featured. As has been the past practice for PUD's, the applicant should be required to attempt to meet an energy savings goal of 10%.

2. Applicability/Criteria

- a. Uses. All permitted uses, permitted accessory uses, conditional uses, and uses allowed by administrative permit contained in the various zoning districts defined in Section 850 of this Title shall be treated as potentially allowable uses within a PUD district, provided they would be allowable on the site under the Comprehensive Plan. Property currently zoned R-1, R-2 and PRD-1 shall not be eligible for a PUD.**

The proposed uses, retail and multiple-family residential housing are uses allowed in the Community Activity Center, as described in the Comprehensive Plan, and within the underlying PCD-3 Zoning District.

- b. Eligibility Standards. To be eligible for a PUD district, all development should be in compliance with the following:**
 - i. where the site of a proposed PUD is designated for more than one (1) land use in the Comprehensive Plan, the City may require that the PUD include all the land uses so designated or such combination of the designated uses as the City Council shall deem appropriate to achieve the purposes of this ordinance and the Comprehensive Plan;**

The site is guided in the Comprehensive Plan as "Community Activity Center – CAC," which encourages the mixing of retail and multi-family residential uses. The proposed plans are therefore, consistent with the land uses in Comprehensive Plan.

- ii. any PUD which involves a single land use type or housing type may be permitted provided that it is otherwise consistent with the objectives of this ordinance and the Comprehensive Plan;**

Again, the proposal is for a mixture of land uses.

- iii. permitted densities may be specifically stated in the appropriate planned development designation and shall**

***be in general conformance with the Comprehensive Plan;
and***

As indicated in the table earlier within this report, and the fact that the site is located in a commercial area on York Avenue, near Southdale, Metro Transit and an arterial roadway, the proposed density and FAR of 1.22 is appropriate for this site.

iv. the setback regulation, building coverage and floor area ratio of the most closely related conventional zoning district shall be considered presumptively appropriate, but may be departed from to accomplish the purpose and intent described in #1 above.

The following page shows a compliance table demonstrating how the proposed new building would comply with the underlying PCD-3 Zoning Ordinance Standards. Should the City rezone this site to PUD, the proposed setbacks, height of the building and number of parking stalls would become the standards for the lots. Please note that a few City Standards are not met under conventional zoning. However, by relaxing these standards, the purpose and intent, as described in #1 above would be met.

The site layout encourages pedestrian movement; would utilize podium height on both Xerxes and York, bringing two stories up to the street on Xerxes, and stepping back the mass of the building on York. The project would provide mixed use on one site.

The design of the building is of a high quality. Proposed materials include high quality brick, stone, precast concrete, metal and glass. "Edina" limestone is also proposed at the street level

The development would incorporate improved landscaping and green space within the development.

Compliance Table

	City Standard (PCD-3)	Proposed
<u>Building Setbacks</u>		
Front – York Avenue	76 feet	124 feet
Front – Xerxes Avenue (Stories 1 & 2) (Porch)	35 feet 35 feet	47 feet 40 feet
(Stories 3 – 6) (Porch/Deck Stories 3-6)	68 feet 58 feet	55 feet 50 feet
Side – North	68 feet	36-58 feet*
Rear – South	68 feet	36-59 feet*
Building Height	Four stories and 48 feet	Six Stories & 68 feet*
Maximum Floor Area Ratio (FAR)	1.0%	1.22%*
Parking Stalls	71 – retail 240 enclosed (residential)	133 spaces exterior (retail & guest parking) 291 stalls + 9 ADA
Parking Stall Size	8.5' x 18'	8.5 x 18'
Drive Aisle Width	24 feet	24 feet

** Variance would be required under PCD-3 Zoning*

PRIMARY ISSUES/STAFF RECOMMENDATION

Primary Issues

- **Is the PUD Zoning District appropriate for the site?**

Yes. Staff believes that the PUD is appropriate for the site for the following reasons:

1. The proposed plans are consistent with the plans approved as part the Preliminary Rezoning approval to PUD and approval of the Preliminary Development Plan.
2. As highlighted above on pages 8–10, the proposal meets the City's criteria for PUD zoning. In summary the PUD zoning would:
 - a. Provide a mixture of use within the building with residential and retail.

- b. Create a pedestrian friendly development with extensive pedestrian paths planned for the site. A new north/south sidewalk, separated from the street, would be created along York Avenue; and a new north/south sidewalk, separated from the street would be built along Xerxes. (See page A17.) There would be five sidewalk connections into the site from the York Sidewalk; three into the retail space and proposed new building, and two that would extend all the way through the site to connect to the Xerxes sidewalk. These sidewalks would provide pedestrian connections into the Southdale area for residents of Richfield.
 - c. Podium Height would be used on both York and Xerxes.
 - d. The applicant is also proposing some sustainability principles within their project narrative, including a green roof. (See page A8.) The proposed buildings would be a high quality brick, stone, precast concrete, metal and glass building. "Edina" limestone is proposed at the street level. (See pages A11–A15.)
 - e. Ensure that the building proposed would be the only building built on the site, unless an amendment to the PUD is approved by City Council.
 3. The proposed uses would fit in to the neighborhood. As mentioned, this site is guided in the CAC, Community Activity Center which encourages mixing land uses, including retail and multiple family residential, on one site.
 4. The existing roadways would support the project. WSB conducted a traffic impact study, and concluded that the proposed development could be supported by the existing roads subject to conditions. (See traffic study on pages A55–A76.)
 5. The proposed project would meet the following goals and policies of the Comprehensive Plan:
 - a. Building Placement and Design. Where appropriate, building facades should form a consistent street wall that helps to define the street and enhance the pedestrian environment.
 - b. Movement Patterns.
 - Provide sidewalks along primary streets and connections to adjacent neighborhoods along secondary streets or walkways.
 - A Pedestrian-Friendly Environment.

- c. Encourage infill/redevelopment opportunities that optimize use of city infrastructure and that complement area, neighborhood, and/or corridor context and character.
- d. Support and enhance commercial areas that serve the neighborhoods, the city, and the larger region.
- e. Increase mixed use development where supported by adequate infrastructure to minimize traffic congestion, support transit, and diversify the tax base.
- f. Increase pedestrian and bicycling opportunities and connections between neighborhoods, and with other communities, to improve transportation infrastructure and reduce dependence on the car.
- g. Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.
- h. Buildings should be placed in appropriate proximity to streets to create pedestrian scale. Buildings “step down” at boundaries with lower-density districts and upper stories “step back” from street.

Staff Recommendation

Rezoning

Recommend that the City Council approve the Final Rezoning from PCD-3, Planned Commercial District to PUD, Planned Unit Development District and Preliminary Development Plan to tear down the existing retail building at 6725 York Avenue, and single family homes at 6712, 6708, 6704, 6700 and 6628 Xerxes Avenue and build a six-story, 240 unit apartment building with 11,500 square feet of retail on the first level.

Approval is subject to the following findings:

1. The project is consistent with the approved Preliminary Development Plans.
2. The proposal would meet the purpose and intent of the PUD, as most of the above criteria would be met. The site is guided in the Comprehensive Plan as “Community Activity Center – CAC,” which encourages a mixing of uses, including retail and multifamily residential. The proposed uses are therefore consistent with the Comprehensive Plan.

3. The project would create a pedestrian friendly development with extensive pedestrian paths planned for the site. Sidewalks would provide pedestrian connections for residents in the City of Richfield to Southdale.
4. Podium Height would be used on both York and Xerxes.
5. Sustainable design principles would be utilized. The proposed buildings would be a high quality brick, stone, precast concrete, metal and glass building. "Edina" limestone is proposed at the street level.
6. The PUD would ensure that the building proposed would be the only building built on the site, unless an amendment to the PUD is approved by City Council.
7. The proposed uses would fit in to the neighborhood. As mentioned, this site is guided in the CAC, Community Activity Center which encourages mixing land uses, including retail and multiple family residential, on one site.
8. The existing roadways would support the project. WSB conducted a traffic impact study, and concluded that the proposed development could be supported by the existing roads subject to conditions.
9. The proposed project would meet the following goals and policies of the Comprehensive Plan:
 - a. Building Placement and Design. Where appropriate, building facades should form a consistent street wall that helps to define the street and enhance the pedestrian environment.
 - b. Movement Patterns.
 - Provide sidewalks along primary streets and connections to adjacent neighborhoods along secondary streets or walkways.
 - A Pedestrian-Friendly Environment.
 - c. Encourage infill/redevelopment opportunities that optimize use of city infrastructure and that complement area, neighborhood, and/or corridor context and character.
 - d. Support and enhance commercial areas that serve the neighborhoods, the city, and the larger region.
 - e. Increase mixed use development where supported by adequate infrastructure to minimize traffic congestion, support transit, and diversify the tax base.

- f. Increase pedestrian and bicycling opportunities and connections between neighborhoods, and with other communities, to improve transportation infrastructure and reduce dependence on the car.
- g. Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.
- h. Buildings should be placed in appropriate proximity to streets to create pedestrian scale. Buildings “step down” at boundaries with lower-density districts and upper stories “step back” from street.

Approval is subject to the following Conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, unless modified by the conditions below:
 - Site plan date stamped May 12, 2014.
 - Grading plan date stamped May 12, 2014.
 - Utility plan date stamped May 12, 2014.
 - Landscaping plan date stamped May 12, 2014.
 - Building elevations date stamped May 12, 2014
 - Building materials board as presented at the Planning Commission and City Council meeting.
2. Prior to issuance of a building permit, a final landscape plan must be submitted, subject to staff approval. The Final Landscape Plan must meet all minimum landscaping requirements per Section 36-1436 through 36-1462 of the City Code. Additionally, a performance bond, letter-of-credit, or cash deposit must be submitted for one and one-half times the cost amount for completing the required landscaping, screening, or erosion control measures.
3. Any plantings in the right-of-way of York Avenue must meet the requirements of Hennepin County.
4. The property owner is responsible for replacing any required landscaping that dies.
5. The Final Lighting Plan must meet all minimum requirements per Section 36-1260 of the City Code.

6. Submit a copy of the Nine Mile Creek Watershed District permit. The City may require revisions to the approved plans to meet the district's requirements.
7. Sustainable design principles must be used per the applicant narrative. Attempts must be made meet an energy savings goal of 10%.
8. All signage for the site must meet the underlying PCD-3 Zoning District regulations.
9. Compliance with all of the conditions outlined in the director of engineering's memo dated April 2, 2014; including that all public utility easements shall be dedicated to the City.
10. At the time of building permit application, compliance with all of the conditions outlined in the chief building official's memo dated March 27, 2014.
11. Continue to work with Hennepin County to secure a left turn in lane from south bound York Avenue.
12. Approval of a Zoning Ordinance Amendment regarding consideration of R-1 property within a PUD, prior to final rezoning.
13. Final Rezoning is subject to a Zoning Ordinance Amendment creating the PUD, Planned Unit Development for this site.
14. Metropolitan Council approval of the City Council approved Comprehensive Plan Amendment regarding land use, height and density.

PUD Ordinance

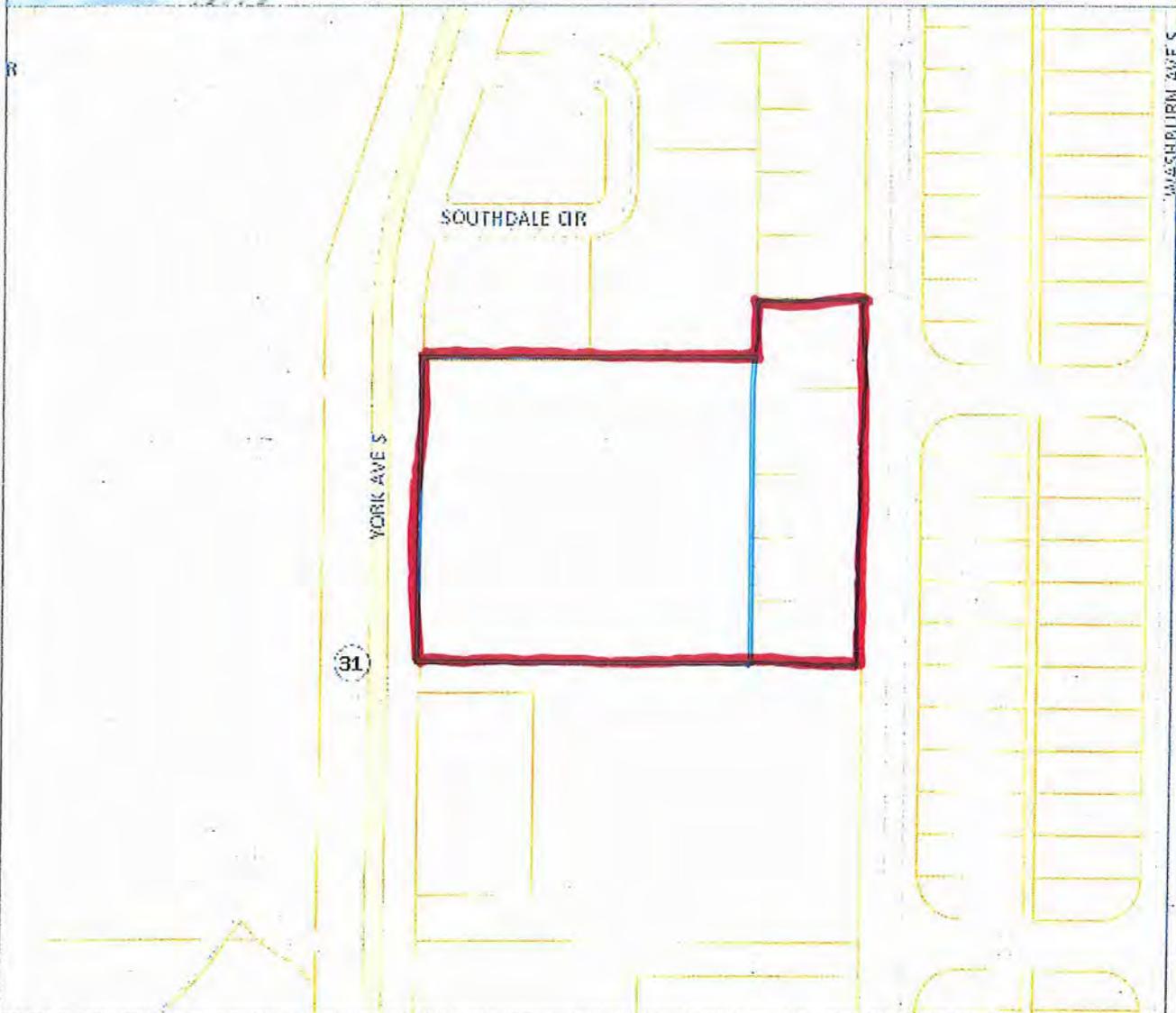
Recommend the City Council adopt the Ordinance Amendment establishing the PUD-6 Zoning District.

Deadline for a city decision: July 1, 2014



Interactive
Maps

Property Map



Parcel ID: 29-028-24-31-0003

Owner Name: Nha Birmingham Llc Et Al

Parcel Address: 6725 York Ave S
Edina, MN 55435

Property Type: Commercial-Preferred

Home-stead: Non-Homestead

Parcel Area: 3.33 acres
145,096 sq ft

Map Scale: 1" ≈ 200 ft.

Print Date: 8/21/2013



This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.

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AI



6725 York Avenue, Edina

Find a PID or an address on the map

Welcome

Results

PID: 2902824310003

6725 York Ave S
Edina, MN 55435

Owner/Taxpayer

Owner: Nha Birmingham Llc
Et Al

Taxpayer:

School Dist: 280

Sewer Dist:

