



To: MAYOR AND COUNCIL

Agenda Item #: VI.C

From: Cary Teague, Community Development Director

Action

Discussion

Information

Date: May 6, 2014

Subject: PUBLIC HEARING – Site Plan with multiple Variances for Boarder Foods Inc. at 3210 Southdale Circle Res. No. 2014-53.

Action Requested:

Adopt the attached Resolution.

Information / Background:

Border Foods Inc. is proposing to tear down the existing Taco Bell restaurant and rebuild a new slightly smaller Taco Bell at 3210 Southdale Circle. The building would be 1,850 square feet in size. (See applicant narrative and plans on pages A4–A26 of the Planning Commission staff report.) To accommodate the proposal to redevelop the site, the applicant is requesting a Site Plan review and the following Variances:

- Parking Setback Variances from 10 to 4 feet from the north and south lot line. (Existing condition is a 3-foot setback.)
- Front Yard Building Setback Variance from 35 to 22 feet.
- Variance for side menu board facing a residential area. (Existing menu board directly faces residential area.)

In 1985, a parking stall setback variance was granted to add parking stalls for what was then a Zantigo Mexican Restaurant. The variance was to match the existing non-conforming setback of three feet. As noted above, a four-foot setback for parking is now proposed.

Planning Commission Recommendation:

The Planning Commission unanimously recommended approval of the Site Plan and Variances, subject to the findings and conditions in the staff memo dated April 9, 2014.

ATTACHMENTS:

- Resolution No. 2014-53
- Planning Commission minutes, April 9, 2014
- Planning Commission staff report dated April 9, 2014



RESOLUTION NO. 2014-53

RESOLUTION APPROVING A SITE PLAN WITH VARIANCES AT 3210 SOUTHDALE CIRCLE TO TEAR DOWN AND BUILD A NEW TACO BELL FOR BORDER FOODS

BE IT RESOLVED by the City Council of the City of Edina, Minnesota, as follows:

Section 1. BACKGROUND.

- 1.01 Border Foods Inc. is proposing to tear down the existing Taco Bell restaurant and rebuild a new slightly smaller Taco Bell at 3210 Southdale Circle.
- 1.02 To accommodate the proposed addition, the following is requested:
 1. Parking Setback Variances from 10 to 4 feet from the north and south lot line. (Existing condition is a 3-foot setback.)
 2. Front Yard Building Setback Variance from 35 to 22 feet.
 3. Variance for side menu board facing a residential area. (Existing menu board directly faces residential area.)

The property is legally described as follows:

Tract C, Registered Land Survey No. 1357, Hennepin County, Minnesota.

- 1.02 With the exception of the requested Variances, the proposed plans meet all minimum Zoning Ordinance Requirements.
- 1.03 On April 9, 2014, the Planning Commission unanimously recommended approval of the proposed Site Plan and Variances subject to findings and conditions in the Planning Commission staff report dated April 9, 2014.

Section 2. FINDINGS

Approval is subject to the following findings:

1. The proposal would meet the required standards and ordinances for a Site Plan with the exception of the setback variances.
2. The proposed variances are reasonable. The proposed building is smaller than the existing building on the site; the green space setback for the parking stalls would be increased by one-foot from existing conditions; and the menu board would be moved to the south side of the building and pointed away from the residential area to the east.

3. Moving the building closer to Southdale Circle also reduces the impact on the residential property to the east.
4. The practical difficulty is the existing size of the site, which makes it difficult to develop the site to meet the existing setbacks.
5. Variances have been granted in the past for the parking lot.

Section 3. APPROVAL

NOW THEREFORE, it is hereby resolved by the City Council of the City of Edina, approval of the Site Plan and Variances at 3210 Southdale Circle for Border Foods.

Approval is subject to the following Conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, unless modified by the conditions below:
 - Site plan date stamped March 7, 2014.
 - Grading plan date stamped March 7, 2014.
 - Landscaping plan date stamped March 7, 2014.
 - Building elevations date stamped March 7, 2014.
 - Lighting plan date stamped March 7, 2014.
 - Building materials board as presented at the Planning Commission and City Council meeting.
2. Prior the issuance of a building permit, a final landscape plan must be submitted, subject to staff approval. Landscape plan must meet all minimum Zoning Ordinance requirements. Additionally, a performance bond, letter-of-credit, or cash deposit must be submitted for one and one-half times the cost amount for completing the required landscaping, screening, or erosion control measures.
3. The property owner is responsible for replacing any required landscaping that dies.
4. Submit a copy of the Nine Mile Creek Watershed District permit. The City may require revisions to the approved plans to meet the district's requirements.
5. Compliance with the conditions required by the city engineer in his memo dated April 2, 2014.
6. Building plans are subject to review and approval of the fire marshal at the time of building permit.
7. Bike racks must be provided to meet minimum Zoning Ordinance requirements.

- 8. All crosswalks shall be marked with duratherm stamping to clearly identify the pedestrian crossing.
- 9. Trash enclosures must be constructed to meet minimum Zoning Ordinance requirements.
- 10. Compliance with the chief building official's requests in his review memo dated March 27, 2014, at the time of building permit review.

Adopted by the City Council of the City of Edina, Minnesota, on May 6, 2014.

ATTEST: _____
Debra A. Mangen, City Clerk

James B. Hovland, Mayor

STATE OF MINNESOTA)
COUNTY OF HENNEPIN)SS
CITY OF EDINA)

CERTIFICATE OF CITY CLERK

I, the undersigned duly appointed and acting City Clerk for the City of Edina do hereby certify that the attached and foregoing Resolution was duly adopted by the Edina City Council at its Regular Meeting of May 6, 2014, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this ____ day of _____, 2014

City Clerk

4-9-14

~~Chair Staunton called for the vote; amended motion. Ayes; Lee, Carr. Nays; Schroeder, Olsen, Platteter, Staunton. Abstain Potts. Motion failed 2-4.~~

~~Commissioner Platteter moved to deny approval of the Preliminary Rezoning and Preliminary Development Plans for the subject property, subject to staff findings and subject to staff conditions. Commissioner Olsen seconded the motion.~~

~~Chair Staunton called for the vote; Ayes; Schroeder, Olsen, Platteter, Lee, Staunton. Nay; Carr. Abstain; Potts. Motion to deny carried 5-1.~~

Commissioner Potts returned to the Council Chambers at 9:45 p.m.

B. Site Plan and Variances. Border Foods (Taco Bell). 3210 Southdale Circle, Edina, MN

Planner Presentation

Planner Teague informed the Commission that Border Foods Inc. is proposing to tear down the existing Taco Bell restaurant and rebuild a new slightly smaller Taco Bell at 3210 Southdale Circle. The building would be 1,850 square feet in size. To accommodate the proposal to redevelop the site, the applicant is requesting a Site Plan review and the following Variances:

- Parking Setback Variances from 10 to 4 feet from the north and south lot line. (Existing condition is a 3-foot setback.)
- Front Yard Building Setback Variance from 35 to 22 feet.
- Variance for side menu board facing a residential area. (Existing menu board directly faces residential area.)

In 1985, a parking stall setback variance was granted to add parking stalls for what was then a Zantigo Mexican Restaurant. The variance was to match the existing non-conforming setback of three feet. As noted above, a four-foot setback for parking is now proposed.

Planner Teague delivered a power point presentation to highlight the project.

Planner Teague concluded his presentation by indicating that staff recommends the City Council approve the Site Plan with Variances for the construction of a new Taco Bell restaurant at 3210 Southdale Circle. Approval is based on the following findings:

1. The proposal would meet the required standards and ordinances for a Site Plan with the exception of the setback variances.
2. The proposed variances are reasonable. The proposed building is smaller than the existing building on the site; the green space setback for the parking stalls would be increased by one-foot from existing conditions; and the menu board would be moved to the south side of the building and pointed away from the residential area to the east.
3. Moving the building closer to Southdale Circle also reduces the impact on the residential property to the east.
4. The practical difficulty is the existing size of the site, which makes it difficult to develop the site the meet the existing setbacks.
5. Variances have been granted in the past for the parking lot.

Approval of the Site Plan and Variances are subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, unless modified by the conditions below:
 - Site plan date stamped March 7, 2014.
 - Grading plan date stamped March 7, 2014.
 - Landscaping plan date stamped March 7, 2014.
 - Building elevations date stamped March 7, 2014.
 - Lighting plan date stamped March 7, 2014.
 - Building materials board as presented at the Planning Commission and City Council meeting.
2. Prior the issuance of a building permit, a final landscape plan must be submitted, subject to staff approval. Landscape plan must meet all minimum Zoning Ordinance requirements. Additionally, a performance bond, letter-of-credit, or cash deposit must be submitted for one and one-half times the cost amount for completing the required landscaping, screening, or erosion control measures.
3. The property owner is responsible for replacing any required landscaping that dies.
4. Submit a copy of the Nine Mile Creek Watershed District permit. The City may require revisions to the approved plans to meet the district's requirements.
5. Compliance with the conditions required by the city engineer in his memo dated April 2, 2014.
6. Building plans are subject to review and approval of the fire marshal at the time of building permit.
7. Bike racks must be provided to meet minimum Zoning Ordinance requirements.
8. All crosswalks shall be marked with duraprint stamping to clearly identify the pedestrian crossing.
9. Trash enclosures must be constructed to meet minimum Zoning Ordinance requirements.
10. Compliance with the chief building official's requests in his review memo dated March 27, 2014, at the time of building permit review.

Appearing for the Applicant

Barbara Schneider, Border Foods

Discussion

Commissioner Carr asked about the taller pylon sign that is separate from the building. Planner Teague responded that the signage package has not been reviewed, but the applicant has not asked for a change in signage.

Chair Staunton asked about the sign being on the side near residential property. Planner Teague pointed out the sign is not facing residential, as it is now facing directly south.

Commissioner Kilberg asked about the mechanicals. Planner Teague indicated screening of mechanicals will be required.

Applicant Presentation

Ms. Schneider pointed out in the stormwater design; there is excess capacity in the project so that capacity will be stored with the 9-mile Creek Watershed District. Sidewalks, outside seating, and a bike rack have been incorporated.

Discussion

Commissioner Platteter asked about increasing the pervious area on the site. Ms. Schneider responded that will be reviewed.

Chair Staunton opened the public hearing.

Public Testimony

Todor Braianova, 6616 Xerxes Avenue S., stated he is the neighbor to the property on the east. He expressed concern about the garbage. Braianova explained after living there 15 years, he has noticed the squirrels are in the garbage, and wrappers are coming into his backyard as they sit on the fence and eat their findings. He also commented on the amount of noise created by the trash pickup in the early morning's hours. Concluding, Braianova also asked if anything can be done about the venting.

Chair Staunton asked if anyone else would like to speak to the issue; being none, Commissioner Platteter moved to close the public hearing. Commissioner Potts seconded the motion. All voted aye; motion to close the public hearing approved.

Continuing Discussion

Ms. Schneider responded that the garbage is emptied five days a week. She also noted she will talk to the trash company about the hours of pickup.

Chair Staunton asked about the dumpster. Ms. Schneider indicated she will look into having a lid put on the dumpster to prevent squirrel access.

Ms. Schneider in response to comments about an aroma; said those comments are unusual, adding the aroma may be coming from McDonald's. Schneider stated she will ensure the venting system is correct and can look into stepping up the cleaning of the hood.

Chair Staunton asked whether there is a mechanism for fielding complaints from neighbors. Ms. Schneider noted the owner/operator reads every customer comment that comes in through the 1-800 number.

Motion

Commissioner Platteter moved to recommend approval of the Sketch Plan and Variances for the subject property, subject to staff findings and subject to staff conditions. Commissioner Olsen seconded a motion.

Commissioner Schroeder offered a friendly amendment requesting duraprint be changed to duratherm on condition 8.

Commissioners Platteter and Olsen accepted that amendment.

Chair Staunton asked Ms. Schneider for any feedback on the process from her perspective.

Ms. Schneider indicated City staff has been very helpful. She indicated the more information that can be provided up-front, the better the process for the applicant.

All voted aye; amended motion carried.

C. Preliminary Rezoning & Variances. Mathias Mortenson. 3923 West 49th Street, Edina, MN

At the request of the proponent, this item was removed from the agenda upon adoption.

VII. ANNUAL MEETING – ELECTION OF OFFICERS & ADOPTION OF BYLAWS

Chair Staunton called for nominations for the office of Secretary.

Commissioner Schroeder nominated Commissioner Potts for Planning Commission Secretary 2014. Commissioner Platteter seconded the motion. All voted aye; motion to approve Commissioner Potts for secretary carried.

Chair Staunton called for nominations for the office of Chair.

Commissioner Schroeder nominated Chair Staunton for Planning Commission Chair 2014. Commissioner Platteter seconded the motion to nominate Chair Staunton for office of Chair. All voted aye; motion carried.

Chair Staunton called for nominations for the office of Vice Chair.

Commissioner Schroder nominated Commissioner Platteter for Vice-Chair 2014. Commissioner Potts seconded the motion. All voted aye; motion carried.

Chair Staunton asked for a discussion on modifying the bylaws regarding ex parte communications.

Commissioner Carr stated on quasi-legal matters, she does not think ex parte communications are appropriate, adding she doesn't believe that would be in the best interests of decision-making. Carr recommended keeping the bylaw the way it is.

Commissioner Platteter agreed, though it can be a slippery slope when talking with neighbors and other random conversations. Things can inevitably come up along the way.

Commissioner Olsen suggested having that provision in the bylaw is a good idea.

Chair Staunton added there may need to be more discussion on what is quasi-judicial and ex parte sometime in the future.

Chair Staunton called for a motion to adopt the Bylaws.

Commissioner Platteter moved to adopt the Planning Commission Bylaws. Commissioner Potts seconded a motion. All voted aye to keep the Bylaws as written carried.



PLANNING COMMISSION STAFF REPORT

Originator Cary Teague Community Development Director	Meeting Date April 9, 2014	Agenda # VI.B.
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INFORMATION/BACKGROUND

Project Description

Border Foods Inc. is proposing to tear down the existing Taco Bell restaurant and rebuild a new slightly smaller Taco Bell at 3210 Southdale Circle. (See property location on pages A1–A3.) The building would be 1,850 square feet in size. (See applicant narrative and plans on pages A4–A26.) To accommodate the proposal to redevelop the site, the applicant is requesting a Site Plan review and the following Variances:

- Parking Setback Variances from 10 to 4 feet from the north and south lot line. (Existing condition is a 3-foot setback.)
- Front Yard Building Setback Variance from 35 to 22 feet.
- Variance for side menu board facing a residential area. (Existing menu board directly faces residential area.)

In 1985, a parking stall setback variance was granted to add parking stalls for what was then a Zantigo Mexican Restaurant. The variance was to match the existing non-conforming setback of three feet. As noted above, a four-foot setback for parking is now proposed.

Surrounding Land Uses

- Northerly: Vacant Best Buy; zoned PCD-3, Planned Commercial District and guided Community Activity Center.
- Easterly: Single-family homes; zoned and guided low density residential.
- Southerly: McDonald's; zoned PCD-3, Planned Commercial District and guided Community Activity Center.
- Westerly: Furniture store; zoned PCD-3, Planned Commercial District and guided Community Activity Center.

Existing Site Features

The subject property is 18,700 square feet in size, is relatively flat and contains a Taco Bell restaurant and drive-through. (See pages A1–A3.)

Planning

Guide Plan designation: CAC – Community Activity Center.
Zoning: PCD-3, Planned Commercial District

Grading/Drainage/Utilities

The city engineer has reviewed the proposed utilities and grading and drainage plans and found them to be generally acceptable. (See the City Engineer's comments on page A27.) A condition of approval should include meeting all of the conditions outlined in the city engineer's memo. A permit would also be required from the Nine Mile Creek Watershed District.

Parking

Based on the square footage and seating in the building, 17 parking stalls are required. The site plan demonstrates 17 built parking stalls. (See page A7.)

Site Access & Traffic

There would be no change to the existing site access or on-site circulation. The proposed restaurant would be smaller than the existing restaurant; therefore, no traffic study was required.

Sidewalk Connections/Bike Racks

Currently there are no sidewalks on the subject property. The applicant proposes to add a boulevard style sidewalk along Southdale Circle. (See page A18.) A connecting sidewalk to the restaurant would also be added. A condition of approval should include sidewalk markings shall be required across drive lanes. Bike racks would be located at the southwest side of the building. Minimum City Code requirement for bike racks is 5% of the total number of parking stalls; therefore one bike rack is required. (See page A12.)

Building Design

The building would be made of Direct Exterior Finish System (DEFS), with prefinished metal and masonry veneer accents. (See building renderings and colors on pages A8–A15.) The chief building official

has reviewed the proposed plans and provided comment on page A27a. These items shall be addressed at the time of building permit review.

Garbage Area

Garbage would be collected with the building at the northeast corner of the site. The containers would be screened by a wall constructed of a Direct Exterior Finish System or DEFS to match the existing building. (See page A11.)

Drive Through

Fast food restaurants with a drive-through facility are a permitted use in the PCD-3 zoning district. Each vehicle bay is required three stacking space in addition to the vehicle being served. The site plan shows three stacking spaces for each bay. There would be four total bays. (See page A18.)

Landscaping

Based on the perimeter of the site 13, overstory trees would be required and a full complement of understory plants and shrubs. The applicant has provided a landscape plan that meets the city code requirement, including 16 overstory trees. (See page A22.) The applicant is proposing a 15-foot landscape area along the east lot line, and angled the menu board more to the south, to minimize impact on the single-family homes to the east.

Outdoor Seating

As recommended at Sketch Plan review, the applicant is proposing an outdoor eating area with a couple tables surrounded by a landscape area. (See page A12.) Outdoor seating does not generate the need for additional on-site parking.

Lighting

The applicant has submitted a lighting plan that conforms to the City's minimum standards. (See page A23.) The foot candle power at the residential lot line would be 0.1.

Compliance Table

	City Standard PCD-3	Proposed
<u>Building Setbacks</u>		
North	35 feet	50 feet
South	35 feet	55 feet
East	35 feet	55 feet
West	35 feet	22 feet*
<u>Parking Lot/Drive Aisle Setbacks</u>		
North	10 feet	4 feet*
South	10 feet	4 feet*
East	20 feet	20 feet
West	10 feet	10 feet
Building Height	4 stories or 48 feet whichever is less	1 story – 21 feet
Maximum Floor Area Ratio (FAR)	75%	9%
Parking Stalls	17	17
Parking Stall Size	8.5 x 18	9 x 18
Drive Aisle Width one Way	14 feet	14 feet
Landscaping	13 Overstory Trees	16 Overstory Trees
Stacking Spaces	4	4
Menu Board & Audio Systems	May not be located on the side of a building that faces residential property	Located on the side that faces residential property*

** Variance required*

Variations – Building Setback, Drive Aisle Setback & Menu Board

Per the Zoning Ordinance, variations should not be granted unless it is found that the enforcement of the Ordinance would cause practical difficulties in complying with the Zoning Ordinance and that the use is reasonable. As demonstrated below, staff believes the proposal does meet the variance standards, when applying the three conditions:

Minnesota Statutes and Edina Ordinances require that the following conditions must be satisfied affirmatively. The Proposed Variance will:

- 1) *Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.***

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with

the code and that the proposed use is reasonable. "Practical difficulties" may include functional and aesthetic concerns.

Staff believes the proposed variances are reasonable. The proposed building is smaller than the existing building on the site; the green space setback for the parking stalls would be increased by one-foot from existing conditions; and the menu board would be moved to the south side of the building and pointed away from the residential area to the east. (See page A7.) Moving the building closer to Southdale Circle also reduces the impact on the residential property to the east.

The practical difficulty is the existing size of the site, which makes it difficult to develop the site to meet the existing setbacks. As mentioned, variances have been granted in the past for the parking lot.

2) *There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?*

Yes. The small size of the site, and its location next to another fast food restaurant to the south, is unique in the PCD-3 zoning district. The City also encourages buildings to be brought up to the street, rather than having large parking lots in front of the building, and expanding green space. The proposed site plan would be an improvement over the existing site plan.

3) *Will the variance alter the essential character of the neighborhood?*

No. The proposed building would not alter the character of the neighborhood. Again, the proposed new Taco Bell and site plan would be an improvement over the existing building, landscaping, menu board location and green space.

PRIMARY ISSUES/STAFF RECOMMENDATION

Primary Issue

- **Is the proposed new Taco Bell Restaurant and associated Variances required reasonable for this site?**

Yes. Staff believes the proposal is reasonable for the following reasons:

1. The proposed use is permitted in the PCD-3, Planned Commercial District.

2. The proposed new Taco Bell building, menu board location and site plan would be an improvement over the existing conditions on the site.
3. The variances are reasonable. As mentioned, one foot of green space would be added along the north and south lot line, and the menu board would be moved further away from the single-family homes than the existing menu board.
4. Moving the building closer to the street also moves it further away from the residential area to the east.
5. The practical difficulty is caused by the existing size of the site, which prevents a reasonable site plan configuration without the need for a variance.
6. Pedestrian connections and sidewalks are proposed on the site plan to help encourage pedestrian movement in the area.

Staff Recommendation

Recommend that the City Council approve the Site Plan with Variances for the construction of a new Taco Bell restaurant at 3210 Southdale Circle.