Watershed Dist: 1

Parcel

Parcel Area: 3.33 acres
145,096 sq ft

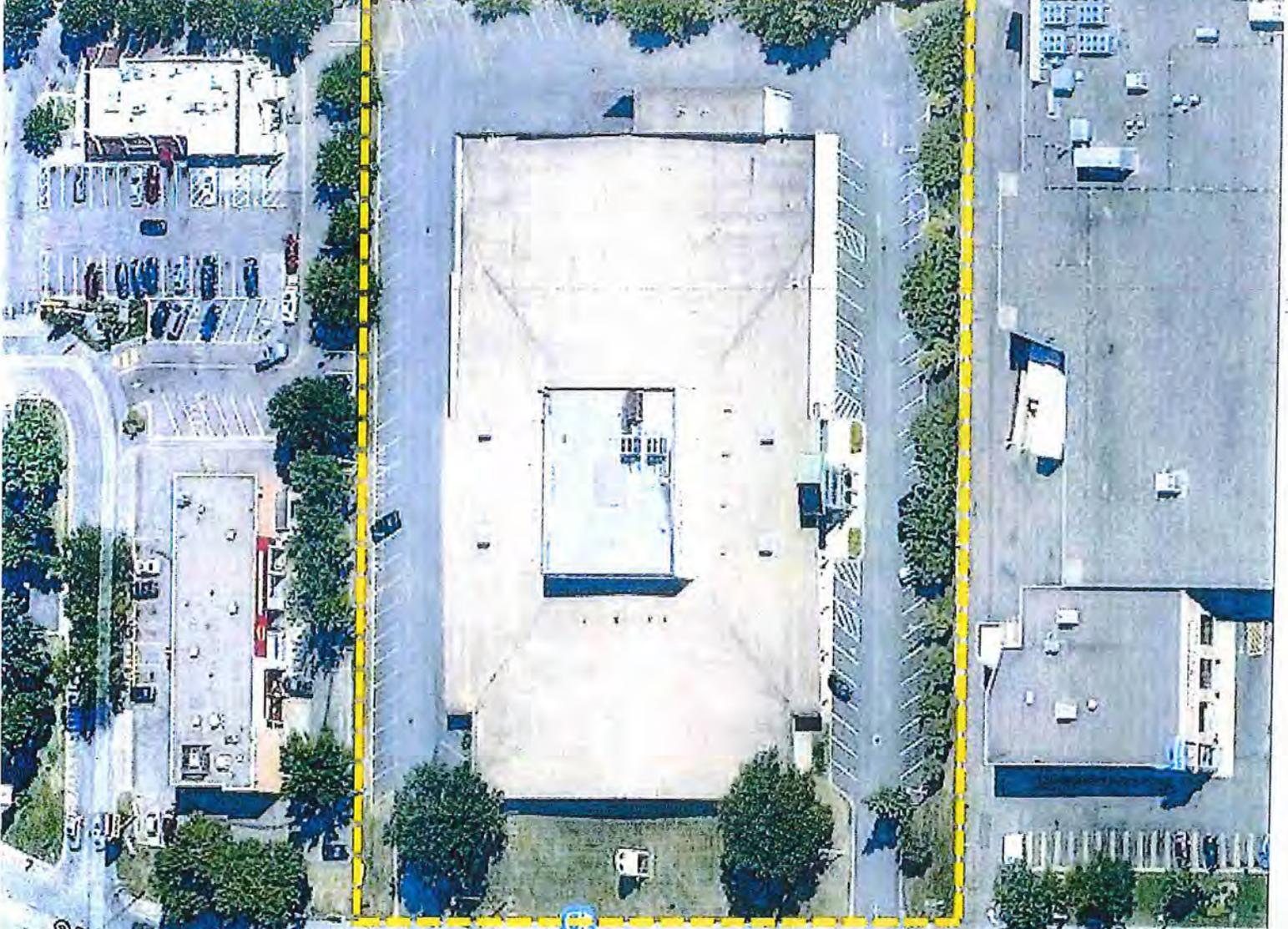
Legend

Measure

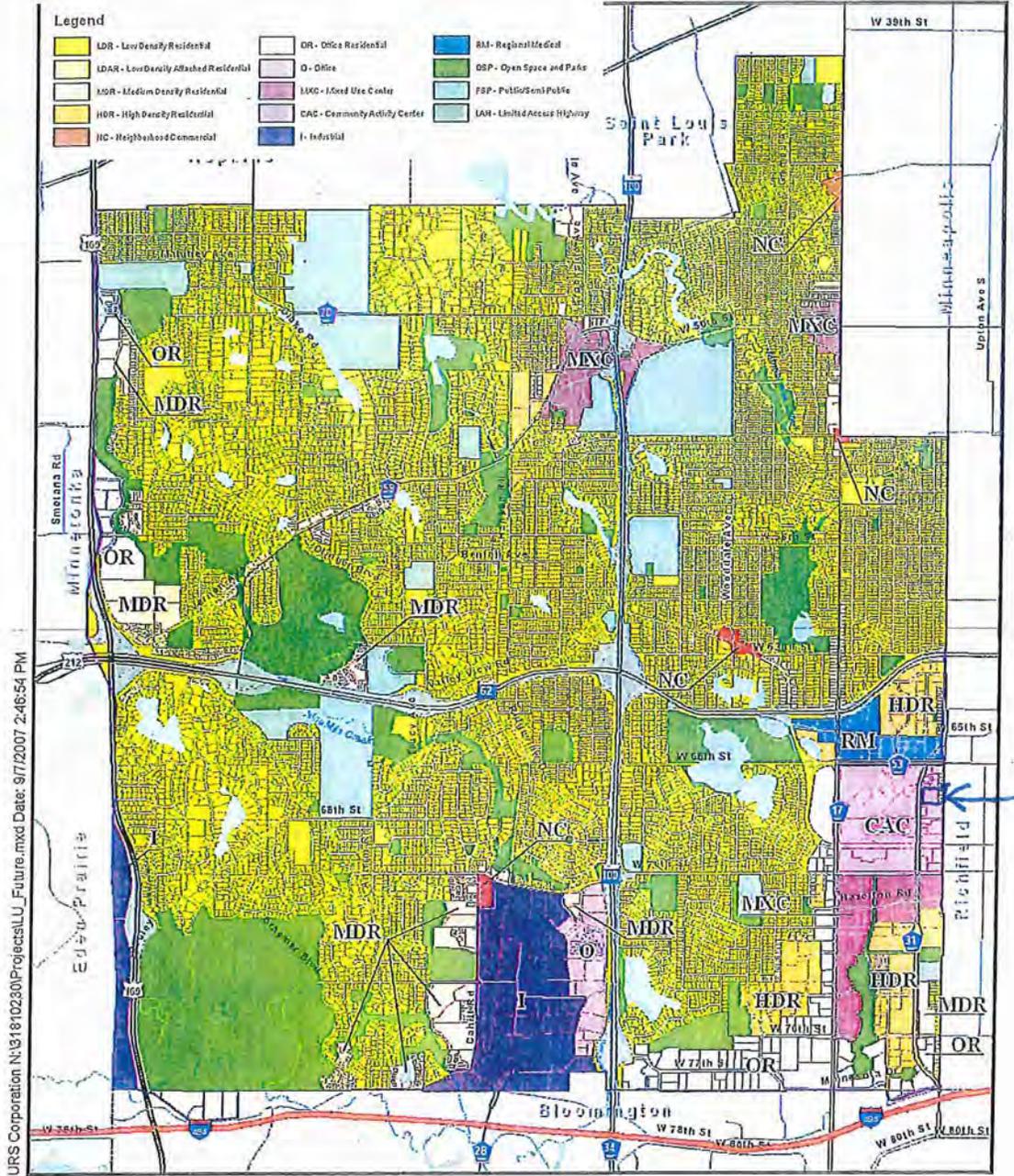


XERXES AVENUE

6628 6700 6704 6708 6712



YORK AVENUE

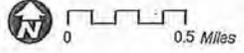


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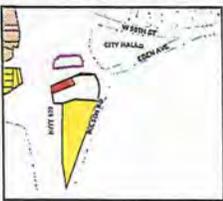
City of Edina
2008 Comprehensive Plan Update

Data Source: URS



 **Zoning Map**
City of Edina
Hennepin County, Minnesota

WILSON RD & EDEN AVE DETAIL



GRANDVIEW DETAIL



CAHILL RD & 70TH DETAIL



44TH & FRANCE DETAIL



50TH & FRANCE DETAIL



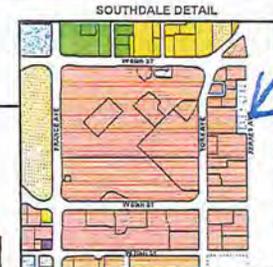
54TH & FRANCE DETAIL



VALLEY VIEW & WOODDALE DETAIL



70TH & FRANCE DETAIL



SOUTHDALE DETAIL

Legend

	B-1 Single Dwelling Unit Dist.		1 Church
	B-2 Double Dwelling Unit Dist.		2 City Buildings
	PDD-1 Planned Residence Dist.		7 Private School
	PDD-2 Planned Residence Dist.		4 Public School
	PDD-3 Planned Residence Dist.		
	PDD-4 Planned Residence Dist.		
	PDD-5 Planned Residence Dist.		
	PDD-6 Planned Residence Dist.		
	PDD-7 Planned Residence Dist.		
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	PDD-47 Planned Residence Dist.		
	PDD-48 Planned Residence Dist.		
	PDD-49 Planned Residence Dist.		
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	PDD-100 Planned Residence Dist.		



Planning Dept
November, 2012

Site



FINAL DEVELOPMENT PLAN – PROJECT NARRATIVE

6725 YORK AVENUE SOUTH, EDINA, MN 55435

Monday, May 12th, 2014

Team

DEVELOPER: LENNAR MULTIFAMILY COMMUNITIES, LLC (LMC)

Lennar Corporation (NYSE: LEN) is a Miami-based homebuilder founded in 1954, with a market capitalization of over \$8.6 billion. It has offices in 33 markets and 16 states, and employs approximately 5,750 associates nationwide. In mid-2011, Lennar created **Lennar Multifamily Communities, LLC (LMC)**, a company that specializes in the development, management, construction, and ownership of Class A multifamily communities across the nation. LMC's core vision is to work in top tier cities with top tier architects to create luxury condominium quality rental communities. Since its founding, LMC has attracted an outstanding team of seasoned professionals, has purchased 12 sites and contracted for 16 more. Eleven projects are under construction and the company has plans to start 20 more projects in 2014. LMC's pipeline includes over 16,000 units and \$3.9 billion in total development cost. Beyond the numbers, LMC is led by professionals that are passionate about creating vibrant communities that positively impact not only the residents, but also the surrounding communities that we become an integral part of.

ARCHITECT: ELNESS SWENSON GRAHAM ARCHITECTS (ESG)

Since our founding in 1970, **Elness Swenson Graham (ESG) Architects** has helped our clients create environments for business, community and leisure. In doing so, we have gained the experience and ability to deliver high quality designs for many building types. But this alone is not enough to achieve our mission. The essence of ESG is more than just architecture and buildings. Throughout our entire time, our commitment to enriching our built environment has remained steadfast. It's a commitment that drives us to go beyond the expected to deliver the superior, the timeless, the memorable and the unique; to create environments that capture the human spirit and uplift our lives. This is what we do best. We strive to combine our clients' needs and stewardship for the environment with our knowledge of buildings, markets and culture to deliver uplifting and forward-looking design solutions.

The experience derived from our work allows us to offer each client a great breadth of informed and integrated services. We bring holistic solutions to complex problems. We create truly unique environments that enhance our communities and help our clients successfully pursue their goals in the development and construction industries.

ESG is committed to creating communities that are both memorable and practical. We breathe life and vitality into our new urban environments.

For generations outside our core cities, our society has created single purpose neighborhoods that isolate us from one another and separate us from our workplaces and shopping marts. In so doing, we have placed incredible strains on our infrastructure and resources. Today we want more. We want to build real communities and promote stewardship for our land. We want to live close to our workplaces and close to others. We want to eat out more, to walk to shops, to sit outside in a pleasant, vibrant, safe environment made up of diverse buildings, diverse people, and great public places.

Staying ahead of the market - Residential Communities and Community Planning

Whether it is on a single site or a large parcel, multi-family residential development has long been a large part of our built environment. Housing is a forceful driver of new development and will remain so as long as our population continues to grow. But our lifestyles evolve and our sensibilities toward land development change. This creates new demands for new residential paradigms. Many people are moving back to the city in large numbers. They wish to live in walkable communities. They now seek vital, 24 hour neighborhoods where they can find the amenities and conveniences of a more urban lifestyle. By advocating for New Urban principles, our Residential Studio has propelled ESG to regional and national prominence. Our portfolio of completed work illustrates these principles and highlights the value that high quality design brings to reshaping our neighborhoods and cities.

Project Purpose and Vision

The purpose and vision for this multifamily development in Edina is to create a high-end luxury rental community with complimentary retail. This complimentary high-end retail tenant(s) (such as a high end restaurant, food service, health club, or other community based retail tenant(s)) will flourish with the other shopping opportunities along York Avenue while also adding an incredible lifestyle value to the residents of the building. This development will give Edina residents a wonderful living option as they downsize, retire, move, etc. while still staying in the community they love. The project will also establish a better utilization for the Wickes furniture site and eliminate the existing dated structure. We strongly believe that this project will become a catalyst for future redevelopment opportunities for other properties going North along York Avenue. The strong pedestrian connection and community terraces will dramatically enhance the walkability of this area with connection into and throughout the site. Special attention has been paid toward the building materials and massing to properly fit within this community; creating a place that is "Pure Edina" by incorporating elements from the surrounding areas such as the limestone that is on City Hall and other Edina structures.

Architectural Description

The architectural design and massing of this project is based on guidance from urban design and architectural design principles developed in the City of Edina's land use plans and timeless city building strategies. The design and massing creates a new fabric and a better street definition along York and Xerxes Avenues. A large opening in the building mass breaks up the south façade and allows for both increased solar penetration and a view enriching vegetative courtyard.

The architectural expression and materials of this project will incorporate contemporary materials and façade composition. The building materials will feature a transparent glass storefront, masonry, and "Edina" limestone at the street level, above which will float a traditionally inspired composition of masonry, architectural metal, and large amounts of glass.

Special attention has been paid toward proper setbacks, material usage, landscaping, and privacy along Xerxes Avenue where our development is adjacent to the single family residential community. Building design details include a dark, grounding two-story podium, segmented to reflect the scale of the homes across the street, an active street level with walk-up units, expressed with a front porch entry design, the creation of three-story bays to create plane changes and additional stepping in the facade, and color and material changes reducing the appearance of height.

Streetscape and Public Realm

The design of this development features streetscape improvements including new pavement, street trees, and lighting. The groundscape will feature green landscape elements, high quality pavement, pedestrian gathering and sitting areas, and decorative lighting. The sidewalks will wrap the entire site allowing neighboring properties a through-way access from York Avenue to Xerxes. This pedestrian connection will also create a one-third mile walking path around the site as a safe walking path for residences and the community. Distinct nodes will be linked to these sidewalks as community terraces. These nodes will both highlight the residential entrance and commercial tenant on each side of the facade facing York Avenue. Safety of pedestrians walking along York will be improved with a landscaped buffer and increased sidewalk width.

Green and Sustainable Features

The key sustainability strategy for this project is to create an urban mixed-use, pedestrian friendly community that allows residents to live, work, and play without dependence on daily automobile usage. The mixed use development will include a complimentary retail tenant to the residential tenants. The development team is committed to the sustainable design principles reflected in the City's comprehensive plan. Our sustainable design mission is to promote livable communities through the use of energy efficient systems, green building practices, reduced dependency on automobiles, creative density, high quality pedestrian and bicycle public realm, and the preservation of natural resources. The project will feature a series of green elements including green construction practices, materials specification, thermal high-efficiency windows and exterior envelope, and numerous permeable planted green spaces both on the site as well as on the amenity level roof.

6725 YORK AVE.
EDINA, MN



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EDINA, MN 55425
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CONSTRUCTION

CITY OF EDINA
FINAL
DEVELOPMENT
PLAN APPROVAL
05/12/2014

PROJECT NO. 14-011
PROJECT NAME
NO. DESCRIPTION DATE

7.1.1.1.1
PROJECT NAME
ADDRESS CITY STATE ZIP

6725 YORK AVE.

PERSPECTIVE VIEWS
A0.3



PERSPECTIVE FROM NW

All



PERSPECTIVE FROM SW

21X

PERSPECTIVE FROM SE



PERSPECTIVE FROM NE

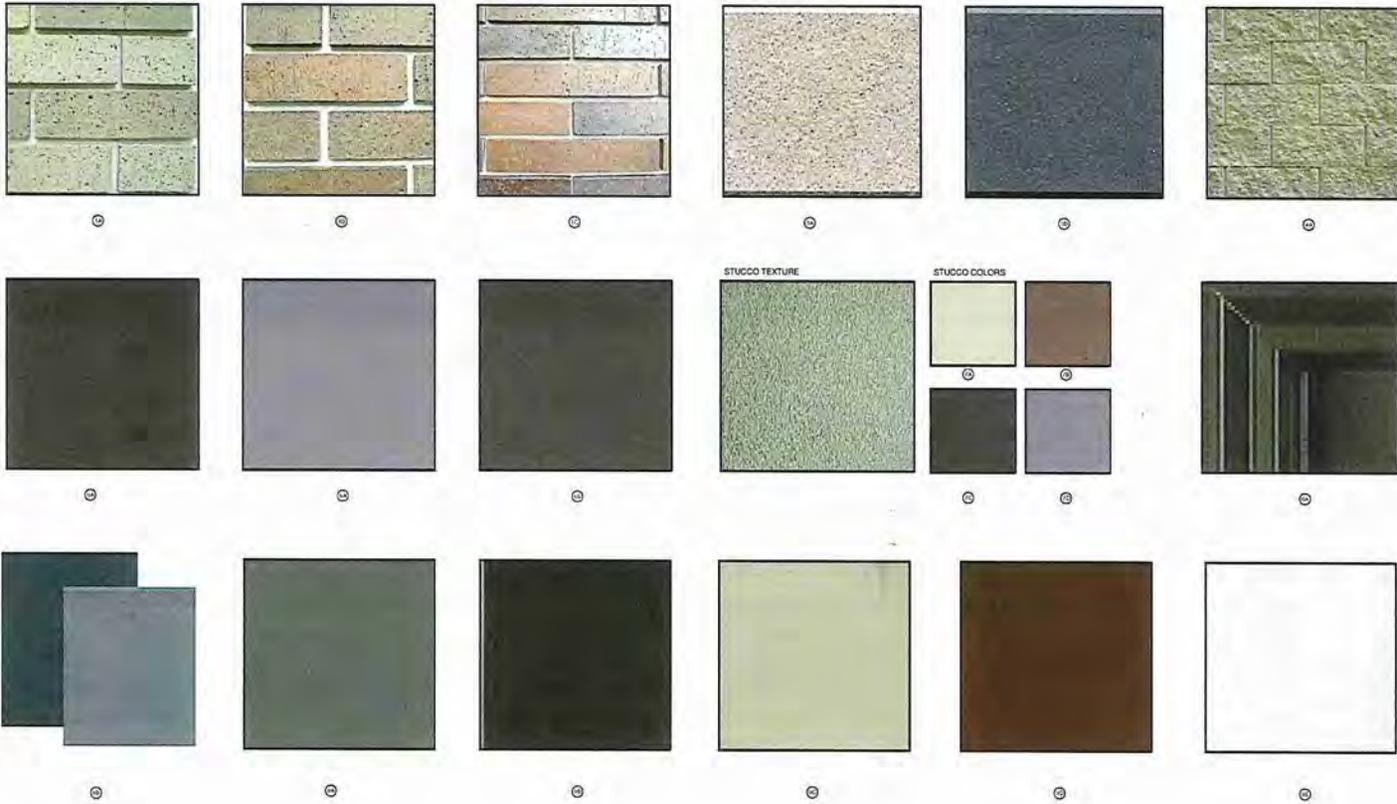


<p>6725 YORK AVE.</p> <p>PERSPECTIVE VIEWS</p> <p>A0.4</p>	<p>313506</p> <p>11/15/14</p> <p>ALBERT L. COOPER</p> <p>ARCHITECT</p>	<p>6725 YORK AVE.</p> <p>EDINA, MN</p> <p>NO. DEVELOPER</p> <p>DATE</p>	<p>ORIGINAL PLAN - 05/12/2014</p> <p>DEVELOPMENT</p> <p>FINAL</p> <p>PLAN APPROVAL</p> <p>05/12/2014</p> <p>CITY OF EDINA</p>
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NOT FOR CONSTRUCTION

1.000 ARCHITECTURAL RENDERING
 2.000 EXTERIOR ELEVATIONS
 3.000 INTERIOR ELEVATIONS
 4.000 SECTION AND DETAIL DRAWINGS
 5.000 LAYOUT AND FINISH SCHEDULES
 6.000 MECHANICAL, ELECTRICAL AND PLUMBING
 7.000 STRUCTURAL DRAWINGS
 8.000 CIVIL AND LANDSCAPE ARCHITECTURE
 9.000 SPECIALTY TRADES DRAWINGS
 10.000 CONSTRUCTION ADMINISTRATION





EXTERIOR FINISHES

- 1A BRICK #1 - YELLOW
- 1B BRICK #2 - TAN
- 1C BRICK #3 - REDDISH BROWN
- 1D ARCHITECTURAL CAST STONE - CREAM
- 1E ARCHITECTURAL CAST STONE - BLACK
- 1F ARCHITECTURAL CAST STONE - GRAY
- 1G ARCHITECTURAL CAST STONE - BROWN
- 1H ARCHITECTURAL CAST STONE - BRONZE
- 1I ARCHITECTURAL CAST STONE - BRONZE
- 1J ARCHITECTURAL CAST STONE - BRONZE
- 1K ARCHITECTURAL CAST STONE - BRONZE
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- 1V ARCHITECTURAL CAST STONE - BRONZE
- 1W ARCHITECTURAL CAST STONE - BRONZE
- 1X ARCHITECTURAL CAST STONE - BRONZE



Edina Express Station Architects
1500 Washington Avenue South
Minneapolis Minnesota 55415
612.338.5822
www.edinaexpress.com

1. General notes: see the specifications for
2. Material samples are for reference only and
3. are not to be used for construction
4. without the approval of the architect
5. unless otherwise noted

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REFERENCE
ONLY**

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CONSTRUCTION**

CITY OF EDINA
FINAL
DEVELOPMENT
PLAN APPROVAL
05/12/2014

REVISIONS:	DATE
No. Description	Date

PROJECT NO. 131506
PROJECT NAME: ...
DATE: 05/12/2014

6725 YORK AVE.
EXTERIOR BUILDING MATERIALS
A0.5

A13

A14

NOTE: COLORED ELEVATIONS FOR REFERENCE ONLY - SEE SHEET A3.1 FOR NOTED EXTENSION ELEVATIONS



<p>A3.3</p> <p>EXTERIOR ELEVATIONS - COLOR</p> <p>6725 YORK AVE.</p>
<p>DATE: 05/12/2014</p> <p>PROJECT: 6725 YORK AVE.</p> <p>CLIENT: CITY OF EDINA</p>
<p>NO. DESCRIPTION</p> <p>REVISIONS</p> <p>GENERAL NOTE: SEE SHEET A3.1 FOR NOTED EXTENSION ELEVATIONS</p>
<p>CITY OF EDINA</p> <p>FINAL</p> <p>DEVELOPMENT</p> <p>PLAN APPROVAL</p> <p>05/12/2014</p>

ISSUED FOR REFERENCE ONLY

NOT FOR CONSTRUCTION

6725 YORK AVE.

EDINA, MN

55425

DATE: 05/12/2014

PROJECT: 6725 YORK AVE.