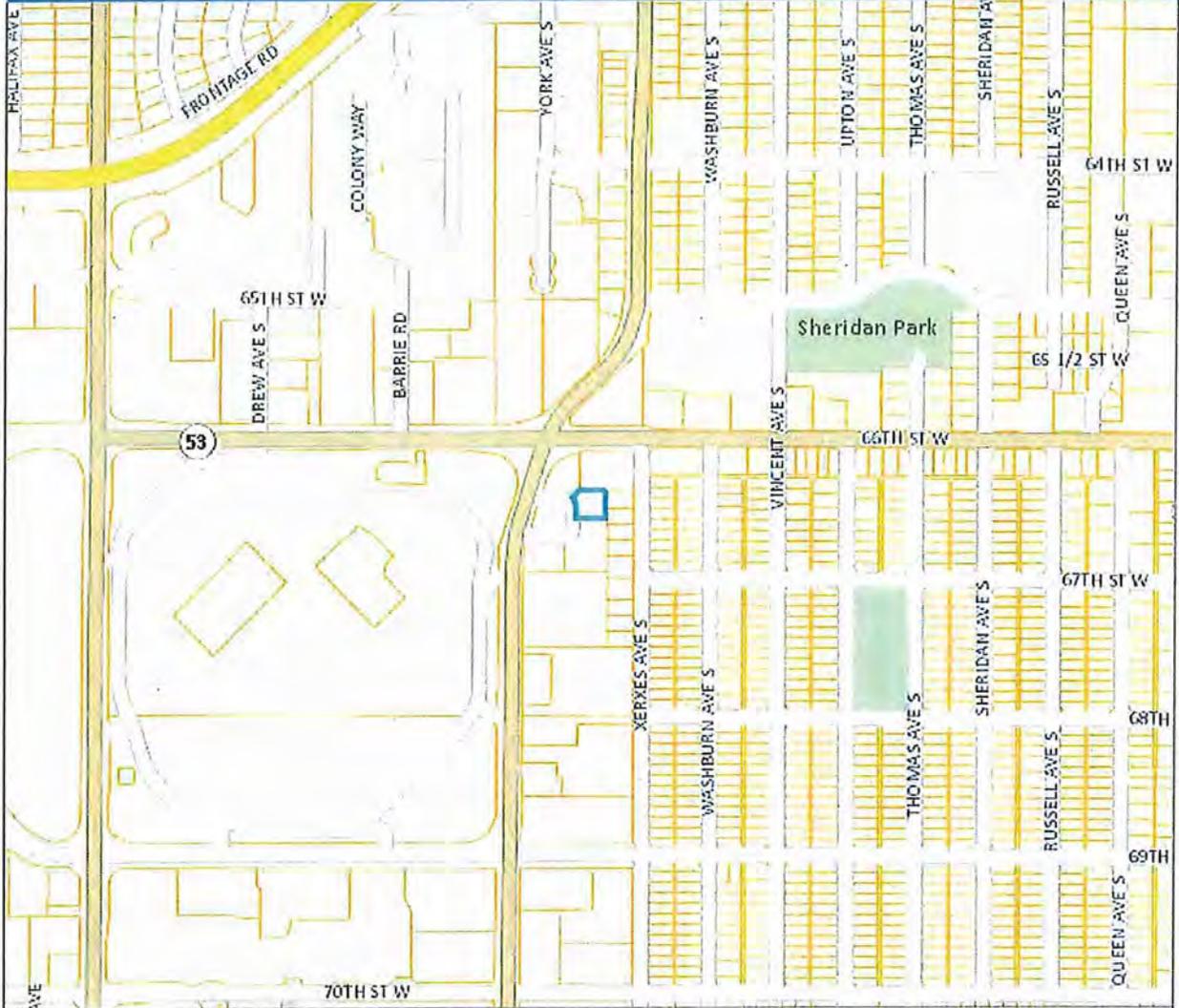
Approval is based on the following findings:

1. The proposal would meet the required standards and ordinances for a Site Plan with the exception of the setback variances.
2. The proposed variances are reasonable. The proposed building is smaller than the existing building on the site; the green space setback for the parking stalls would be increased by one-foot from existing conditions; and the menu board would be moved to the south side of the building and pointed away from the residential area to the east.
3. Moving the building closer to Southdale Circle also reduces the impact on the residential property to the east.
4. The practical difficulty is the existing size of the site, which makes it difficult to develop the site the meet the existing setbacks.
5. Variances have been granted in the past for the parking lot.

Approval of the Site Plan and Variances are subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, unless modified by the conditions below:
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5. Compliance with the conditions required by the city engineer in his memo dated April 2, 2014.
6. Building plans are subject to review and approval of the fire marshal at the time of building permit.
7. Bike racks must be provided to meet minimum Zoning Ordinance requirements.
8. All crosswalks shall be marked with ^{duraprint} ~~duraprint~~ stamping to clearly identify the pedestrian crossing.
9. Trash enclosures must be constructed to meet minimum Zoning Ordinance requirements.
10. Compliance with the chief building official's requests in his review memo dated March 27, 2014, at the time of building permit review.

Deadline for a city decision: July 1, 2014



Parcel ID: 2

Owner Name:

Parcel Address: 3210 Southdale Cir Edina, MN 55435

Property Type: Commercial-Preferred

Homestead:

Parcel Area: 0.43 acres 18,810 sq ft

A-T-B: Torrens

Market Total:

Tax Total:

Sale Price:

Sale Date:

Sale Code:

Map Scale: 1" ≈ 800 ft.

Print Date: 1/2/2014

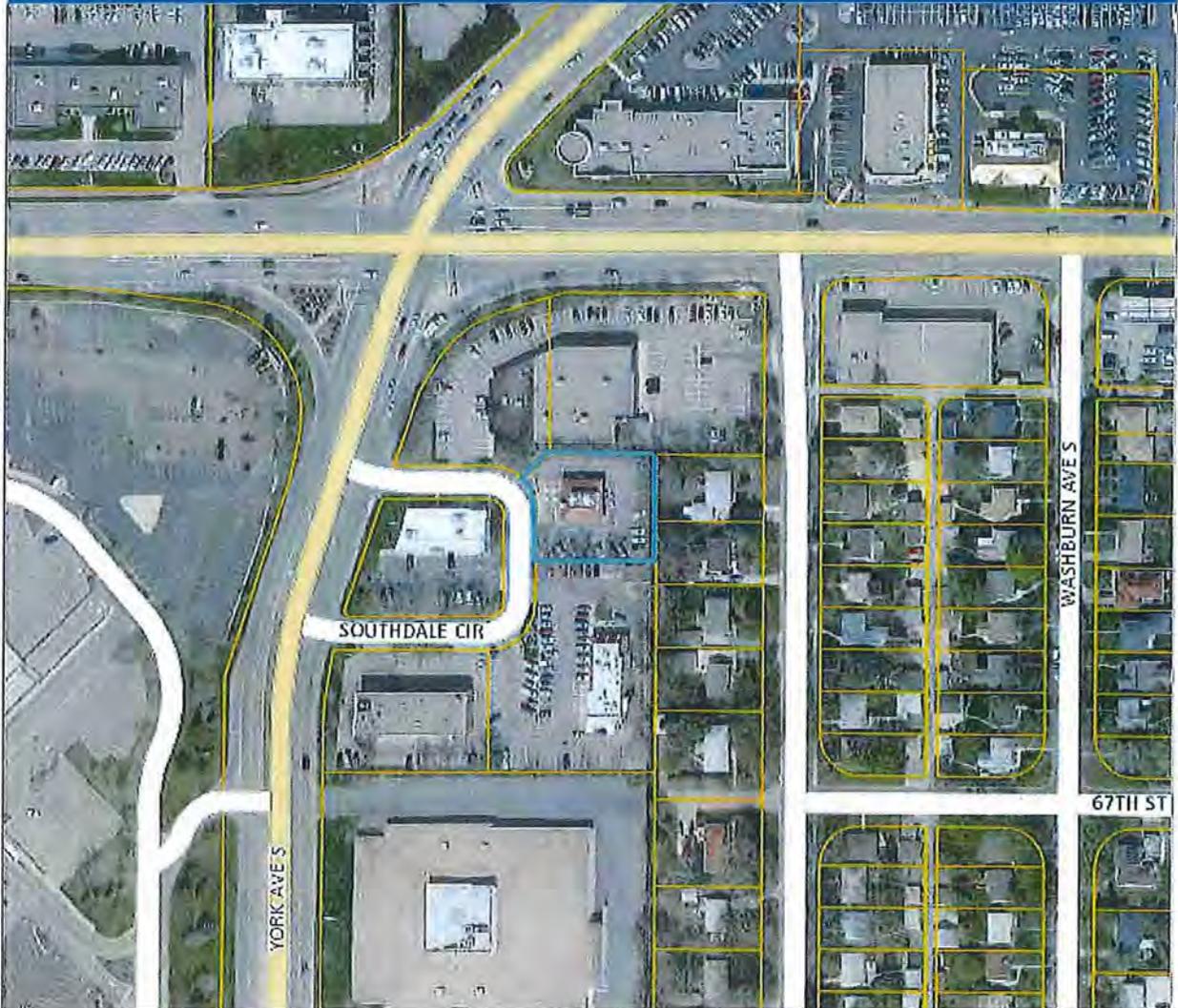


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Hennepin Interactive Maps Property Map