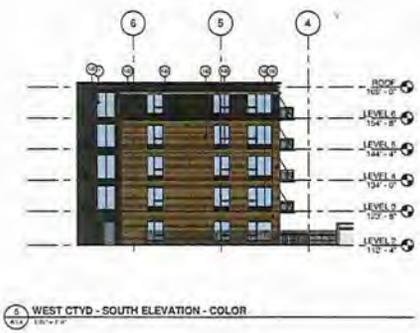
CLIENT: CITY OF EDINA



EXTERIOR MATERIAL KEYNOTES	
1A	BRICK #1 YELLOW
1B	BRICK #2 TAN
1C	BRICK #1 REDDISH BROWN
2A	ARCHITECTURAL CAST STONE - CREAM
2B	ARCHITECTURAL CAST STONE - BLACK
3A	ROCK FACE BLOCK
3B	METAL PANEL #1 DARK BRONZE
3C	METAL PANEL #2 DARK BRONZE
3D	METAL PANEL #3 DARK BRONZE
3E	METAL PANEL #4 DARK BRONZE
3F	METAL PANEL #5 DARK BRONZE
3G	METAL PANEL #6 DARK BRONZE
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6725 YORK AVE. EDINA, MN 55425
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CITY OF EDINA
 FINAL DEVELOPMENT PLAN APPROVAL
 05/12/2014

ORIGINAL ESD: 12/15/13
 REVISIONS:
 No. Description Date

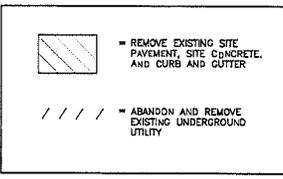
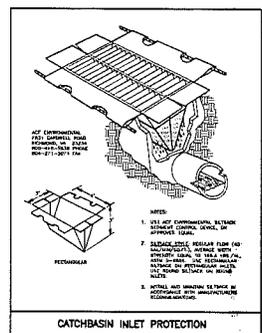
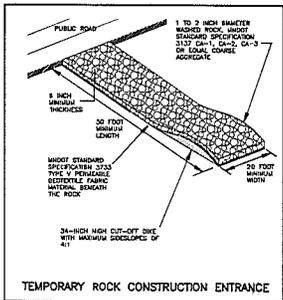
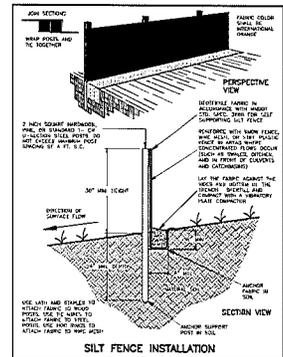
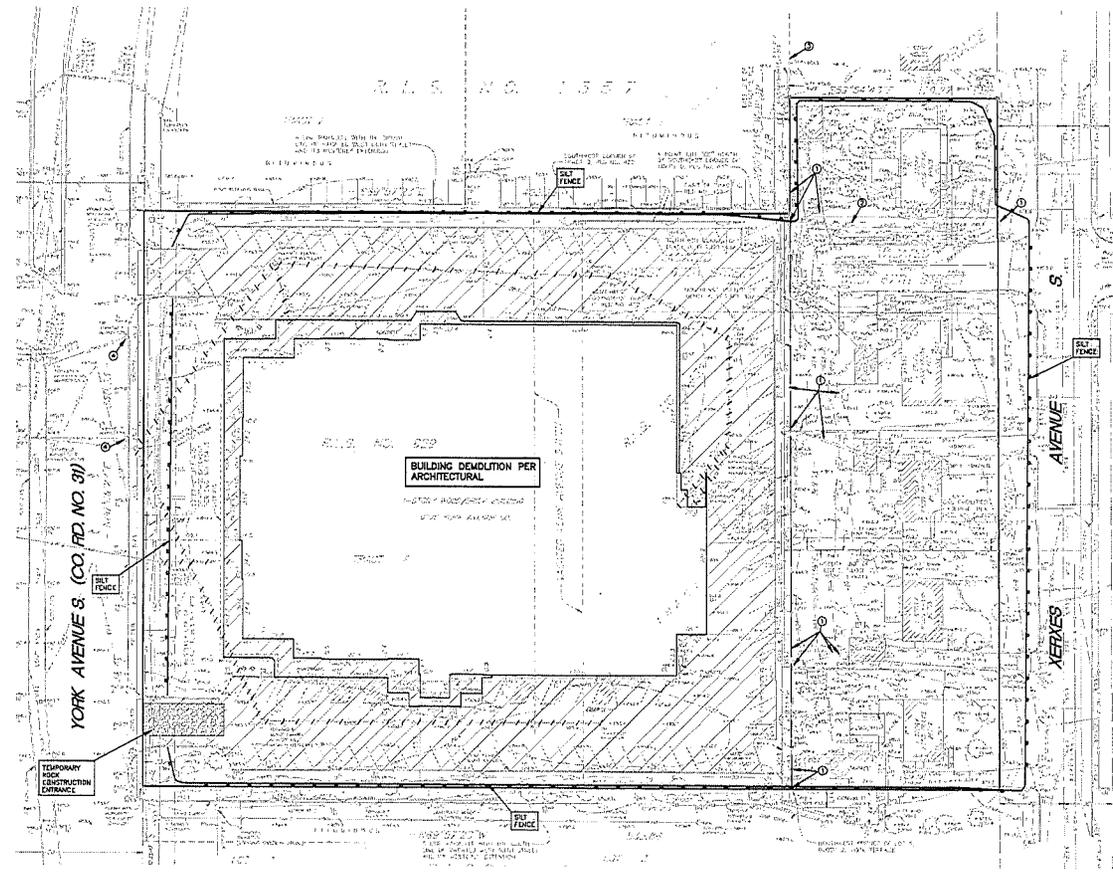
DESIGNER:
 ARCHITECT: Charles
 ENGINEER: Charles

6725 YORK AVE.
 EXTERIOR ELEVATIONS - COLOR
 A3.4

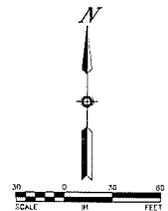


- KEYNOTES:**
1. REMOVE POWER POLE, POWER LINES AND DATA CABLES.
 2. XCEL SHALL REMOVE POWER FEEDER TO DEMOLISHED DISTRIBUTION SYSTEM.
 3. XCEL SHALL REFEED REMAINING DISTRIBUTION SYSTEM FROM NORTH END.
 4. CATCH BASIN INLET PROTECTION (ACP) SILT SACK, DR CITY OF MINNEAPOLIS APPROVED (EQM), SEE DETAIL.

GENERAL DEMOLITION NOTES:
POWER POLES ARE PROPERTY OF COMCAST
XCEL AND COMCAST WORK SHALL BE COORDINATED SO THAT ALL DEAD WORK OCCURS AT THE SAME TIME.



SEE LANDSCAPE PLANS FOR TREE PROTECTION DETAILS



SEE SHEETS C1.3 AND C1.4 FOR ADDITIONAL NOTES AND DETAILS



ethos swenson grahn architects
550 Washington Avenue South
Minneapolis Minnesota 55415
612.339.5100
www.ethosswenson.com

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed ENGINEER under the laws of the State of Minnesota.

Signature: _____
Typed or Printed Name: _____
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CITY OF EDINA
FINAL DEVELOPMENT PLAN
APPROVAL 05/12/14

ORIGINAL ISSUE: 02/09/14

REVISIONS		
No.	Description	Date

213506
PROJECT NUMBER

NM MK
DRAWN BY CHECKED BY

6725 YORK AVE.

DEMOLITION AND EROSION CONTROL PLAN

C1.0

A16



ESG
 1885 Washington Avenue, Suite 100
 Edina, MN 55425
 Phone: 763.933.8888
 Fax: 763.933.8889
 www.esginc.com

PROJECT: 6725 YORK AVENUE SOUTH
 PREPARED BY: ESG ARCHITECTURAL
 DATE: 05/12/2014
 DRAWING NO.: A0.1

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CITY OF EDINA
 FINAL DEVELOPMENT PLAN APPROVAL
 05/12/2014

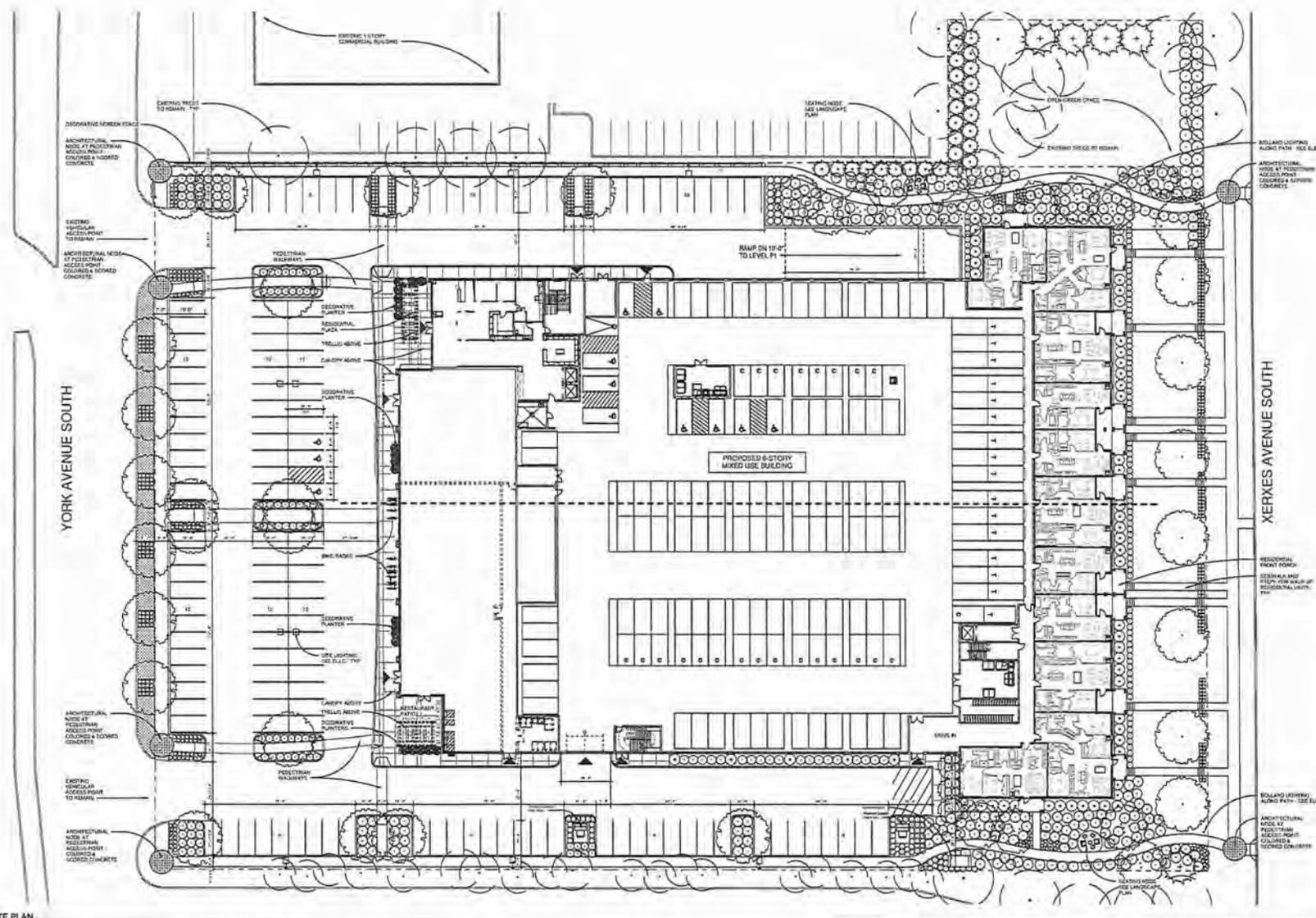
PREPARED BY: ESG ARCHITECTURAL
 DATE: 05/12/2014

SCALE: AS SHOWN
 DATE: 05/12/2014



6725 YORK AVE.

ARCHITECTURAL SITE PLAN
 A0.1



LIX

SITE PLAN

05/12/2014



6725 YORK AVE. (2) 6725 YORK AVE. (2)
 3500 WASHINGTON AVENUE, SUITE 100
 MINNEAPOLIS, MINNESOTA 55412
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 WWW.DAMONFARBERASSOCIATES.COM

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 6725 YORK AVE. SUITE 100
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 P: 612.333.7500 F: 612.333.7502
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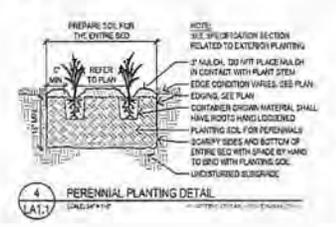
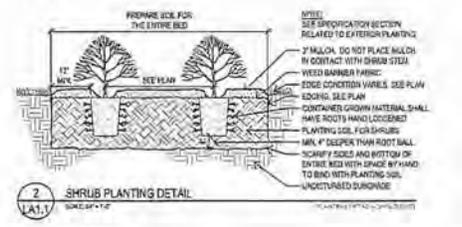
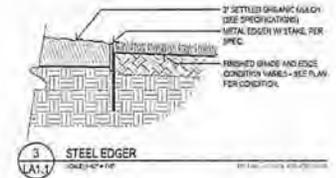
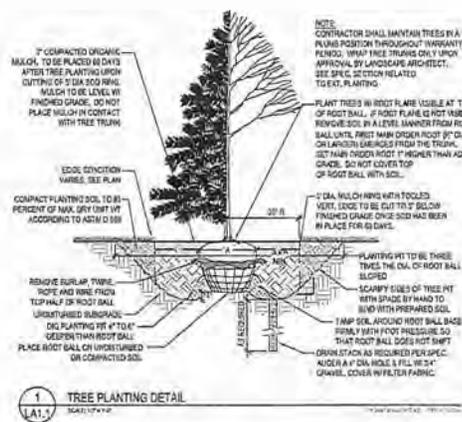
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CITY OF EDINA
 FINAL DEVELOPMENT PLAN APPROVAL
 05/12/2014

ORIGINAL DATE: 08/11/14
 REVISIONS:
 No. Description Date

2/13/06
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 15
 15

6725 YORK AVE.
 LANDSCAPE SCHEDULE & DETAILS
 LA1.1



PLANTING DETAILS

TOTAL	SPM	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT.	COMMENTS
DECIDUOUS TREES							
17	17	1	RED-TONED LIME MAPLE	<i>Acer x leucopurpureum 'leucopurpureum'</i>	2 1/2" CAL.	BAB	SINGLE STRAIGHT LEADER
1	1	1	DOGWOOD	<i>Cornus florida</i>	2 1/2" CAL.	BAB	SINGLE STRAIGHT LEADER
6	6	6	IMPERIAL HORSE CLOVER	<i>Galathea hirsuta var. hirsuta</i>	2 1/2" CAL.	BAB	SINGLE STRAIGHT LEADER
14	14	14	WHITE SPHERE BIRCH	<i>Betula pendula 'White Sphere'</i>	2 1/2" CAL.	BAB	SINGLE STRAIGHT LEADER
4	4	4	ADMIRALTY MAPLE	<i>Acer x freemanii 'Admiralty'</i>	2 1/2" CAL.	BAB	SINGLE STRAIGHT LEADER
EVERGREEN TREES							
8	8	8	SCOTCH PINE	<i>Pinus sylvestris</i>	2" HGT.	BAB	
DECIDUOUS SHRUBS							
410	410	410	ARCTIC-DRIE DOGWOOD	<i>Cornus canadensis</i>	24" HGT.	85 CONT.	SPACE PER PLAN
24	24	24	CARLENE'S BARBERERRY	<i>Sambucus racemosa 'Carlene's'</i>	24" HGT.	85 CONT.	SPACE PER PLAN
11	11	11	BERNARD'S BARBERERRY	<i>Sambucus racemosa 'Bernard's'</i>	24" HGT.	85 CONT.	SPACE PER PLAN
72	72	72	FIREDANCE DOGWOOD	<i>Cornus sericea 'FireDance'</i>	24" HGT.	85 CONT.	SPACE PER PLAN
81	81	81	LITTLE LIME HYDRANGEA	<i>Hydrangea paniculata 'Little Lime'</i>	18" HGT.	85 CONT.	SPACE PER PLAN
48	48	48	BUSH HONEY SUCKLE	<i>Lonicera xylosteum</i>	18" HGT.	85 CONT.	SPACE PER PLAN
14	14	14	SLAMMERVAINE NINEBARK	<i>Physocarpus opulifolius 'SlammerVAINE'</i>	36" HGT.	85 CONT.	SPACE PER PLAN
14	14	14	ANTHONY WATERER SPIREA	<i>Spiraea x bumalda 'Anthony Waterer'</i>	36" HGT.	85 CONT.	SPACE PER PLAN
EVERGREEN SHRUBS							
31	31	31	TECHNY ARBOVITALIS	<i>Thuja occidentalis 'Techny'</i>	1" HGT.	BAB	SPACE PER PLAN
20	20	20	JANISER SMILAX	<i>Smilax aspera 'JanisER'</i>	24" HGT.	85 CONT.	SPACE PER PLAN
PERENNIALS							
36	36	36	BLUENICK ARBUTIN BLUE CRAMA	<i>Asplenium platyneuron 'Bluenick'</i>	8" CONT.		
36	36	36	SPERMATIS RETURNERS DAY LILY	<i>Sparganium angustifolium 'Spermatis'</i>	8" CONT.		
36	36	36	HAPPY RETURNERS DAY LILY	<i>Sparganium angustifolium 'Happy Returners'</i>	8" CONT.		
36	36	36	FAIRY DANCER BIRD GRASS	<i>Calamagrostis canadensis 'Fairy Dancer'</i>	8" CONT.		
112	112	112	STELLA DORSO DAY LILY	<i>Sparganium angustifolium 'Stella DorsO'</i>	8" CONT.		
36	36	36	IRON BUTTERFLY FOAMER OWEN	<i>Lythrum x tom 'Iron Butterfly'</i>	8" CONT.		
36	36	36	PROUD METAL SWIFT GRASS	<i>Desmodium illinoense 'Proud Metal'</i>	8" CONT.		
36	36	36	SILVER FEATHER MISCANTHUS	<i>Miscanthus sinensis 'Silver Feather'</i>	8" CONT.		
37	37	37	EDGE MANNING V	<i>Psychotriasia puberula 'Edge Manning'</i>	8" CONT.		

PLANTING SCHEDULE

GENERAL NOTES

- CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND MATERIALS SUPPLIED.
- CONTRACTOR SHALL PROTECT EXISTING ROOTS, CURBS/GUTTERS, TRAILS, TREES, LANSAS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION BEGINS (MINIMUM 4' CLEARANCE).
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF EXISTING TREES TO REMAIN.
- EXISTING CONDITIONS, TRAIL VEGETATION, CURBS/GUTTERS AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- HORIZONTAL AND VERTICAL ALIGNMENT OF PROPOSED (TRAILS, TRENCHES OR ROADWAYS) ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL REVIEW THE SITE FOR DISCREPANCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR MAINTENANCE. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR CHANGING MAINTENANCE OF METALS INSTALLED MATERIALS UNTIL TIME OF SUBSTITUTION. REPAIR OF ACTS OF NEGLIGENCE OR DAMAGE WHICH MAY OCCUR PRIOR TO SUBSTITUTION COMPLETION SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- EXISTING TREES OR SIGNIFICANT SHRUB MASSINGS FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- EXISTING TREES TO REMAIN, UPON DIRECTION OF LANDSCAPE ARCHITECT, SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD, DAMAGED AND RUBBING BRANCHES.
- CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE SUBSTITUTION COMPLETION INSPECTION OF LANDSCAPE AND SITE PRIOR TO SUBSTITUTION COMPLETION.
- CONTRACTOR SHALL PREPARE AND SUBMIT PRELIMINARY & AS-BUILT DRAWINGS OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO SUBSTITUTION COMPLETION.
- STAKES ON PLAN DRAWING HAVE PRECEDENCE OVER SCHEDULED DISCREPANCIES IN QUANTITIES SHEET, SPECIFICATIONS AND DETAILS HAVE PRECEDENCE OVER NOTES.

PLANTING NOTES

GRADING NOTES

- GRADING LIMITS ARE DEFINED AS THE JUNCTURE OF PROPOSED GRADE WITH EXISTING GRADE UNLESS NOTED OTHERWISE.
- CHANGING LIMITS AND LIMITS OF WORK SHOWN ON PLAN ARE ONLY APPROXIMATE AND MAY BE ADJUSTED IN FIELD BY LANDSCAPE ARCHITECT. WORK OUTSIDE OF THESE LIMITS WILL BE DONE AT LANDSCAPE CONTRACTOR'S EXPENSE UNLESS DIRECTED BY LANDSCAPE ARCHITECT OR OWNER IN WRITING.
- FLUCTUATE AS NECESSARY TO PROVIDE A 1% MINIMUM GRADE AWAY FROM BUILDINGS WITHIN LIMITS OF CONSTRUCTION.
- MAINTAIN A UNIFORM GRADE BETWEEN CONTOURS IN AREAS TO BE GRADED UNLESS NOTED OTHERWISE.
- ELEVATIONS IF SHOWN WILL FURTHER ELEVATIONS. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS.
- CONTRACTOR SHALL CONTACT PUBLIC UTILITIES FOR LOCATION OF UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE GRADING. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ABOVE IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE PROPER EROSION CONTROL MEASURES AS REQUIRED TO INSURE THAT EROSION IS KEPT TO AN ABSOLUTE MINIMUM - SEE CIVIL SPECIFICATIONS.
- PROVIDE TEMPORARY COVERING FOR DITCH BANKS AND MAINTAIN HOLES UNTIL FINISHED GRADING IS COMPLETE - SEE CIVIL SPECIFICATIONS.

PLANTING NOTES

- HOLES MUST BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND 2841.
- STREET AND DOG LEAD TREES SHALL BEGR BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACE.
- PROPOSED PLANT MATERIAL SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. LANDSCAPE ARCHITECT MUST APPROVE STARTING OF PLANT MATERIAL PRIOR TO GRADING.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS GRANTED BY THE LANDSCAPE ARCHITECT TO THE CONTRACTOR PRIOR TO THE SUBMISSION OF BID.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE REQUIRED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- TREE WRAPPING MATERIAL SHALL BE TRIMMED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO FIRST BRANCH. WRAP SMOOTH-SURFACED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1st AND REMOVE WRAPPING AFTER MAY 1st.

TURF NOTES

- SOIL AREAS DISTURBED DUE TO GRADING (UNLESS NOTED OTHERWISE).
- WHERE SOIL AREAS PAVED SURFACES, FINISHED GRADE OF DISTURBED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOIL SHALL BE LAY PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 2:1 OR ON DRAINAGE CHANNELS, SOIL SHALL BE STAGED SEQUENTIALLY.

6/14

DATE: 08/11/14

6725 YORK AVE.
EDINA, WI



where location system is different
SEE ARCHITECTURE GENERAL NOTES
MANUFACTURING GENERAL NOTES
P. 1, 2, 3, 4, 5, 6, 7, 8, 9
C. 1, 2, 3, 4, 5, 6, 7, 8, 9
M. 1, 2, 3, 4, 5, 6, 7, 8, 9

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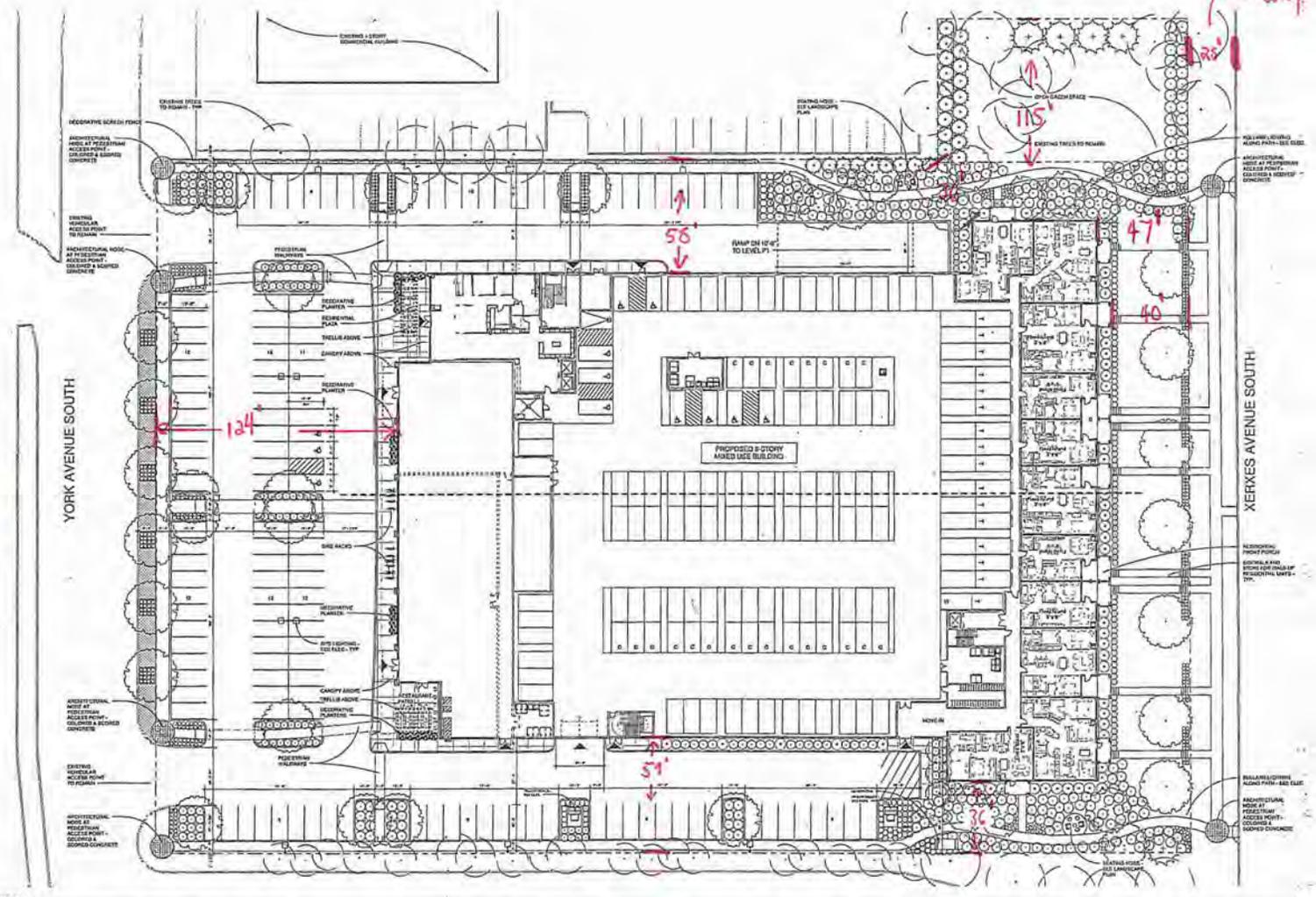
CITY OF EDINA
FINAL DEVELOPMENT PLAN APPROVAL
05/12/2014

NO.	DESCRIPTION	DATE

ESG
ARCHITECTURE
MANUFACTURING
GENERAL NOTES
P. 1, 2, 3, 4, 5, 6, 7, 8, 9
C. 1, 2, 3, 4, 5, 6, 7, 8, 9
M. 1, 2, 3, 4, 5, 6, 7, 8, 9

6725 YORK AVE.
ARCHITECTURAL SITE PLAN
A0.1

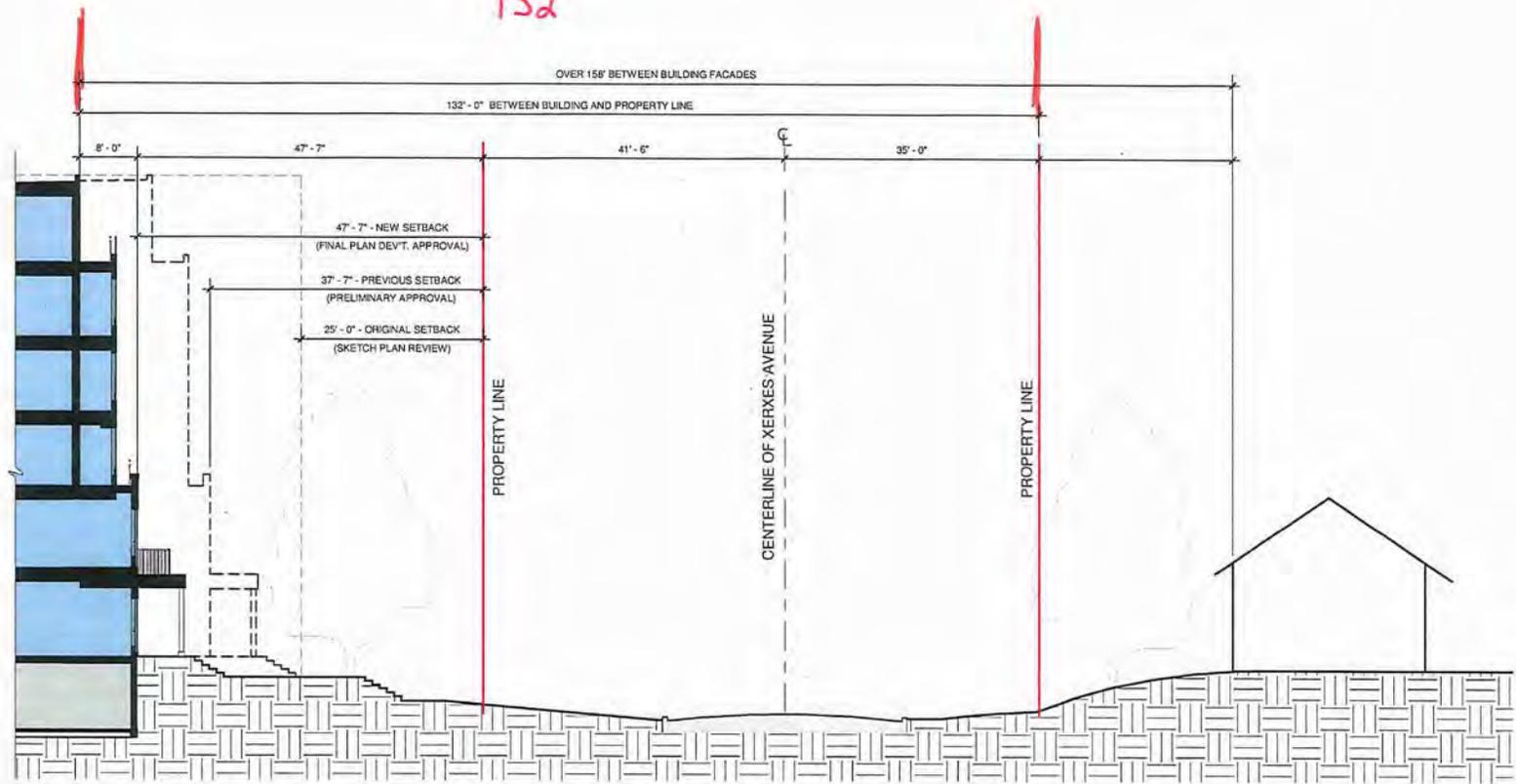
A20



1 SITE PLAN
7-10-14

132'

A20a



SECTION THROUGH XERXES AVENUE

OVERALL FLOOR PLAN GENERAL NOTES
 1. ALL OVERALL DIMENSIONS TO OUTSIDE FACE OF MASONRY OR OUTSIDE FACE OF EXTERIOR SHEATHING.

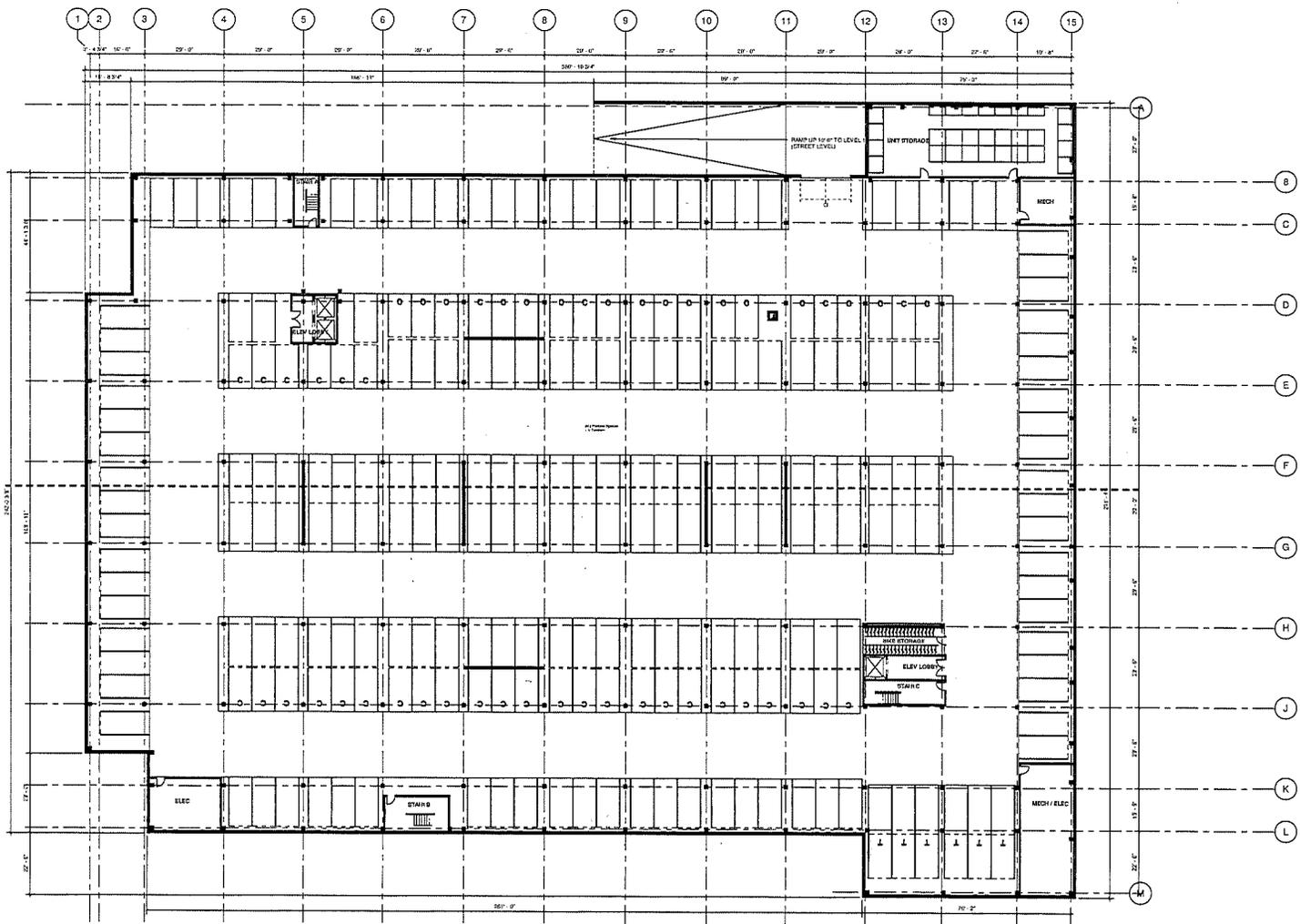


edina swenson graham architects
 100 Washington Avenue South
 Minneapolis, Minnesota 55415
 P: 612.338.3124
 F: 612.338.3125
 W: W.W.A.G.A.T.H.C.O.M

These notes, like the description on sheets 101-104, are not contract documents and shall not be a part thereof unless and until they have been incorporated into the final set of the State of Minnesota Uniform Contract Documents.
 DATE: 05/12/2014

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6725 YORK AVE.		
OVERALL FLOOR PLAN - LEVEL PT (PARKING)		
A1.0		



#21

1 OVERALL FLOOR PLAN - LEVEL PT
 05/12/2014



elena svensson graham architects
500 Washington Avenue South
Minneapolis Minnesota 55415
Tel: 612-338-4400 Fax: 612-338-4401
www.esgarchitects.com

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature: _____
Title or Printed Name: _____
Project: 010