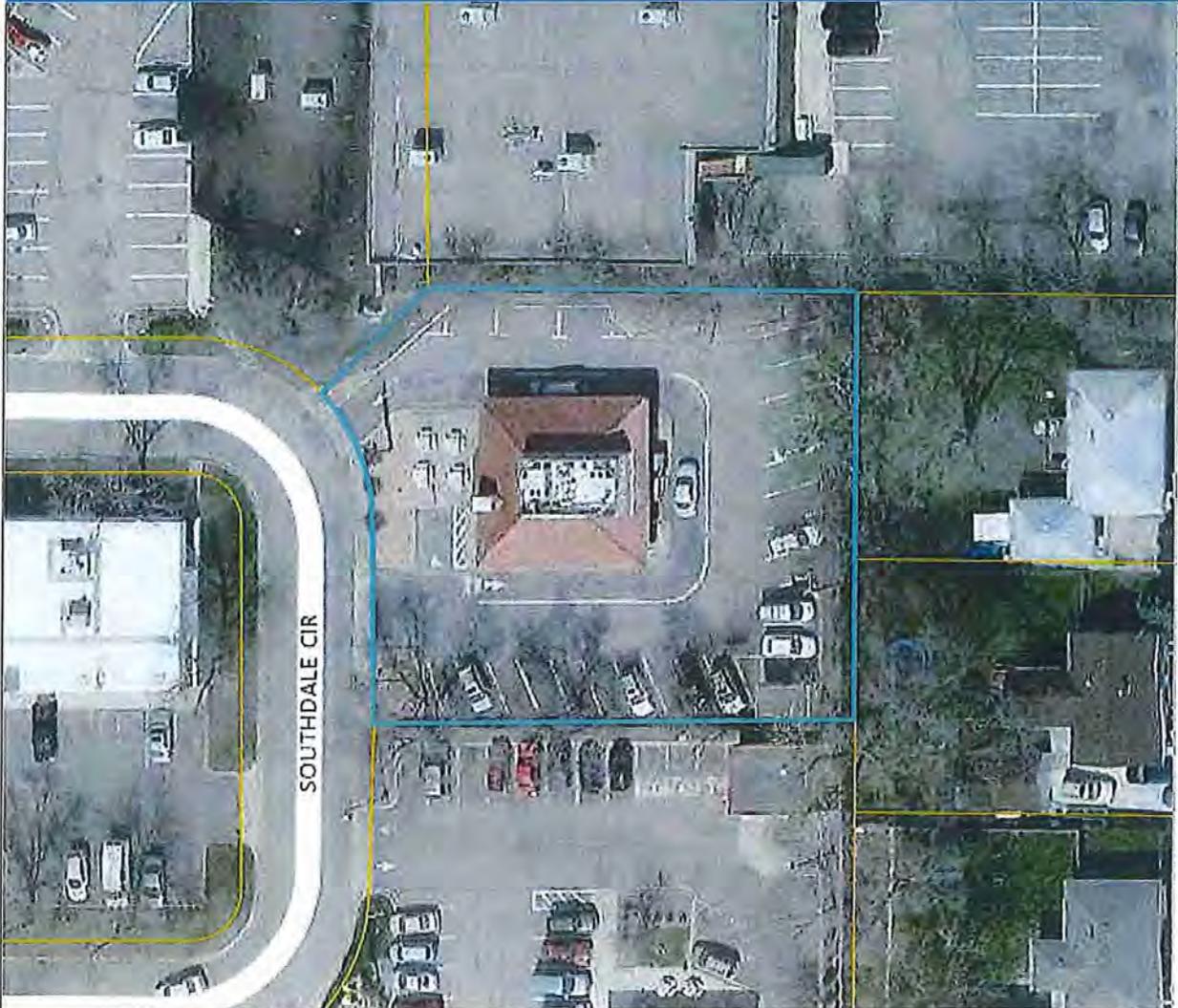
<p>Parcel ID: 29-028-24-31-0008</p> <p>Owner Name:</p> <p>Parcel Address:</p> <p>Property Type:</p> <p>Home-stead:</p> <p>Parcel Area: 0.43 acres 18,810 sq ft</p>	<p>A-T-B:</p> <p>Market Total:</p> <p>Tax Total: (</p> <p>Sale Price:</p> <p>Sale Date:</p> <p>Sale Code:</p>	<p>Map Scale: 1" ≈ 200 ft.</p> <p>Print Date: 1/2/2014</p> <p style="text-align: right;"></p> <p>This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.</p> <p>COPYRIGHT © HENNEPIN COUNTY 2014</p> <p style="text-align: right;"></p>
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A2



Interactive
Maps

Property
Map



<p>Parcel ID: 29-028-24-31-0008</p>	<p>A-T-B:</p>	<p>Map Scale: 1" ≈ 50 ft. Print Date: 1/2/2014</p>
<p>Owner Name:</p>	<p>Market Total:</p>	
<p>Parcel Address: 3210 Southdale Cir Edina, MN 55435</p>	<p>Tax Total:</p>	
<p>Property Type: Commercial-Preferred</p>	<p>Sale Price:</p>	
<p>Home-stead: Non-Homestead</p>	<p>Sale Date: 10/2012</p>	<p>This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.</p>
<p>Parcel Area: 0.43 acres 18,810 sq ft</p>	<p>Sale Code:</p>	<p>COPYRIGHT © HENNEPIN COUNTY 2014 </p>

A3



Current Address: 965 Decatur Ave. North
Golden Valley, MN 55427

New address Effective 4/4/2014

5425 Boone Ave. North
New Hope, MN 55428

Border Foods Application Narrative for City of Edina Staff, Planning Commission and City Council

Border Foods is a franchisee of Taco Bell Corp. and has been operating the Taco Bell Restaurant at 3210 Southdale Circle since 1996. Our principals are Lee and Jeff Engler who have been operating restaurants in Minnesota since 1980 beginning with Los Primos Restaurant in Southdale.

Border Foods is proposing to scrape and rebuild the existing Taco Bell to a more current brand image. Since 2009, our company has completed scrape and rebuild projects at Rice Street in St. Paul, Columbia Heights, Rochester, Eagan and Brooklyn Center in addition to twelve remodel projects throughout the metro and in greater Minnesota.

The proposed use is a continuation of a restaurant use with a drive thru window that has been operating at this location since 1985. The site plan proposes a building that is 1,850 sq. ft., rectangular and utilizes one way circulation flow for efficiency and safety. To provide as much distance from the residential property line to the east, the building is placed as far to the west as possible, which is an 18' foot front setback. This provides 45' from the face of the drive thru curb to the rear of the residential property line. The parking setbacks to the North and South property line, adjacent to commercial properties, are at 4' feet. The menu and audio board have been repositioned to face the south property line of McDonald's.

To create a better pedestrian experience, Border Foods has incorporated sidewalks, a bicycle rack and outdoor seating into the design. Our landscape architect completed a two part analysis of our project compared to the Starbucks location on France Ave (attachments included). The analysis revealed that the Starbucks has 23.9% of open space and the Taco Bell has 20.7% of open space. With the 3.2% variance in open space between the two parcels, the analysis next reviewed the quality of the vegetation. When comparing the plant materials within the Starbucks' parcel boundary area, the vegetation is comprised of shrubs, ornamentals and grasses. Any over story trees, which Starbucks included in their calculations on their landscape plan, were leveraged from the plantings of the overall Centennial Lakes landscaping requirements. By contrast, the quality of the proposed Taco Bell landscape plan is higher because of the inclusion of 10 over story trees and 6 ornamental trees. Within the boundaries of their identified parcel, Starbucks did not include any over story or ornamental trees. Not only does the Border Foods proposal exceed the City's standard for over story trees by 23% this also translates into a greater cost per square foot dedicated to landscaping as part of the overall budget for the project.

Our project's storm water management plan includes volume banking. The water quality volume required for the project is 2,003 cubic feet per Nine Mile Creek Watershed requirements. The civil plans propose upsizing the pipes to 24" to provide 2,559 cubic feet of water quality volume. This upsizing provides an excess volume of 553 cf which is 26.6% above the required cubic feet for a 2.5" rainfall event.

Four variances are requested due to practical difficulties encountered during site design. Neither the applicant nor the fee owners created these practical difficulties. The variance requests are:

- 1) Variance of parking setback on the North side of the property from 10 feet to 4 feet;
- 2) Variance of parking setback on the South side of the property from 10 feet to 4 feet;
- 3) Variance for front building setback from 35 feet to 18 feet;
- 4) Variance for a side of the menu board & audio system to face a residential property.

The parking setback variance requests were initially granted back in 1985 to the previous restaurant user. Border Foods is asking for a continuation of this previously approved variance.

The setback requirement of 35' on all sides of the building encompass 4,321 sq. ft. or 23.1% of the parcel. Moving the building forward allows the following adjustments to the site plan for safety and aesthetics:

- 1) An increase of the distance from the face of the drive thru curb to the rear of the residential property line to 45';
- 2) Allows inside seating for pedestrian customers who want to visit the restaurant;
- 3) Allows for a more comfortable turning radius in the one-way circulation pattern;
- 4) Allows the 15' parking setback to be used for spruces which is a denser plant material screening buffer;
- 5) Allows better placement of the audio system and menu board with an only non-audible side to be facing the residential property in contrast to the existing placement which is directly facing the residential property;
- 6) Allows reasonable access and safe servicing of the trash enclosure.

The menu board and audio system placement have been relocated from the current location on site facing directly to the residential property at the rear to the south facing McDonald's. However, a narrow side of the menu board and audio system still face the residential property.

Thank you for consideration of our project and respectfully ask for your approval.

AS

AC



1 VICINITY MAP
1"=300'-0"



WCL
Associates, Inc.



4831 West 25th Street
Suite 200
St. Louis Park, Minnesota
55425
612.341.0888
wcl@wcl.com
www.wcl.com

TACO
BELL

3210 SOUTHDALE CIRCLE
EDINA, MN 55435

PRELIMINARY
NOT FOR
CONSTRUCTION

I hereby certify the this plan was prepared by me or under my direct supervision and that I am a duly licensed professional under the laws of the State of Minnesota

DATE CLARY

REGISTRATION: LA 000

PRINT HISTORY DATE

DATE PLANNED 05/20/2010 05/27/2010

VICINITY MAP

PROJECT: 0910.06.09
DRAWN: JH
CHECKED: DC

A1

TACO BELL EDINA, MN

A7



1 SITE PLAN
1/8" = 1'-0"

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Associates, Inc.



4851 Vista 25th Street
Suite 200
St. Louis Park, Minnesota
55426
612.541.9999
612.541.9954
www.wcl.com

**TACO
BELL**

3210 SOUTHDALE CIRCLE
EDINA, MN 55435

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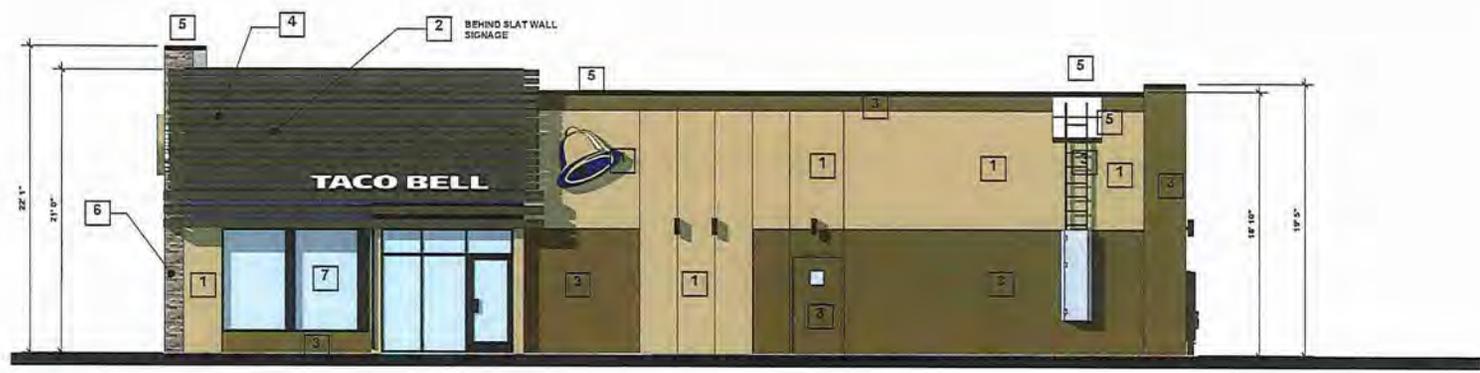
I hereby certify the this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