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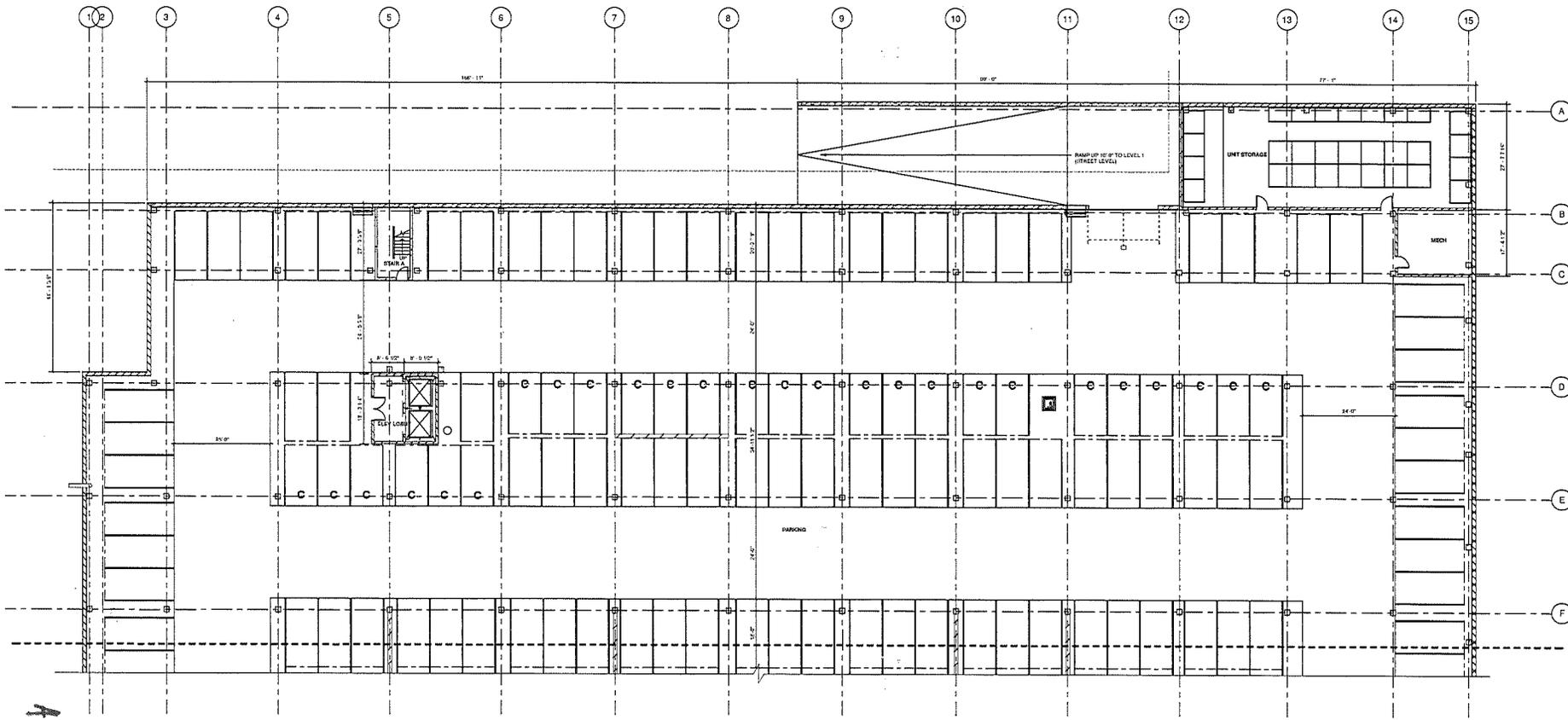
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05/12/2014

REVISIONS	DATE
No.	Description

213506
PLANS NUMBER
ESG ENG
ARCHITECT

6725 YORK AVE.

NORTH FLOOR PLAN - LEVEL P1 (PARKING)
A1.0a



1 NORTH FLOOR PLAN - LEVEL P1
32'-1 1/2"

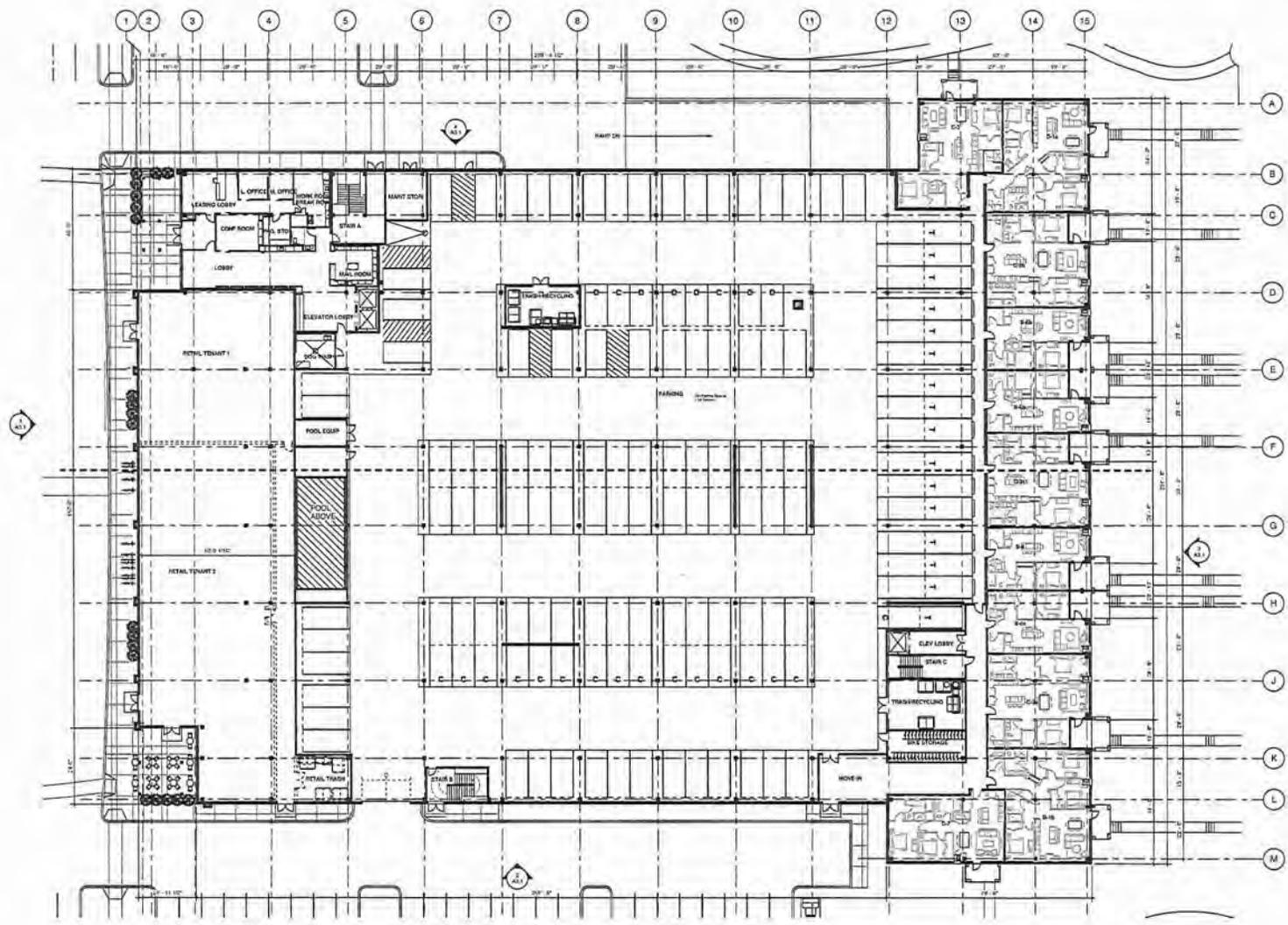
1022

OVERALL FLOOR PLAN GENERAL NOTES
 1 ALL OVERALL DIMENSIONS TO OUTSIDE FACE OF MASONRY OR OUTSIDE FACE OF EXTERIOR GLAZING.



Please reference program documents:
 100 Washington Avenue South
 Minneapolis, Minnesota 55415
 Tel: 612.338.1000
 Fax: 612.338.1001
 www.esg.com

ESG ARCHITECTURE
 100 WASHINGTON AVENUE SOUTH
 MINNEAPOLIS, MN 55415
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A24

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CITY OF EDINA
 FINAL
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 PLAN APPROVAL
 05/12/2014

PROJECT NAME	6725 YORK AVE.
PROJECT NUMBER	
DATE	05/12/2014
DESIGNED BY	ESG ARCHITECTURE
CHECKED BY	
APPROVED BY	
DATE	

1 OVERALL FLOOR PLAN - LEVEL 1
 10/12/13

6725 YORK AVE.
 OVERALL FLOOR PLAN -
 LEVEL 1 (PITHEAD LEVEL)
 A1.1

OVERALL FLOOR PLAN GENERAL NOTES
 1. ALL OVERALL DIMENSIONS TO OUTSIDE FACE OF FACILITY OR OUTSIDE FACE OF EXTERIOR WALLS/ROOF.



ESG
 ENGINEERING & SURVEYING GROUP
 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1100
 FAX: 303.733.1101
 WWW.ESG-ENG.COM

1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

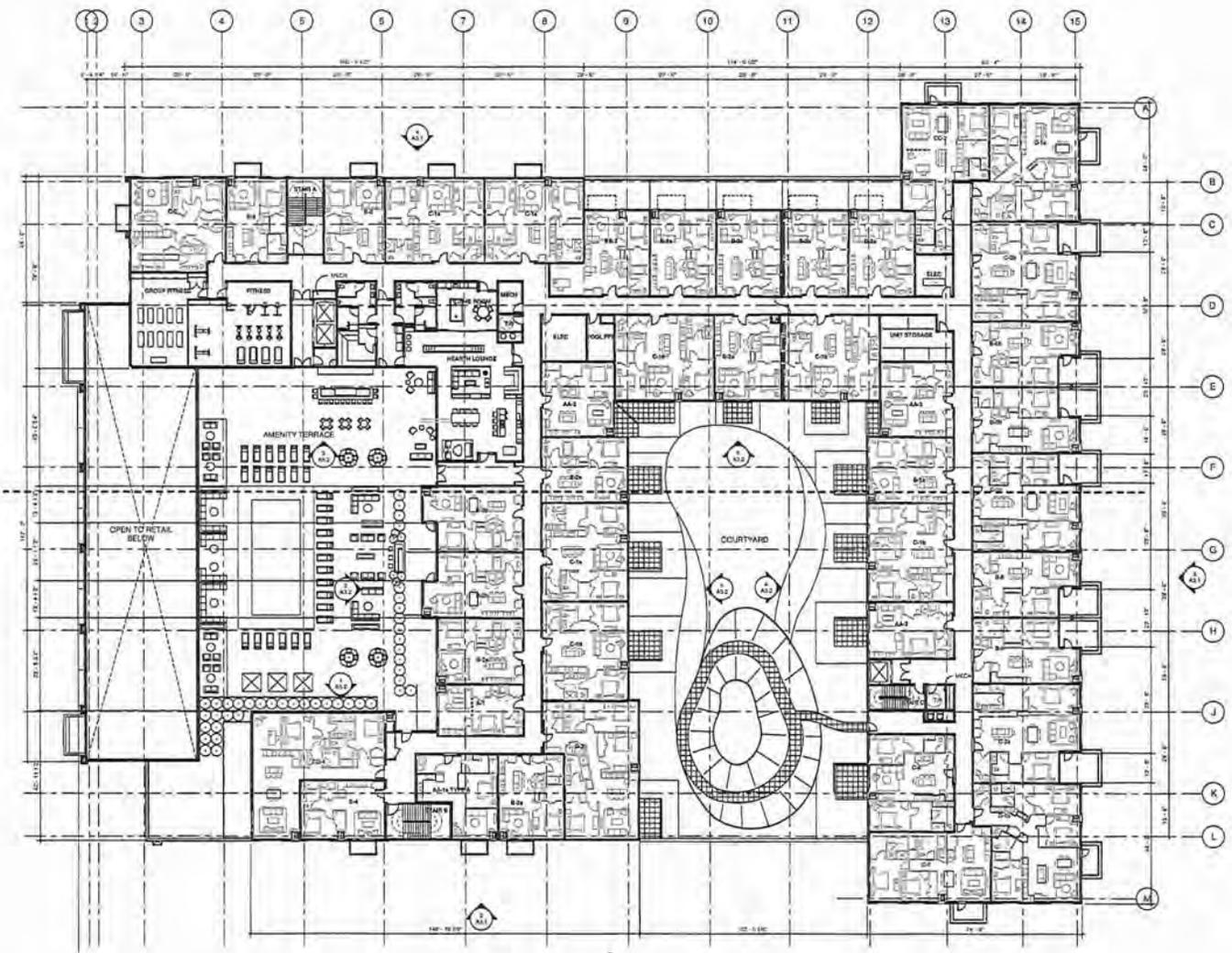
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**CITY OF EDINA
 FINAL DEVELOPMENT
 PLAN APPROVAL
 05/12/2014**

PREPARED BY: [Signature]
 REVIEWED BY: [Signature]
 DATE: [Signature] DATE: [Signature]

DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: [Signature] DATE: [Signature]

6725 YORK AVE.
 OVERALL FLOOR PLAN - LEVEL 2
A1.2



A1.2

OVERALL FLOOR PLAN - LEVEL 2



Always reference program, specifications, SDD, Washington Annex, South Minneapolis Development SDD 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

Contractor shall verify that this information is correct and complete before construction begins. The City of Edina is not responsible for any errors or omissions in this information.

DATE: _____
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CHECKED BY: _____

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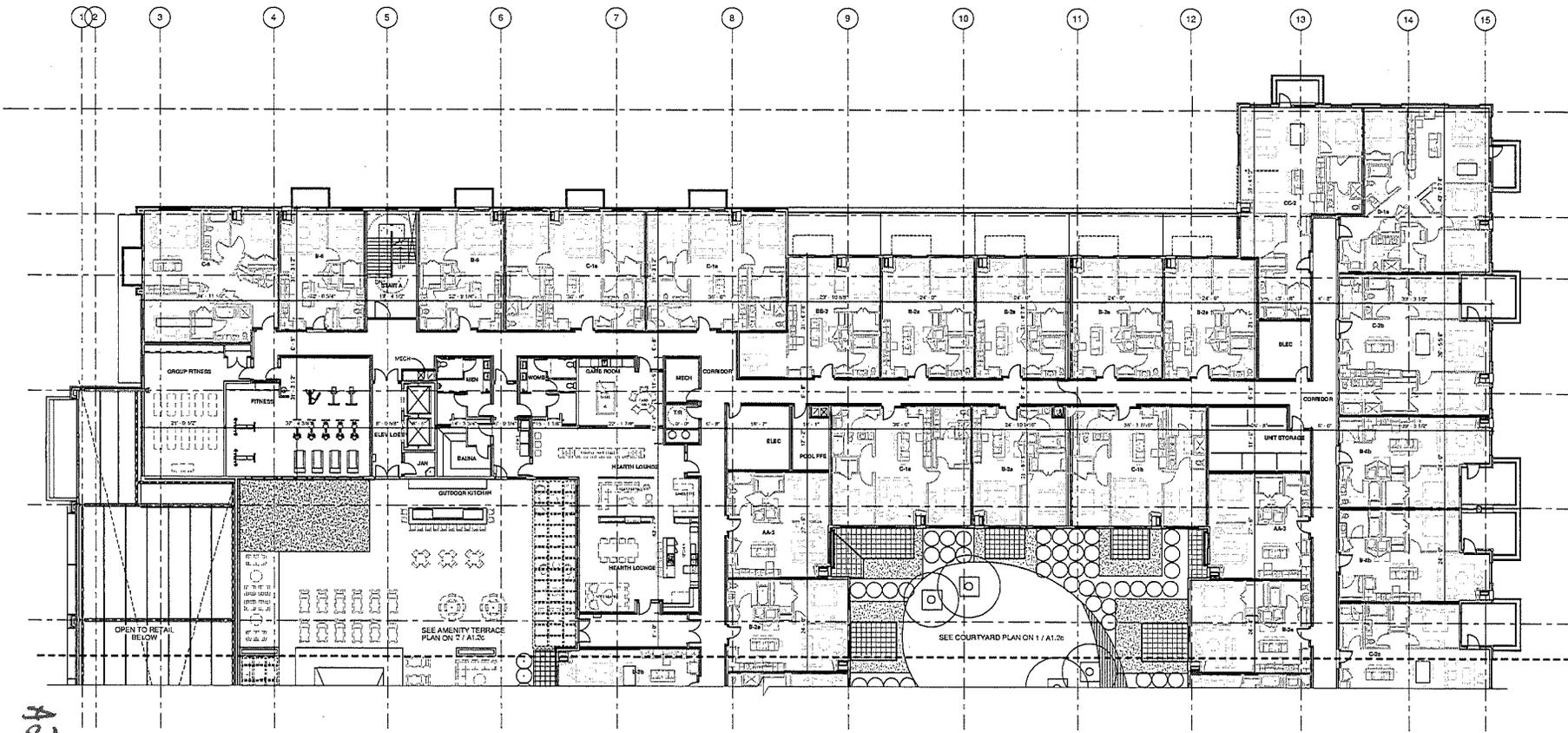
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FINAL DEVELOPMENT
PLAN APPROVAL
05/12/2014

ORIGINAL ISSUE: 05/12/2014
REVISIONS:

No.	Description	Date

6725 YORK AVE.
NORTH FLOOR PLAN - LEVEL 2
A1.2a



A25

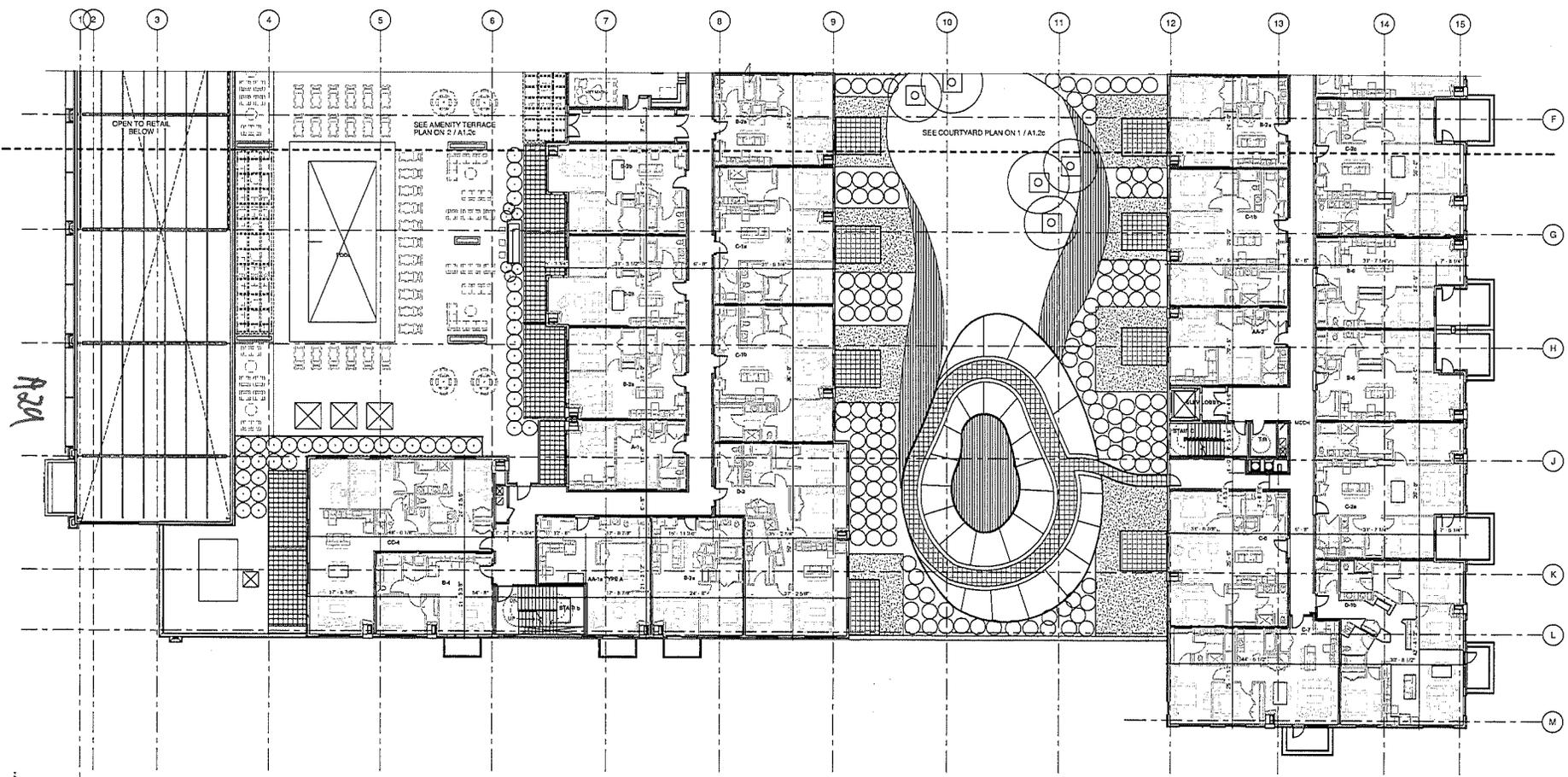
1 NORTH FLOOR PLAN - LEVEL 2
SCALE: 1/8" = 1'-0"



ESG ARCHITECTURE
100 WASHINGTON AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55415
P: 612.311.1111
F: 612.311.1112
WWW.ESGARCHITECT.COM

PLEASE NOTE: THIS DOCUMENT IS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly licensed architect under the laws of the state of Minnesota.

DATE: 05/12/2014
PROJECT: 6725 YORK AVE.



AS201

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CITY OF EDINA
FINAL DEVELOPMENT
PLAN APPROVAL
05/12/2014

ORIGINAL DATE: 05/12/2014

REVISIONS

No.	Description	Date

DATE: 05/12/2014
Author: _____
Checker: _____
Designer: _____

6725 YORK AVE.

SOUTH FLOOR PLAN - LEVEL 2

A1.2b

SOUTH FLOOR PLAN - LEVEL 2

DATE: 05/12/2014



esg
 esser swenson graham architects
 500 westington avenue south
 minneapolis, minnesota 55415
 p: 612 271 1100 f: 612 271 1102
 www.esgarchitects.com

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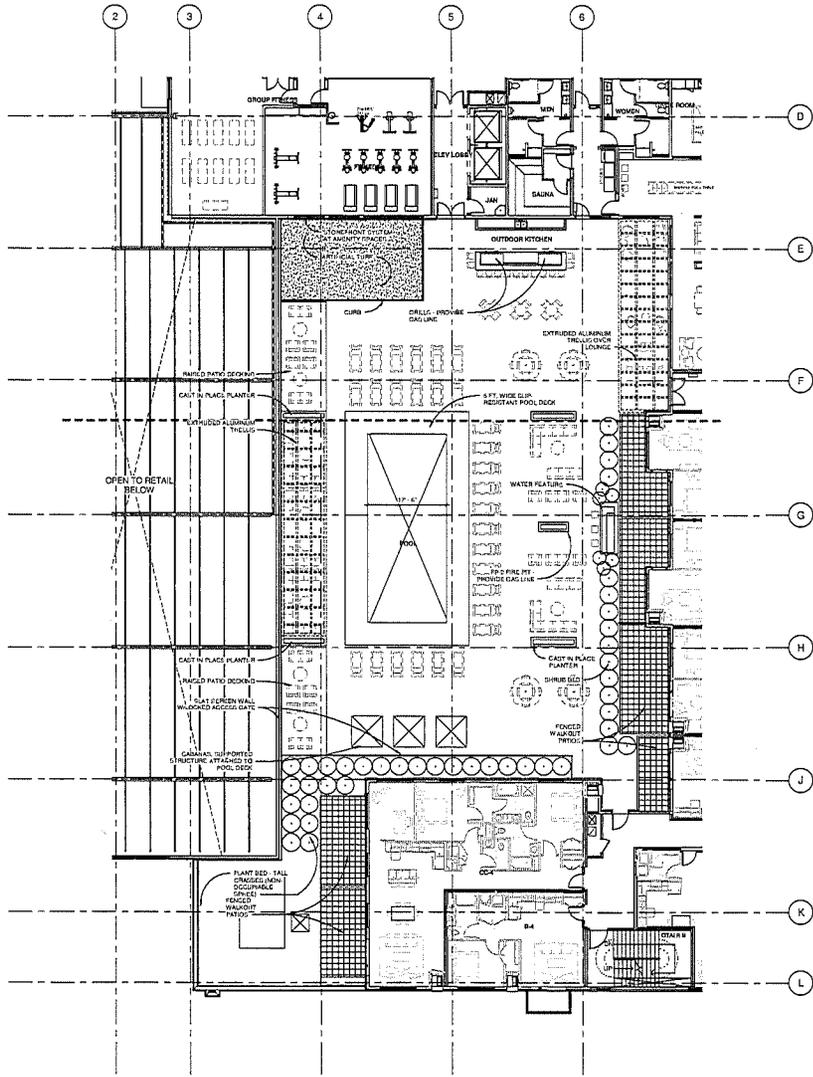
CITY OF EDINA
 FINAL DEVELOPMENT
 PLAN APPROVAL
 05/12/2014

NO.	DESCRIPTION	DATE

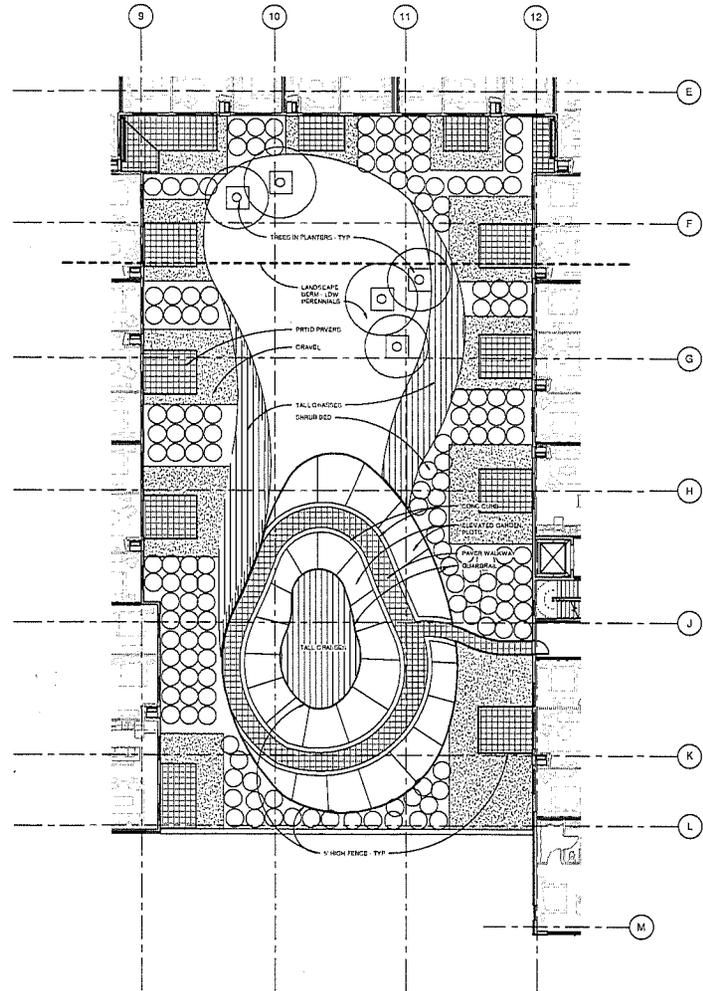
2/15/2014
 PROJECT NUMBER
 AUTHOR: CHERYL
 DRAWN BY: CHERYL

6725 YORK AVE.
 COURTYARD PLANS
A1.2c

A30



2 AMENITY TERRACE PLAN
 3/4" = 1'-0"



1 COURTYARD PLAN
 3/4" = 1'-0"



KLING STUBBINS
1500 WASHINGTON AVENUE, SUITE 2000
MINNEAPOLIS, MINNESOTA 55402
TEL: 612.338.3300
WWW.KSSTUBBS.COM

I hereby certify that this document was prepared by the architect or architect-in-charge and that I am a duly licensed architect under the laws of the State of Minnesota.

DATE: _____
TITLE: _____
PROJECT: _____

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**CITY OF EDINA
FINAL DEVELOPMENT
PLAN APPROVAL
05/12/2014**

ORIGINAL SIZE: 11x17
REVISIONS:

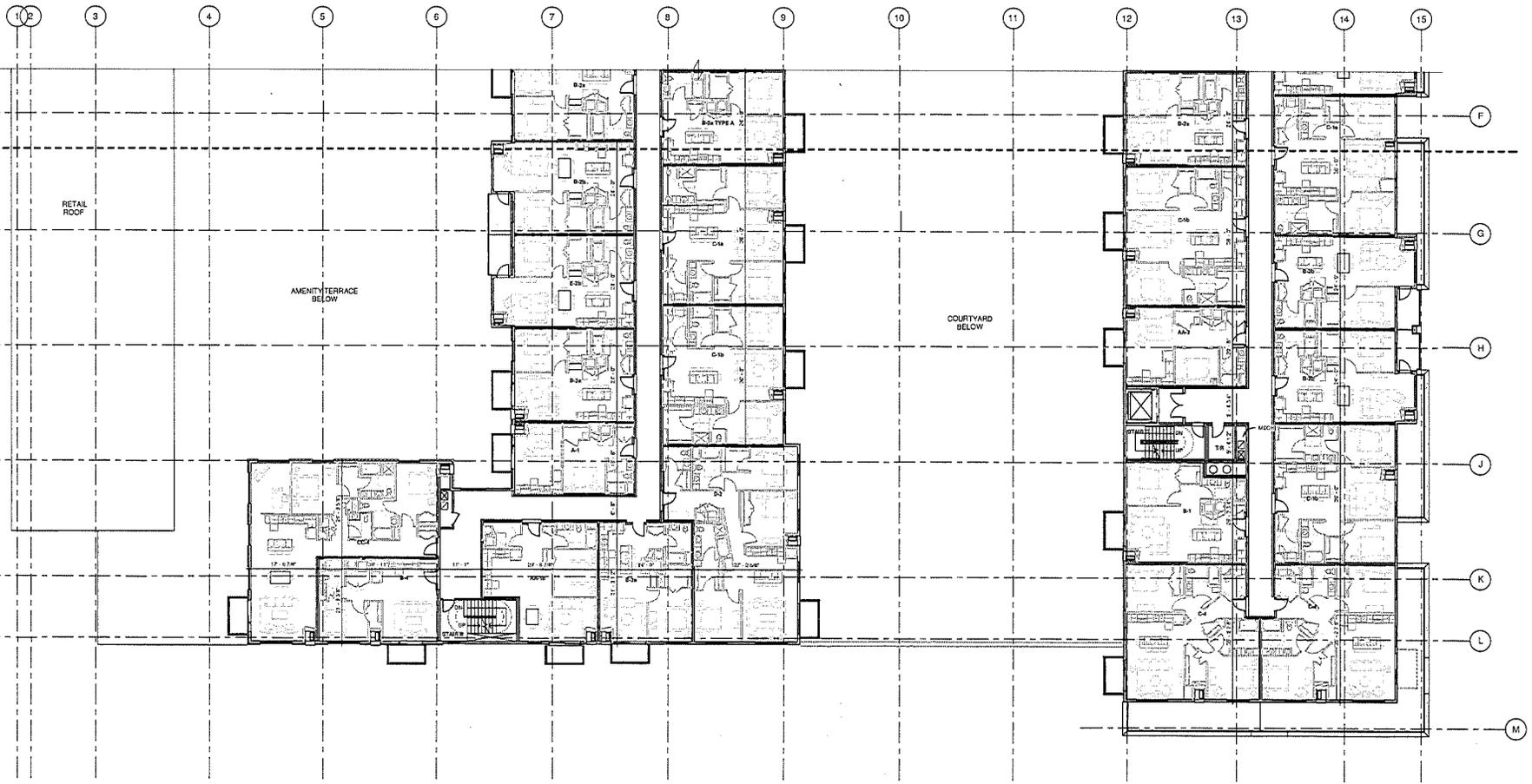
No. Description Date

2.13.56g
Author: _____
Checked: _____
Reviewed: _____

6725 YORK AVE.

SOUTH FLOOR PLAN - LEVEL 3-5

A1.3b



OVERALL FLOOR PLAN GENERAL NOTES
1. ALL OVERALL DIMENSIONS TO OUTSIDE FACE OF MASONRY OR OUTSIDE FACE OF EXTERIOR SHEATHING.



Edina Construction Group Architects
580 Washington Avenue South
Minneapolis, Minnesota 55415
Tel: 612-338-5500
Fax: 612-338-5502
www.edinacg.com

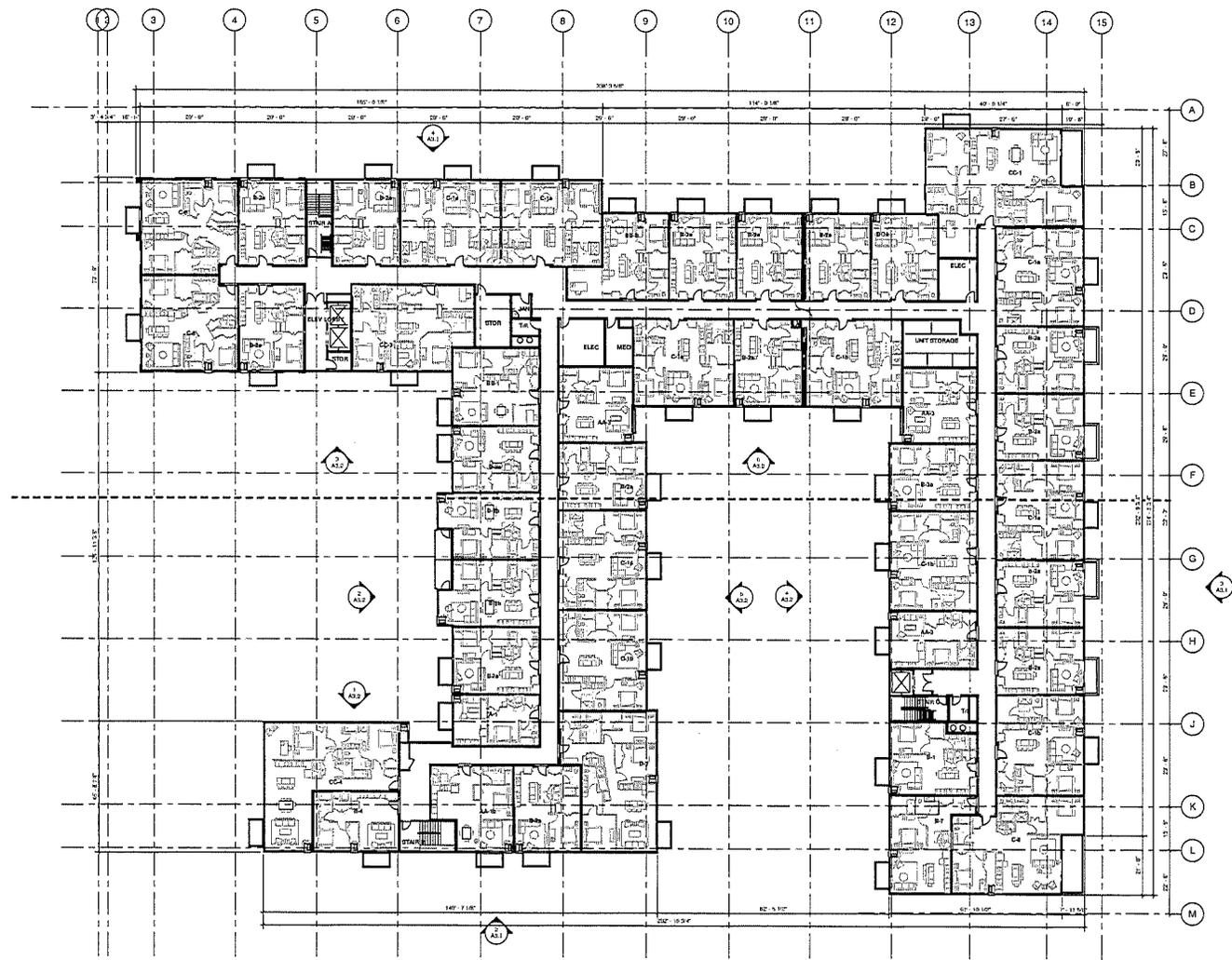
This drawing and the information contained hereon are prepared by us as an advisory service and we do not warrant or make any representation as to the accuracy or completeness of the information contained hereon. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

Author: _____
Title: _____
Date: _____

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ORIGINAL ISSUE	05/12/2014	
REVISIONS		
No.	Description	Date
213506		
Author:	ChPEL/PT	
Checked:	ENCL/PT	
6725 YORK AVE.		
OVERALL FLOOR PLAN - LEVEL 6		
A1.6		

A34



OVERALL FLOOR PLAN - LEVEL 6
A1.6



Mississippi State University
500 Washington Avenue South
Hattiesburg, Mississippi 39401
P: 601-771-4300, F: 601-771-4301
WWW.MSU.EDU

PROJECT: YORK AVE. DEVELOPMENT
SHEET: NORTH FLOOR PLAN - LEVEL 6
DATE: 05/12/2014

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DEVELOPMENT
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05/12/2014