SIGNATURE:	DAVE CLARK
REGISTRATION:	14,899
PRINT HISTORY:	DATE
SITE PLAN REVIEW:	05.02.2014

SITE PLAN

PROJECT: 2013.06.28
DRAWN: DM
CHECKED: DC
A2
TACO BELL EDINA, MN

TACO BELL
3210 SOUTHDALE CIRCLE
EDINA, MN 55435



1 SIDE ENTRY ELEVATION
13'0" x 13'0"

EXTERIOR FINISH SCHEDULE

SYMBOL	AREA	MANUFACTURER	COLOR
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 6122 "CAMEL BACK"
2	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 "CLEMATIS"
3	ACCENT COLOR	SHERWIN WILLIAMS	SW 2823 "ROOKWOOD CLAY"
4	SLAT WALL AND VALANCE COLOR	SHERWIN WILLIAMS	SW 7034 "STATUS BRONZE"
5	PARAPET CAP COLOR		PREFINISHED DARK BRONZE
6	SIMULATED MASONRY VENEER	BORAL STONE PRODUCTS	PROSTONE LEDGESTONE "VINTAGE WINE" PRO-482284
7	STOREFRONT WINDOWS	TBD	" DARK BRONZE"
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL
EXTERIOR FINISH SCHEDULE			H

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NOT FOR
CONSTRUCTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

SIGNATURE: _____ DATE: _____

REGISTRATION: 14883

PRINT HISTORY: _____ DATE: _____

DATE PLOTTED: 08/09/2017 09:47:33 AM

EXTERIOR ELEVATIONS

PROJECT: 2017.06.08
DRAWN: DM
CHECKED: DC

A8

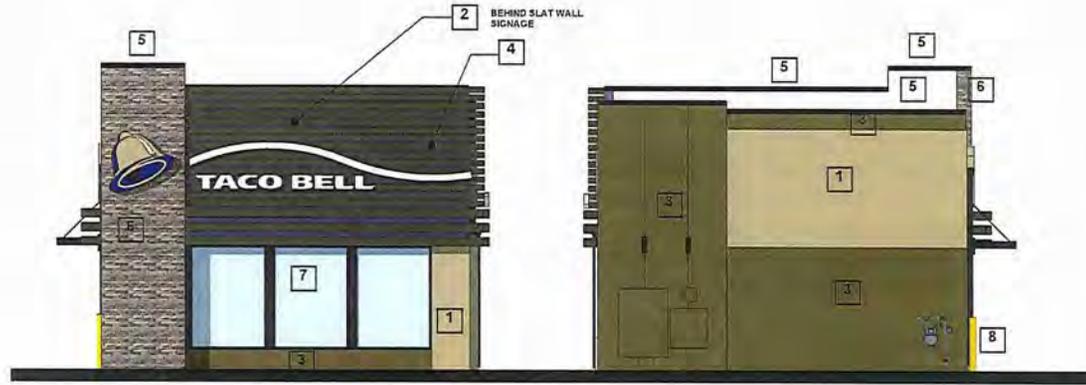
TACO BELL EDINA, MN



TACO BELL

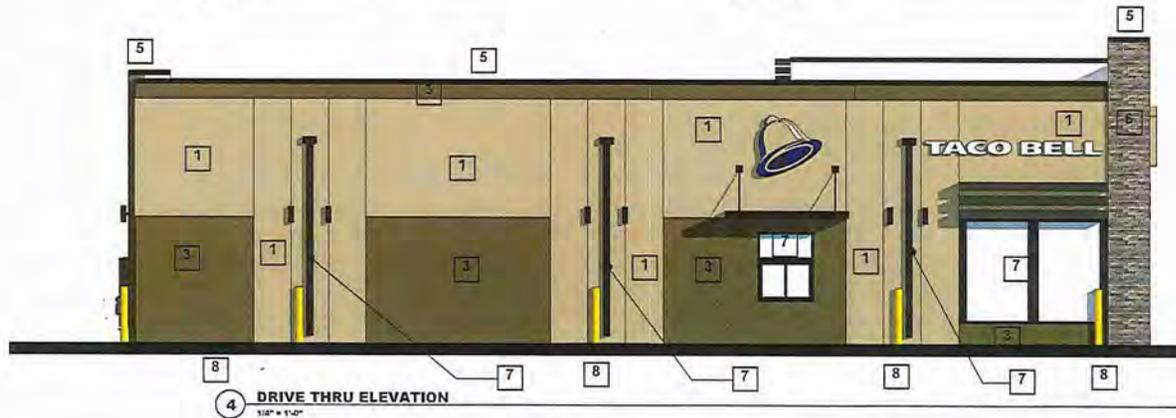
3210 SOUTHDALE CIRCLE
EDINA, MN 55435

PRELIMINARY
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CONSTRUCTION



2 FRONT ELEVATION
1/8" = 1'-0"

3 REAR ELEVATION
1/8" = 1'-0"



4 DRIVE THRU ELEVATION
1/8" = 1'-0"

1 DIRECT EXTERIOR
FINISH SYSTEM (DEFS)



2 DIRECT EXTERIOR
FINISH SYSTEM (DEFS)



BEHIND SLAT WALL
SIGNAGE

3 DIRECT EXTERIOR
FINISH SYSTEM (DEFS)



4 PREFINISHED METAL
VALANCE AND SLAT WALL



5 PREFINISHED METAL
PARAPET CAP FLASHING



6 SIMULATED MASONRY
VENEER



7 PREFINISHED METAL
STOREFRONT



EXTERIOR ELEVATIONS

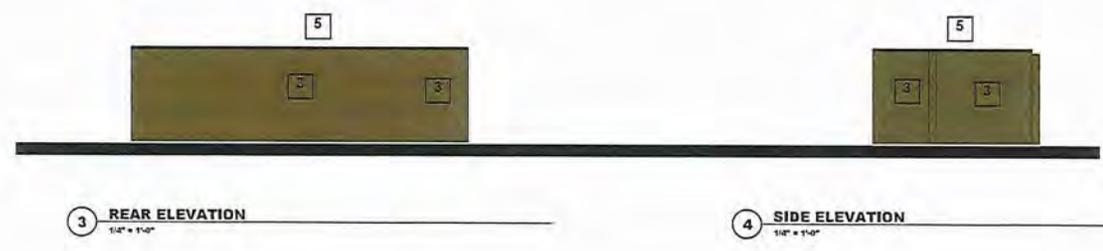
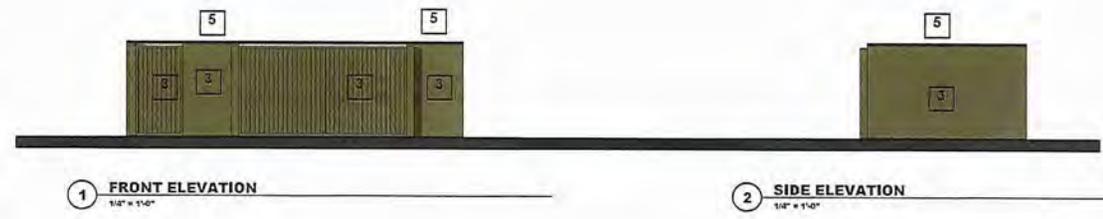
PROJECT: 2019.00.09
DRAWN: DM
CHECKED: DC

A9

TACO BELL EDINA, MN

A/c

PRELIMINARY
 NOT FOR
 CONSTRUCTION



<p>1 DIRECT EXTERIOR FINISH SYSTEM (DEFS)</p>	<p>2 DIRECT EXTERIOR FINISH SYSTEM (DEFS) BEHIND SLAT WALL SIGNAGE</p>	<p>3 DIRECT EXTERIOR FINISH SYSTEM (DEFS)</p>	<p>4 PREFINISHED METAL VALANCE AND SLAT WALL</p>	<p>5 PREFINISHED METAL PARAPET CAP FLASHING</p>	<p>6 SIMULATED MASONRY VENEER</p>	<p>7 PREFINISHED METAL STOREFRONT</p>
--	---	--	---	--	--	--

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

SIGNATURE: _____
 DAVID CLARK
 REGISTRATION: 14,893

PRINT HISTORY	DATE
JOHN PAUL WILSON	03/07/2014

TRASH ENCLOSURE ELEVATIONS

PROJECT: 2013.09.08
 DRAWN: DCF
 CHECKED: DC

A10
 TACO BELL, EDINA, MN

A13



1 MODEL VIEW
NO SCALE

WCL
Associates, Inc.
Architecture
Interiors
455 West 52nd Street
Suite 200
St. Louis Park, Minnesota
55425
952.541.8888
952.541.0754
www.wcl.com

TACO
BELL
3210 SOUTHDALE CIRCLE
EDINA, MN 55435

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I hereby certify that this data was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

SIGNATURE: GAVIN CLARK

REGISTRATION: 14 893

PRINT HISTORY DATE

2017 11/14/2017

MODEL VIEW

PROJECT: 2017.08.08
DRAWN: DW
CHECKED: DC

A4

TACO BELL EDINA, MN

A14



1 MODEL VIEW
NO SCALE

WCL
Associates, Inc.

Architecture
Interiors

4713 Wood 15th Street
Suite 200
St. Louis Park, Minnesota
55426

1.302.541.0888
1.302.541.0888
www.wcl.com

TACO
BELL

3210 SOUTHDAL CIRCLE
EDINA, MN 55435

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CONSTRUCTION

I hereby certify the this plan was prepared by me or under my direct supervision and that I am a duly Licensed architect under the laws of the State of Minnesota

SIGNATURE: _____ DATE: _____

REGISTRATION: 14 883

PRINT HISTORY DATE

2010 10 10 10:00 AM 01 01 2010

MODEL VIEW

PROJECT: 2010.08.01
DRAWN: DJF
CHECKED: DC

A4

TACO BELL EDINA, MN

A15



1 MODEL VIEW
NO SCALE

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Associates, Inc.

Architecture
Interiors

4531 Wood 250 Street
Suite 200
St. Louis Park, Minnesota
55425
763.541.0000
763.541.0100
www.wcl.com

TACO
BELL

3210 SOUTHDAL CIRCLE
EDINA, MN 55435

PRELIMINARY
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CONSTRUCTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