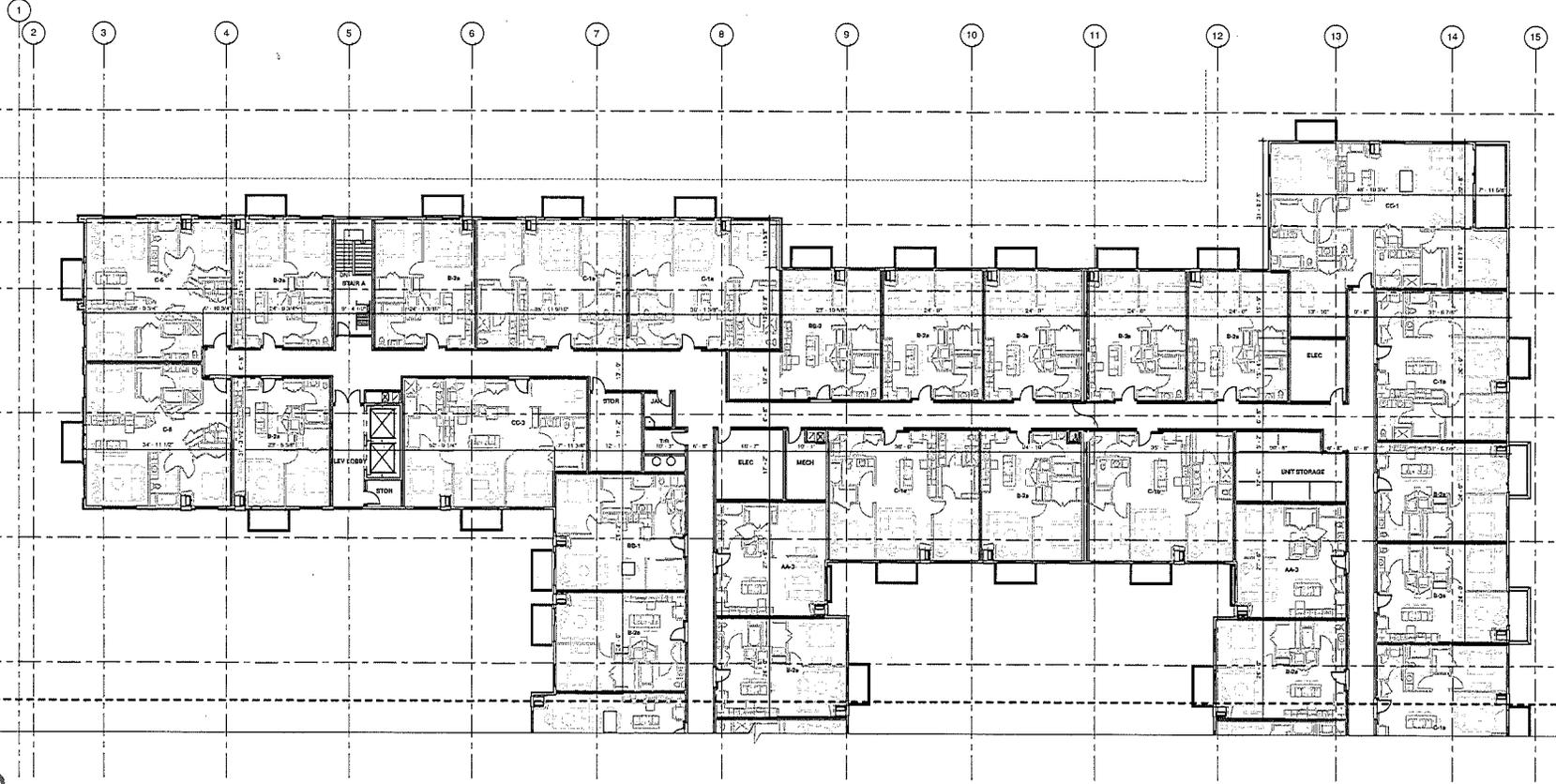
REVISIONS	No.	Description	Date

2135.DWG
PROJECT: YORK AVE.
ENG: [Signature] ENG: [Signature]
DATE: 05/12/2014

6725 YORK AVE.

NORTH FLOOR PLAN - LEVEL 6

A1.6a



ARS

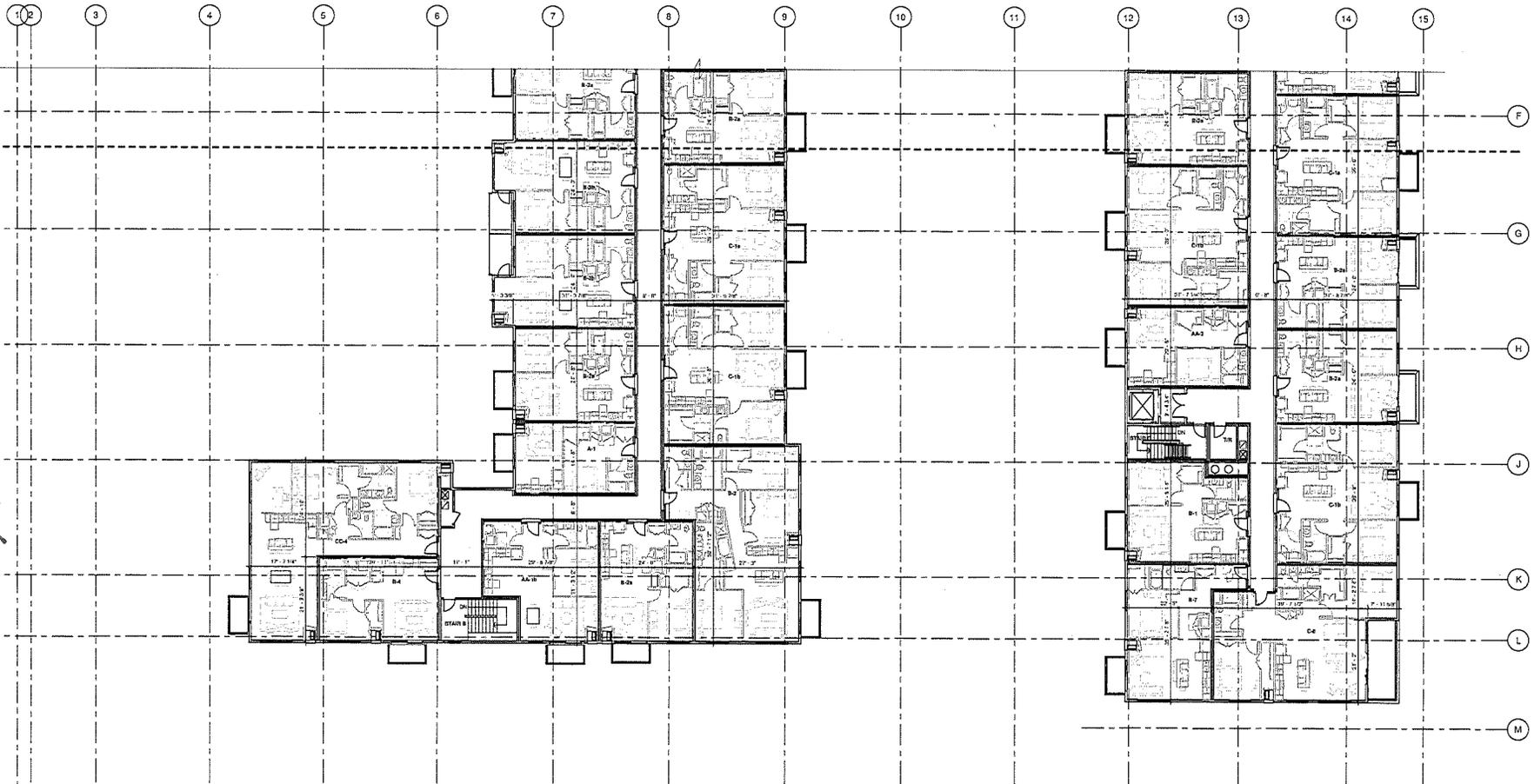
NORTH FLOOR PLAN - LEVEL 6
3/22' x 71'



ESG CONSULTANTS
588 Washington Avenue South
Minneapolis Minnesota 55415
P. 612.338.5100
F. 612.338.5182
www.esgconsultants.com

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

DATE: _____
PROJECT: _____



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FINAL
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PLAN APPROVAL
05/12/2014

ORIGINAL ISSUE 05/12/2014

REVISIONS

No.	Description	Date

213500

Author	Checker

6725 YORK AVE.

SOUTH FLOOR PLAN - LEVEL 6

A1.6b

A36

- ROOF PLAN GENERAL NOTES**
1. ROOF IS DETAILED FROM SET ASSEMBLIES
 2. ROOF TO SLOPE 1/4" PER FOOT, 1/4"
 3. PLUMBING VENTS NOT SHOWN
 4. PROVIDE 1/2" BRICKS/CMU PARAPETS
 5. 1/4" SCHEDULES NOT ALLOWED IN ANY EXPOSITIONS
 6. EXTERIOR STAIRS - PROVIDE CURBS AND PLUMBING
 7. PROVIDE CONTINUOUS WALKWAY FROM ACCESS HATCH TO ALL MECHANICAL



Edina, Minnesota, 55424-4000
1500 Washington Avenue South
Edina, Minnesota 55424-4000
Tel: 952-921-1100
Fax: 952-921-1101
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2. THE USER SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS
AND FOR THE FORM AND SUBMISSION OF ALL
APPLICABLE REGULATORY DOCUMENTATION.
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APPLICABLE REGULATORY DOCUMENTATION.

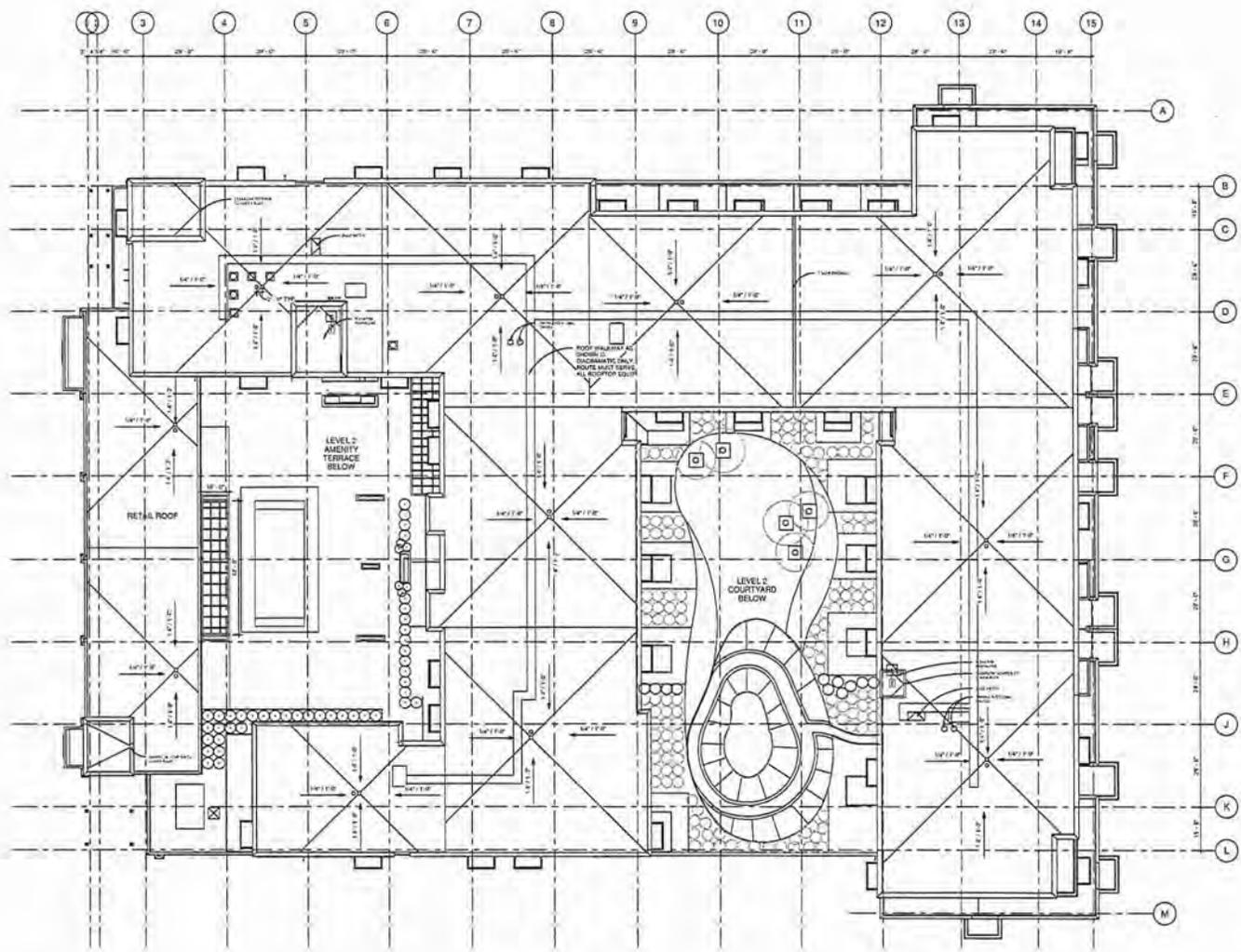
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FINAL
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PLAN APPROVAL
05/12/2014**

PROJECT NAME	6725 YORK AVE.
APPROVAL	
DATE	
DESCRIPTION	
DATE	
DESIGNER	ESG
DATE	

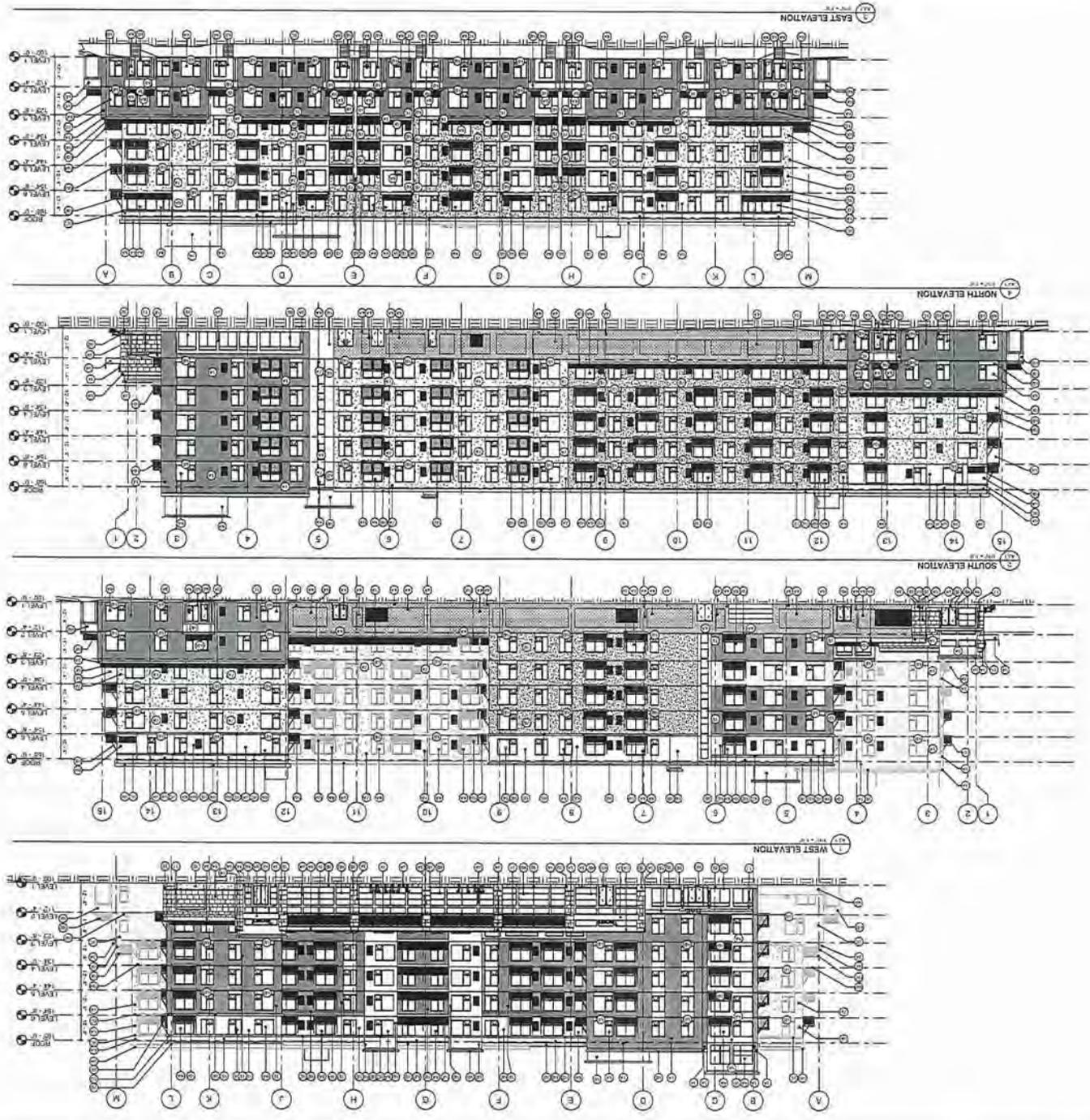
6725 YORK AVE.
ROOF PLAN
A1.7



A37

1 ROOF PLAN
1/2" = 1'-0"

A3.1



EXTENSION MATERIAL KEYNOTES

1. CONCRETE
2. BRICK
3. BLOCK
4. GYPSONUM BOARD
5. GYPSONUM BOARD WITH FIBREGLASS REINFORCING FABRIC
6. GYPSONUM BOARD WITH FIBREGLASS REINFORCING FABRIC AND POLYURETHANE INSULATION
7. GYPSONUM BOARD WITH FIBREGLASS REINFORCING FABRIC AND POLYURETHANE INSULATION AND BRICK
8. GYPSONUM BOARD WITH FIBREGLASS REINFORCING FABRIC AND POLYURETHANE INSULATION AND BRICK AND CONCRETE
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17. GYPSONUM BOARD WITH FIBREGLASS REINFORCING FABRIC AND POLYURETHANE INSULATION AND BRICK AND CONCRETE AND BRICK AND CONCRETE AND BRICK AND CONCRETE
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19. GYPSONUM BOARD WITH FIBREGLASS REINFORCING FABRIC AND POLYURETHANE INSULATION AND BRICK AND CONCRETE AND BRICK AND CONCRETE AND BRICK AND CONCRETE
20. GYPSONUM BOARD WITH FIBREGLASS REINFORCING FABRIC AND POLYURETHANE INSULATION AND BRICK AND CONCRETE AND BRICK AND CONCRETE AND BRICK AND CONCRETE

A3.1

EAST ELEVATION

DATE: 05/12/2014

PROJECT: 123456789

DRAWING: 123456789

SCALE: 1/8" = 1'-0"

CITY OF EDINA
FINAL
DEVELOPMENT
PLAN APPROVAL
05/12/2014

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8725 YORK AVE.

esc

NOTE:
SEE COLOR ELEVATIONS FOR REFERENCE

EXTERIOR MATERIAL KEYNOTES	
1A	BRICK #1 YELLOW
1B	BRICK #2 TAN
1C	BRICK #3 REDDISH BROWN
2A	ARCHITECTURAL CAST STONE - CREAM
2B	ARCHITECTURAL CAST STONE - BLACK
2C	ROCK FACE BLOCK
3A	METAL PANEL #1 DARK BRONZE
3B	PREF. GEMENT BOARD #1 DARK BRONZE
3C	PREF. GEMENT BOARD #2 DARK BRONZE
3D	STUCCO #1 CREAM
3E	STUCCO #2 TAN
3F	STUCCO #3 GREY
3G	DARK BRONZE FIBERGLASS WINDOW/DOOR
4A	PAINT-FINISHED ALUMINUM STOREFRONT SYSTEM
4B	CREAM METAL #1 DARK
4C	CREAM METAL #2 DARK BRONZE
4D	CREAM METAL #3 CREAM
4E	CREAM METAL #4 TAN
4F	SPRINK METAL #1 WHITE
4G	PREFINISHED MANUFACTURED BALCONY SYSTEM #1
4H	PREFINISHED MANUFACTURED BALCONY SYSTEM #2
4I	PREFINISHED MANUFACTURED BRILING SYSTEM
5	TRUSS
6	EXTRUDED ALUMINUM SIGNAGE BAND