DATE: _____

REGISTERED: _____

PRINT HISTORY: _____

DATE: _____

PROJECT: 3113.08.09

DRAWN: DM

CHECKED: DC

A6

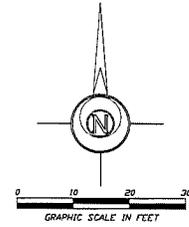
TACO BELL EDINA, MN

KEY NOTES

- 1 REMOVE EXISTING BUILDING/STRUCTURE AND/OR SITE FEATURE.
- 2 REMOVE EXISTING CONCRETE CURB & CUTTER.
- 3 REMOVE EXISTING BITUMINOUS AND CONCRETE PAVEMENT.
- 4 REMOVE AND DISPOSE OF EXISTING LANDSCAPE FEATURES, PLANTINGS, AND TREES.
- 5 REMOVE EXISTING PARKING LOT LIGHT.
- 6 REMOVE EXISTING SIGN.
- 7 REMOVE EXISTING SITE FEATURE AND ASSOCIATED COMPONENTS.
- 8 COORDINATE WITH UTILITY SERVICE PROVIDER FOR RELOCATION, DISCONNECTION, TEMPORARY CAP AND/OR REMOVAL AS NECESSARY.
- 9 DISCONNECT AND REMOVE EXISTING WATER SERVICE PER CITY REQUIREMENTS. LOCATION SHOWN FOR EXISTING WATER SERVICE IS APPROXIMATE. CONTRACTOR RESPONSIBLE TO FIELD LOCATE AND ADJUST AS NECESSARY.
- 10 DISCONNECT AND REMOVE EXISTING SANITARY SEWER SERVICE AND PROVIDE TEMPORARY CAP SHOWN FOR EXISTING SANITARY SEWER AND WATER SERVICE IS APPROXIMATE. CONTRACTOR RESPONSIBLE TO FIELD LOCATE AND ADJUST AS NECESSARY. SEE DEMOLITION NOTES 7 AND 8.
- 11 PROTECT EXISTING TREE IN PLACE.
- 12 PROTECT EXISTING PYLON POLE AND SIGN IN PLACE. COORDINATE WITH OWNER FOR EXISTING ELECTRIC DISCONNECT AND RETROFIT NECESSARY FOR RE-CONNECTION.
- 13 PROTECT EXISTING FENCE IN PLACE.
- 14 SAWCUT AND REMOVE EXISTING BITUMINOUS PAVEMENT AT MIN. 2'-0" WIDTH FROM LIP EDGE OF REPLACEMENT CONCRETE APRON AND PREPARE FOR PATCH WITH HEAVY DUTY BITUMINOUS PAVEMENT. MATCH EXISTING PAVEMENT ELEVATIONS AND CROSS SLOPE.
- 15 REMOVE EXISTING DRIVEWAY CURB CUT AND PREPARE FOR RE-CONSTRUCTION WITH CONCRETE CONCRETE DRIVEWAY APRON FOR SITE PLAN. COORDINATE SCHEDULE TO MINIMIZE IMPACT TO STREET. SAWCUT EXISTING CURB AND BITUMINOUS PAVEMENT PER CITY STANDARDS.
- 16 PROTECT EXISTING CURB AND/OR BITUMINOUS PAVEMENT IN PLACE. CONTRACTOR RESPONSIBLE FOR DAMAGED CURB AND/OR DAMAGED BITUMINOUS PAVEMENT. CONTRACTOR RESPONSIBLE FOR DAMAGE REPAIR AT NO COST TO OWNER.

DEMOLITION NOTES

1. Do not begin demolition until perimeter sediment controls are in place.
2. Provide air quality control measures at the request of the Engineer or City Representatives. Take necessary measures to keep dust levels 1/4 inch maximum. Provide sweeping of adjacent paving as needed, or as required by the City Engineer.
3. Use approved inlet protection at all active storm sewer inlets. Refer to details.
4. Locate and protect all utility lines prior to and during demolition. Utility locations shown are based on best available information and are not guaranteed. Contact private utility service for disconnection and removal as necessary.
5. Obtain all necessary permits for demolition of existing buildings and site features.
6. Remove or relocate all existing structures and site features that interfere with the proposed construction.
7. Contractor to obtain Sewer and Water Service Disconnect Permit if required from the City. Sanitary sewer service and water service must be disconnected and inspected prior to starting building demolition. Verify location of water and sanitary services. Size of existing water service in street is 8" DIP, but size of water service to existing building is unknown. Size of existing sanitary sewer in street is 8" VCP, but size of sanitary sewer to existing building is unknown. Location of water and sanitary services in street to property line are based on City record plan information, but location of services from property line to existing building is unknown. Contractor to determine size and location of services and report findings to owner and Engineer. Cap lines at proposed connections per utility plan and remove pipes to the existing building. Remove the water meter prior to building demolition and return to the City.
8. Contractor to coordinate with certified plumber for video review and evaluation of existing 8" VCP sanitary sewer service proposed to remain from property line to sanitary main in the street. Findings to be reviewed with owner, and consent to determine if additional removal/replacement needed for portion from sanitary main to property line.
9. Remove demolition debris within 24 hours. Breakage of salvaged material is not permitted on site.
10. Protect existing site features that are to remain in place during construction. Replace anything damaged with new construction.
11. Pavement shall be saw cut at limits of removal unless noted otherwise. Removal may occur at nearest construction joint beyond limit of no cost to the owner.
12. Do not impede existing traffic circulation to adjacent businesses or streets.
13. Sufficient topsoil shall be elevated to allow for the replacement of 4" of topsoil for disturbed areas to be re-vegetated.
14. All construction and post-construction parking shall be on-site. At no time shall parking, loading, or unloading be allowed on public streets.
15. Storage of materials or equipment shall not be allowed within public Right-of-Way or on private street.
16. All erosion control measures must be inspected by the City prior to any demolition.



WCL
Associates, Inc.

4071 Hwy 31st Street
Suite 205
St. Louis Park, Minnesota
55416

T 952.941.9859
F 952.941.9854
www.wcl.com

SITE PLAN BASED ON SURVEY INFORMATION
DATED SEPTEMBER 10, 2015 PROVIDED BY
LOT SURVEYS COMPANY, INC.

BENCHMARK:

Top nut of hydrant located on Southdale Circle at
S2 East Southwest of southeast property corner.
Elevation = 883.40 feet

LEGAL DESCRIPTION:

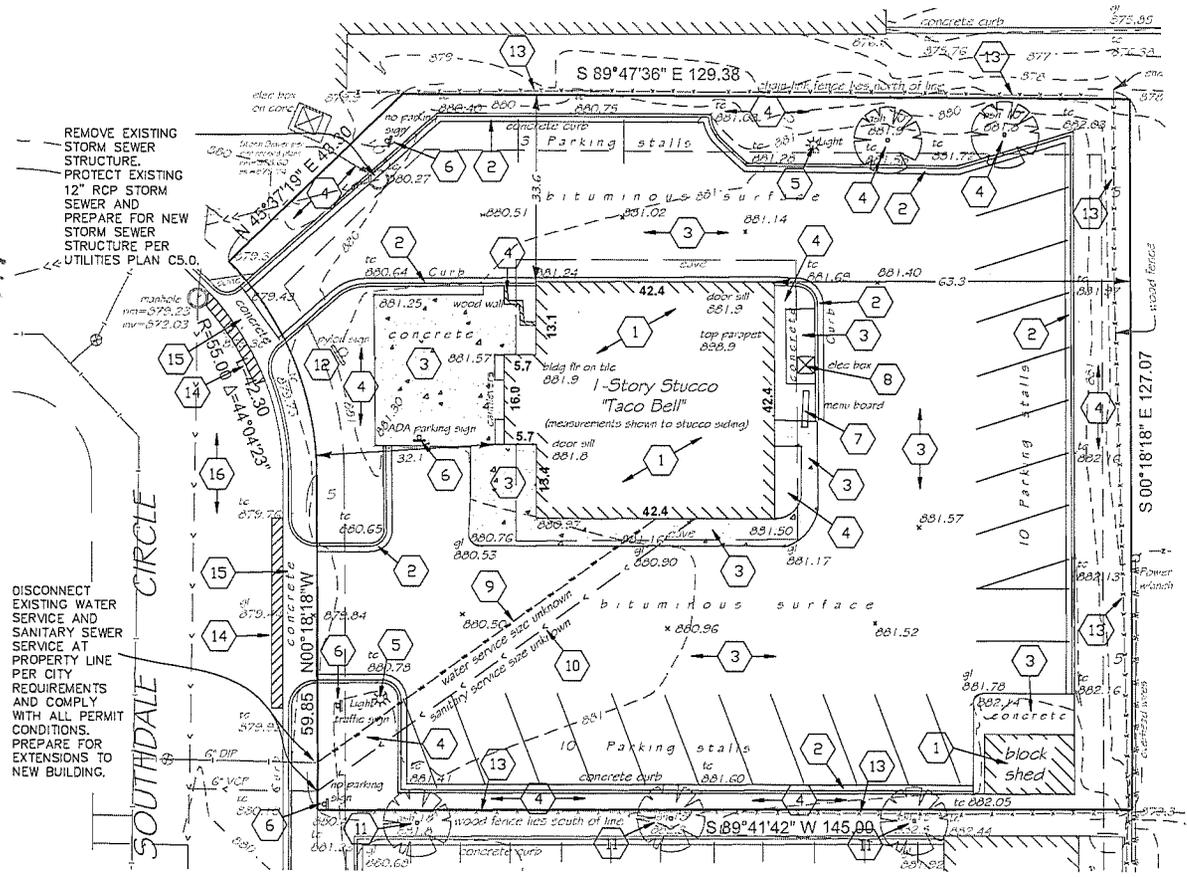
Tract 5, Registered Lens Survey No. 1337,
Hennepin County, Minnesota.

SURVEY LEGEND:

- Catch basins
- Hydrant
- Light standard
- Gas main
- Sanitary sewer
- Storm sewer
- Watermain
- Overhead wires
- Underground electric

INDEX OF CIVIL SITE DRAWINGS:

- C1.0 SITE PLAN
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 GRADING AND DRAINAGE PLAN
- C5.0 UTILITIES PLAN
- C6.0 STORM WATER AND EROSION CONTROL PLAN
- C7.0 STANDARD DETAILS



Taco Bell

3210 SOUTHDAL CIRCLE
EDINA, MN 55435

PRELIMINARY
NOT FOR
CONSTRUCTION

Developed by:
Border Foods
865 Decatur Ave North
Golden Valley MN 55427

New Address as of April
4, 2014
5425 Sooma Ave N.
New Hope, MN 55428

Consultant
SITE CONSTRUCTION PLANS PREPARED BY
CIVIL ENGINEERING
SITE DESIGN
114 East Broadway St.
Hennepin, MN 55427
Phone: 763-261-0997
www.civilmn.com

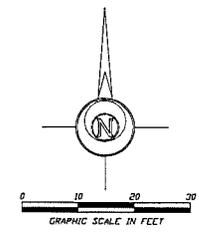
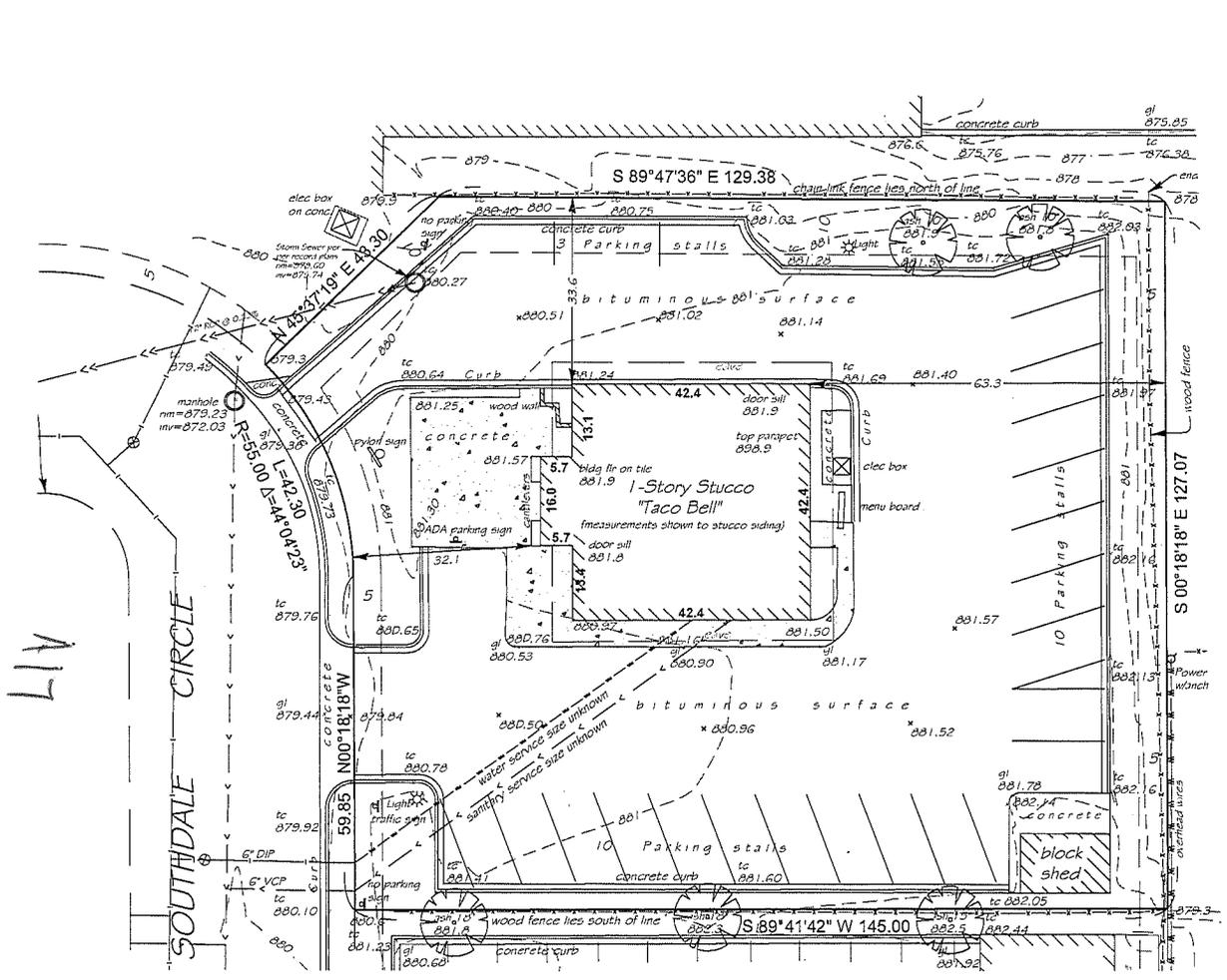
I hereby certify that the plans, specifications, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Minnesota.

Printed Name: **SCOTT DANKLE**
Signature: *[Signature]*
Date: **02/27/2014** License # **24483**

Prep History
SITE PLAN REVIEW **02/27/2014**

New Building
N1-2B, 2B Spots: 1,847 SF
DEMOLITION PLAN

Project: **2013.09.00**
Drawn: **08**
Checked: **08**
CADD/Plotted: **08/08**
C3.0
TACO BELL EDINA, MN



SITE PLAN BASED ON SURVEY INFORMATION DATED SEPTEMBER 18, 2012 PROVIDED BY LOT SURVEYS COMPANY, INC.

BENCHMARK:

Top nail of hydrant located on Southdale Circle at 52 feet southeast of southwest property corner. Elevation = 883.40 feet

LEGAL DESCRIPTION:

Tract C, Registered Land Survey No. 1337, Hennepin County, Minnesota.

SURVEY LEGEND:

- Catch basins
- Hydrant
- Light standard
- Gas main
- Sanitary sewer
- Storm sewer
- Watermain
- Overhead wires
- Underground electric

INDEX OF CIVIL SITE DRAWINGS:

- C1.0 SITE PLAN
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 GRADING AND DRAINAGE PLAN
- C5.0 UTILITIES PLAN
- C6.0 STRM WATER AND EROSION CONTROL PLAN
- C7.0 STANDARD DETAILS



PRELIMINARY
 NOT FOR
 CONSTRUCTION

Developed by:
Border Foods
 965 Decatur Ave North
 Golden Valley MN 55427
 New Address as of April 4, 2014
 5425 Boona Ave N.
 New Hope, MN 55420

Consultant
 with construction plans prepared by:



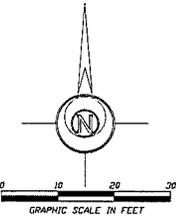
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Minnesota.

Printed Name: SCOTT DANLAK
 Signature:
 Date: 03/07/14 License #: 23386

Per/History	Date
SITE PLAN REVIEW	03/07/2014

New Building
 NI-23, 23 Seats: 1,847 SF
**EXISTING CONDITIONS
 PLAN**

Project: 2013.06.04
 Drawn: DS
 Checked: DS
 CADD Project #: 00475
C2.0
 TACO BELL EDINA, MN



SITE PLAN BASED ON SURVEY INFORMATION DATED SEPTEMBER 19, 2012 PROVIDED BY LOT SURVEYS COMPANY, INC.

LEGAL DESCRIPTION:

Tract C, Registered Land Survey No. 1357, Hennepin County, Minnesota.

SITE DATA:

ZONING: PCD-3 PLANNED COMMERCIAL DISTRICT 3
 PROPOSED USE: RESTAURANT WITH DRIVE-THROUGH
 GROSS LOT AREA: 18,780 SQ. FT. OR 8.43 ACRES
 TOTAL BUILDING FOOTPRINT AREA (CFA) (Gross Area): 1,847 SQ. FT.
 PERCENT BUILDING COVERAGE: 9.9%
 FLOOR AREA RATIO (FAR): 0.899
 EXISTING IMPERVIOUS AREA: 15,533 SQ. FT.
 PERCENT EXISTING IMPERVIOUS AREA: 83.1% (15,533 / 18,780)
 PROPOSED IMPERVIOUS AREA: 14,838 SQ. FT.
 PERCENT PROPOSED IMPERVIOUS AREA: 79.4% (14,838 / 18,780)
 PROPOSED LANDSCAPE AREA: 3,882 SQ. FT.
 PERCENT LANDSCAPE AREA: 20.6% (3,882 / 18,780)

PARKING DATA:

PARKING STALLS:
 Provided 8.0 x 18.0 15 Stalls
 Provided Accessible (ADA) 2 Stalls
 Provided Total: 17 Stalls
 Required Parking Stalls:
 1/2 of seats plus 1 per max. shift (28 seats / 3) = 8 " 17 Stalls
 DIRECTIONAL STALLS:
 Provided Drive-In/Out Behind Menu: 3 Vehicles
 Required Drive-In/Out Behind Menu: 3 Vehicles

SETBACK:

UNIFORM REQUIREMENTS
 LOCATION: BUILDING PARKING
 FRONT: 35' 28'
 SIDE: 35' 19'
 REAR: 35' 15'

SITE PLAN NOTES:

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND SPECIFICATIONS FOR LOCATION OF EXITS, RAMPS, CONCRETE APRONS AND STOPS.
- TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING. WATCH EXISTING GRADES.
- ALL CONCRETE SIDEWALKS ADJACENT TO BUILDING SHALL BE SEPARATED WITH A 1" EXPANSION JOINT.
- CONTRACTOR SHALL VERIFY ALL CONDUIT REQUIREMENTS FOR LIGHTING, IRRIGATION, MENU BOARD, COMMUNICATION FIBER OPTIC WITH OWNER PRIOR TO PAVING.
- CONTRACTOR SHALL VERIFY LOCATION OF THE MENU BOARD AND COMMUNICATION PERISTAL WITH OWNER PRIOR TO PLACEMENT.
- ACCESSIBLE RAMP SHALL BE PROVIDED FROM ACCESSIBLE STALLS TO BUILDING ENTRANCE (SEE ADAAG REQUIREMENTS). POLE MOUNT APPROVED SIGNS CENTERED ON STALLS. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY ON STALL.
- CONSTRUCT ACCESSIBLE, PEDESTRIAN RAMP PER ADAAG AND MNDOT STANDARDS. PROVIDE CONTRASTING DETECTABLE WARNING STRIP.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH FIRE MARSHAL FOR POSTING OF FIRE LANCES, CURB MARKING AND SIGNAGE IF NEEDED.
- CONTRACTOR IS RESPONSIBLE FOR REHABILITATION AND REMOVAL OF ALL EXISTING STRUCTURES THAT INTERFERE WITH NEW WORK AS SHOWN.
- NO LANDSCAPE AREAS ARE TO BE IRRIGATED.
- ALL NEW UTILITIES MUST BE UNDERGROUND.
- SIDEWALKS SHALL BE CONSTRUCTED WITH CROSS SLOPE OF 1.5% WITH ADJUSTMENT +/- 0.3%. SIDEWALKS WILL BE INSPECTED AFTER CONSTRUCTION. ANY SIDEWALK EXCEEDING 2.8% CROSS SLOPE WILL NEED TO BE REPLACED AT CONTRACTORS EXPENSE.

GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY THE PERMITTING AUTHORITIES.
- WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATION SET FORTH THEREIN ARE A PART OF THE REQUIREMENTS OF THESE DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE TACO BELL CONSTRUCTION MANAGER IF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND PIPING, VALVING, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, LICENSED WITHIN THE STATE, WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AND PAVEMENT AREAS HAVE BEEN COMPACTIONED IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE LOCATIONS OF THE UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- ALL EXISTING DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION. NOTIFY TACO BELL CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

WCL
 Associates, Inc.
 4301 West 130th Street
 Suite 200
 Golden Valley, MN 55416
 P: 652.241.9944
 F: 652.241.9954
 www.wcl.com