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 5700 Washington Avenue South
 Minneapolis, Minnesota 55412
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 F: 612.415.9388
 WWW.EDINAYORKESTON.COM

EXTERIOR ELEVATIONS
 PREPARED BY THE ARCHITECT FOR THE CITY OF EDINA
 UNDER THE TERMS OF THE PLAN OF DEVELOPMENT

DATE: 05/12/2014
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

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 FINAL DEVELOPMENT
 PLAN APPROVAL
 05/12/2014

ORIGINAL DATE: 05/12/2014
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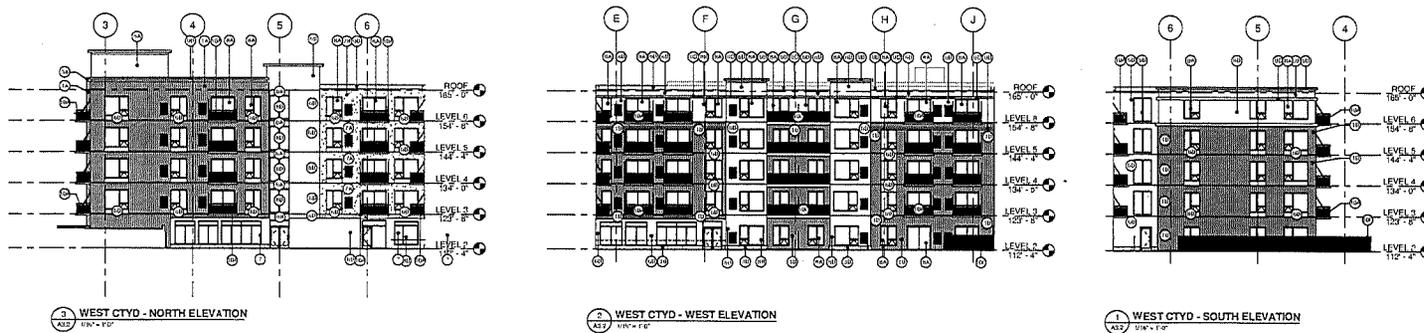
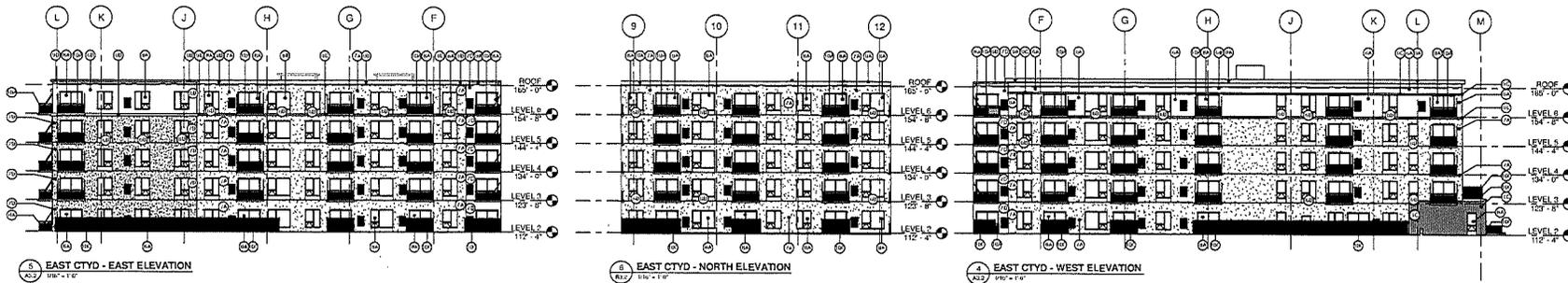
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 AUTHOR: [Blank]
 CHECKED BY: [Blank]

6725 YORK AVE.

EXTERIOR ELEVATIONS

A3.2

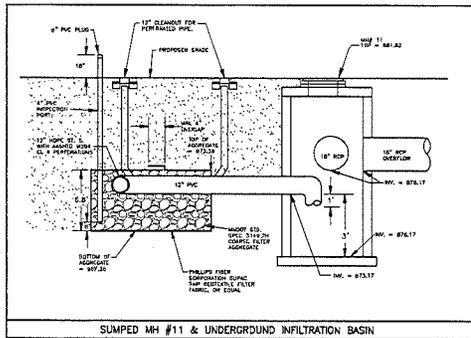
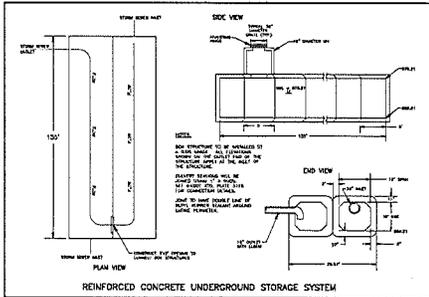


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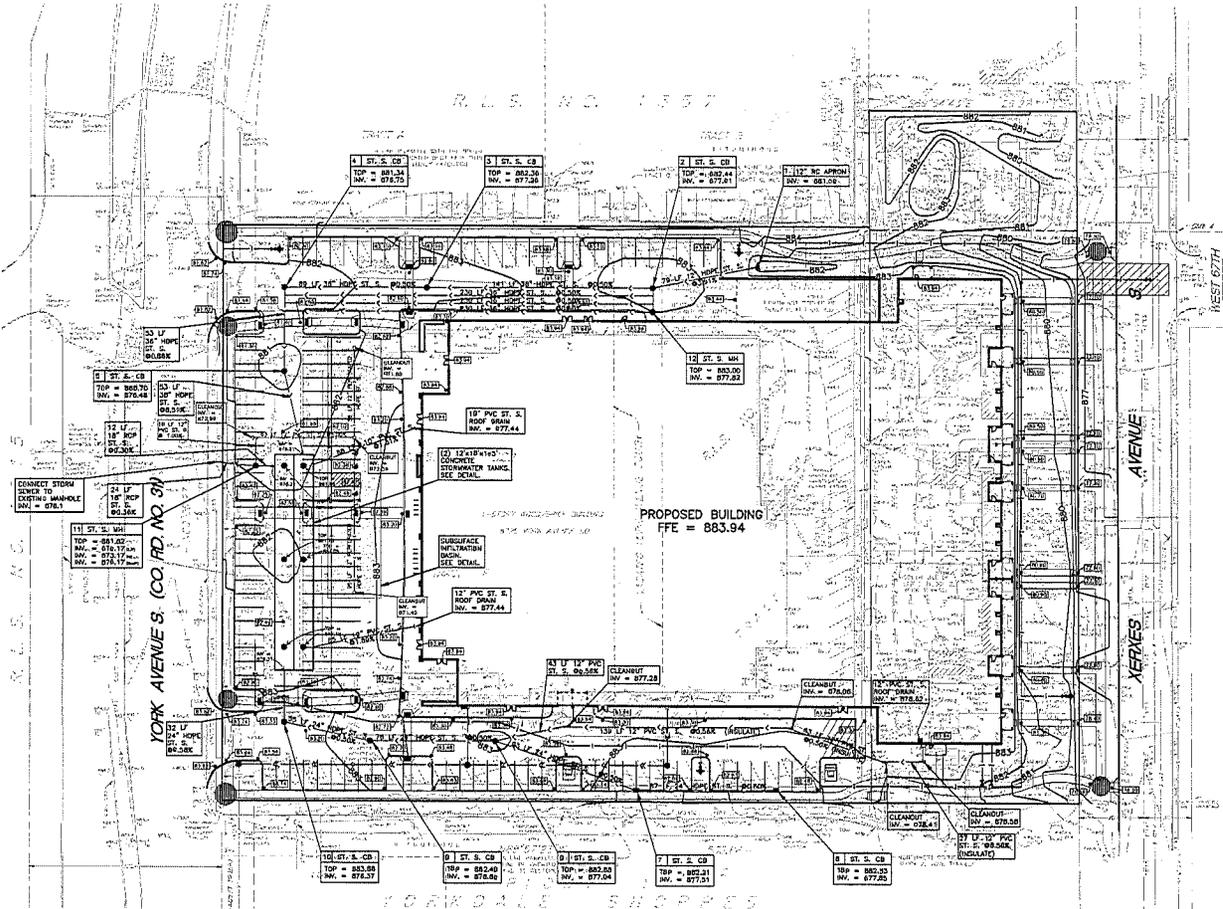


811
Know what's Below.
Call before you dig.

No construction, operation or commercial power maintenance equipment shall be operated within the city between the hours of 6:00pm and 7:00pm on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit.



SEE SHEETS C1.3 AND C1.4
FOR ADDITIONAL NOTES AND
DETAILS



- INFILTRATION AREA:
- Protect the infiltration area from compaction and disturbance of existing soils.
 - Schedule the construction so that excavation of the infiltration system to final grade occurs after the contributing adjacent areas have been constructed and fully stabilized. Excavate the infiltration area to within five feet of final grade initially. Delay final excavation of the basin floor until all disturbed areas tributary to the basin are stabilized. Utilize tracked excavation equipment that has relatively low bearing pressures. No heavy equipment is allowed on the infiltration area before or after construction.
 - Provide deep-rigging infiltration testing at the infiltration site in order to verify infiltration rates used for the basin design. Perform a minimum of 3 tests of each infiltration site. The tests shall be performed at the bottom elevation of the infiltration basin and shall be performed by a qualified geotechnical professional. Do not begin construction until soil type and infiltration rate verification has been made.
 - Coarse filter aggregate shall be a free draining mineral product, excluding crushed carbonate quarry rock, limestone, crushed concrete, and seawall blumorous material.
 - Place all excavated material downstream and away from the infiltration area during and after excavation.



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500 Washington Avenue South
Minneapolis, Minnesota 55415
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F: 612.339.5382
www.esgarch.com

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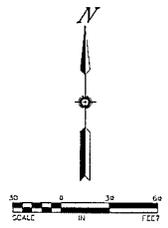
CITY OF EDINA
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05/12/14

ORIGINAL ISSUE: 02/20/14
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213506
PROJECT NUMBER
NM MK
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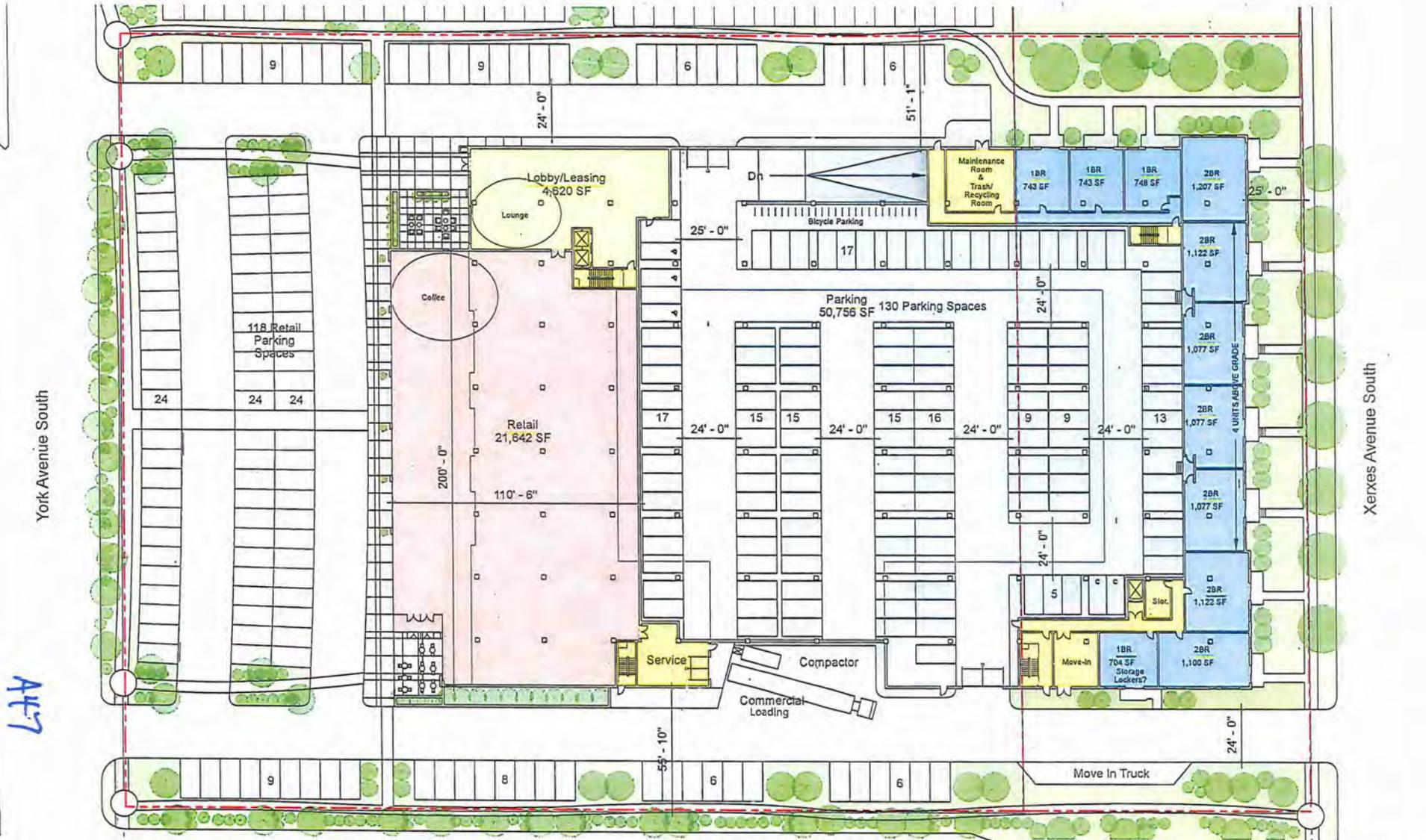
6725 YORK AVE.
GRADING AND
DRAINAGE PLAN

C1.1



472

Sketch Plan



Street Level Plan

AT-7

esc
architects

LENNAR
LENNAR MULTIFAMILY INVESTORS

MULTI-FAMILY DEVELOPMENT 6725 York Avenue South Edina, MN 08.28.13

Sketch Plan



A48

XERXES AVE

Rendering Looking NE

MULTI-FAMILY DEVELOPMENT 6725 York Avenue South Edina, MN 08.28.13

8

LENNAR
LENNAR MULTIFAMILY INVESTORS

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Sketch Plan



Rendering Looking SW

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architects

LENNAR
LENNAR MULTIFAMILY INVESTORS

MULTI-FAMILY DEVELOPMENT 6725 York Avenue South Edina, MN 08.28.13

Sketch Plan



Rendering Looking SE

Sketch Plan



MULTI-FAMILY DEVELOPMENT
 6725 York Avenue South Edina, MN
 08.28.13

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 architects

A51



A52

PRELIM. PLAN

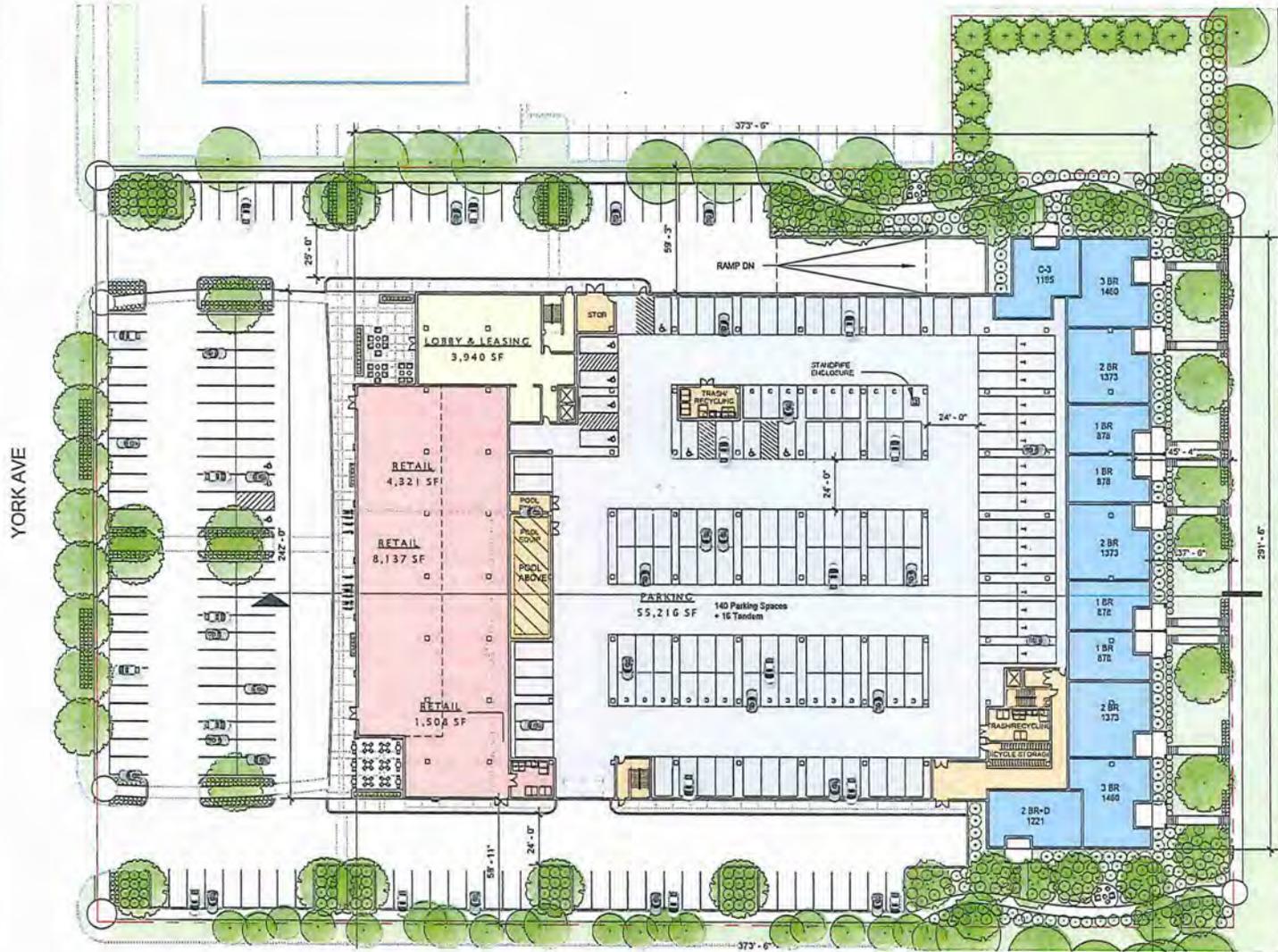
PRELIM. PLAN



FATS

153

RECEIVED
4-30-14



754

XERXES AVE

YORK AVE


 Street Level Plan
 Scale: 1"=50'-0"

PRELIM PLAN