Taco Bell
 3210 SOUTHDALE CIRCLE
 EDINA, MN 55435

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

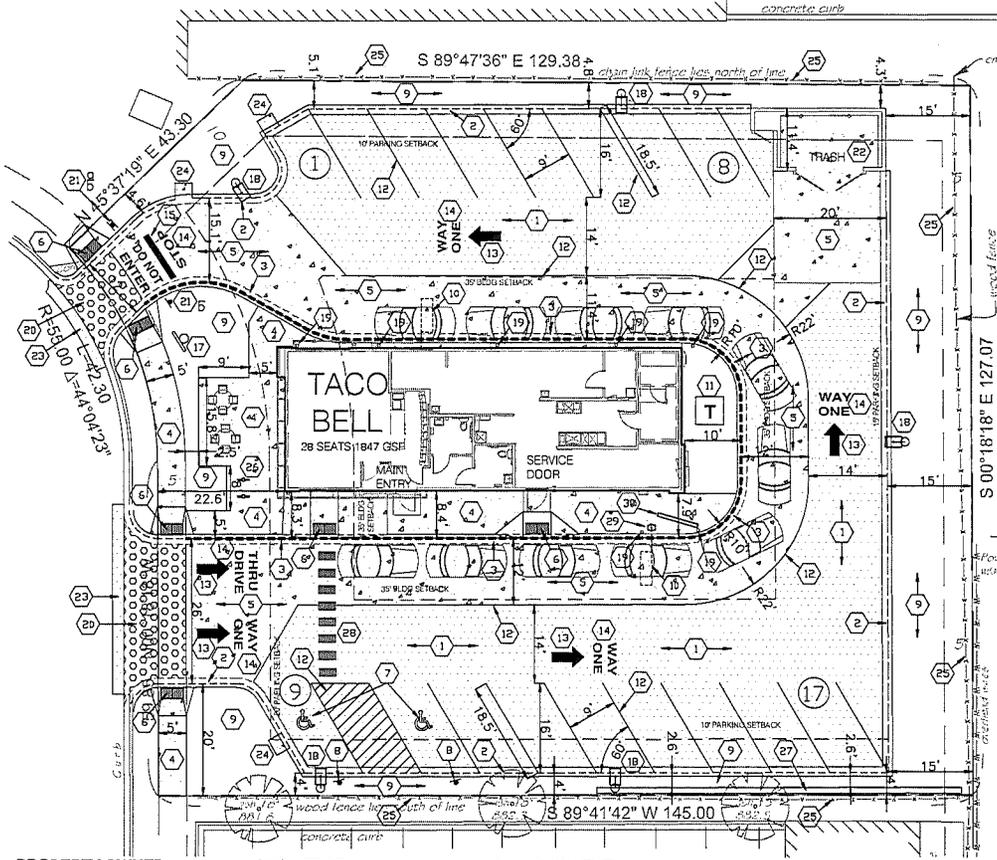
Developed by:
Border Foods
 965 Decatur Ave North
 Golden Valley MN 55427
 4.2014
 5425 Bozette Ave N,
 New Hope, MN 55428

Contractor:
CIVIL ENGINEERING
 SITE DESIGN
 114 Elm Street, SE
 Monticello, MN 55369
 Phone: 763.314.0929
 www.civilesd.com
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota.
 Printed Name: SCOTT DAHLKE
 Signature: [Signature]
 Date: 03/20/14 License # 2646

Project: 2013-003
 Date: 03/27/2014
 SITE PLAN REVIEW
 Nav Building
 N-20, 28 Seats: 1,847 SF
 SITE PLAN

Printed: 2013-003
 Drawn: DS
 Checked: DS
 DESIGNED BY: [Signature]
C1.0
 TACO BELL EDINA, MN

SOUTHDALE CIRCLE



SITE LEGEND:

- HEAVY DUTY BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE BRIVWAY APRON
- 8\"/>

KEY NOTES:

- BITUMINOUS PAVEMENT AS SPECIFIED BELOW:
 (PARKING LOT ONLY)
 BIT BASE COURSE: 3"
 AGGREGATE BASE (C-3): 3"
 COMPACTON DENSITY BETWEEN BASE AND 100% OF THE MARSHALL DENSITY. 100% FOR AGGREGATE BASE.
 SOIL ENGINEER RECOMMENDATIONS SUPERSEDE ABOVE LISTED SPECS.
- 8\"/>

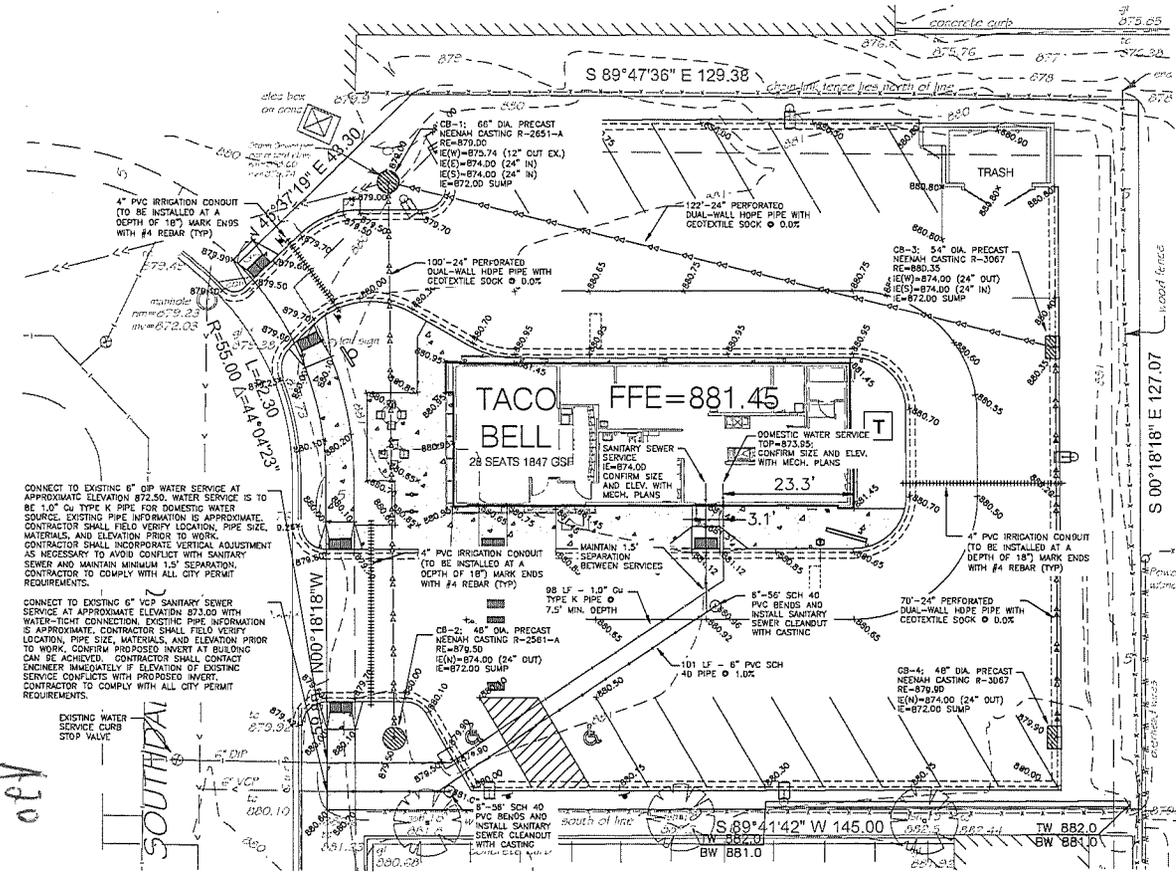
INDEX OF CIVIL SITE DRAWINGS:

- | | |
|------|--------------------------------------|
| C1.0 | SITE PLAN |
| C2.0 | EXISTING CONDITIONS PLAN |
| C3.0 | DEMOLITION PLAN |
| C4.0 | GRADING AND DRAINAGE PLAN |
| C5.0 | UTILITIES PLAN |
| C6.0 | STORM WATER AND EROSION CONTROL PLAN |
| C7.0 | STANDARD DETAILS |

PROPERTY OWNER:
 BORDER FOODS, INC.
 CONTACT: BARB SCHNEIDER
 965 DECATUR AVENUE NORTH
 GOLDEN VALLEY, MN 55427
 PH (763) 489-2970
 FX (763) 489-2971

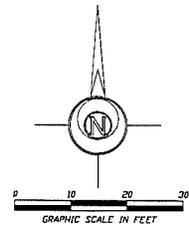
ARCHITECT:
 WCL ASSOCIATES, INC.
 CONTACT: DEAN MADSON
 4931 W. 35TH ST. STE 200
 ST. LOUIS PARK, MN 55416
 PH (952) 541-9969
 FX (952) 541-9554

CIVIL ENGINEER:
 CIVIL ENGINEERING SITE DESIGN, LLC
 CONTACT: SCOTT DAHLKE
 118 EAST BROADWAY ST., PO BOX 566
 MONTICELLO, MN 55362
 PH (763) 314-0929
 www.civilesd.com



SITE LEGEND:

- × HHH EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- EXISTING STORM SEWER
- × HHH PROPOSED SPOT ELEVATION
- PROPOSED FLOW DIRECTION AND SLOPE
- PROPOSED CURB AND GUTTER
- PROPOSED TOP OF CURB
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED WATER SERVICE
- PROPOSED IRRIGATION CONDUIT
- PROPOSED SPLITTING WITH BRASS GROMMET
- INLET PROTECTION



SITE PLAN BASED ON SURVEY INFORMATION DATED SEPTEMBER 19, 2012 PROVIDED BY LOT SURVEYS COMPANY, INC.

BENCHMARK:

Top nut of hydrant located on Southdale Circle at 82' left roadway of southwest property corner. Elevation = 853.40 feet

LEGAL DESCRIPTION:

Tract C, Registered Land Survey No. 1357, Hennepin County, Minnesota.

GENERAL UTILITY NOTES:

1. Specifications applicable for this project: Current standard specifications for the City of Edina, MN and of Minnesota Department of Health and MPCA requirements except where modified by these contract documents.
2. OSHA requirements shall be followed for all work on this project.
3. The Contractor shall notify "Duffer State One Call" 48 hours prior to any excavation (851-434-0002 or 1-800-252-1150 out state).
4. The Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction (storm sewer, sanitary sewer, water, natural gas, telephone, electric, etc.), and immediately notify the Engineer of any conflicts.
5. The Contractor shall protect all existing utilities and facilities to allow proper functioning during and after construction. Any required supporting structures shall be supplied by the Contractor as work incidental to the contract.
6. The Contractor shall immediately notify the Engineer of any conflict between existing utilities, and the proposed construction. The Engineer will coordinate with the Utility Company in question to determine the need for relocation of the existing utility.
7. Existing conditions such as sand in manholes or valve boxes shall be identified by the Contractor and these shall be reported to the Engineer prior to excavation by the Contractor. Once construction has begun, all damage to underground utilities will be assumed to have been caused by the Contractor, any repairs necessary shall be performed by the Contractor at the Contractor's expense.
8. Final Plot shall govern for easements and lot lines.
9. The Contractor shall coordinate with the local jurisdiction to obtain permits and meter for water service. An associated cost shall be incidental to the Contractor, including disposal of test water into City's sanitary sewer system. The Contractor shall not operate gate valves or hydrants on the City's water supply system.
10. The Contractor shall notify the City Engineer and the Project Engineer 48 hours prior to starting work or as required by the local jurisdiction or as subject to being shut down.
11. The Contractor shall keep access roads clear of soil or other debris, and perform daily street cleaning as required by the NPDES permit or as required by the City. Pavement drainage, centralized with erosion control and erosion prevention measures as required by the NPDES permit shall be performed. Inlet protection shall be installed within 48 hours after inlet construction. Unless specified on the plans or as a bid item on the Bid Form, any temporary curbs, ditches, filter fabric, etc. necessary to accomplish this shall be performed as incidental to the Contract.
12. The Contractor shall preserve and protect the markers and monuments set for the subdivision of the land.
13. The Contractor shall schedule the soil engineer to facilitate certification of soil controlled fill in a timely fashion. Density tests shall meet the following:
 - A. Generally tests shall be taken on all trenches at locations as determined by the Engineer or his representative.
 - B. Within the upper 3' of aggregate, private drives and parking lots, Contractor shall utilize approved soils that are within 1% optimum moisture content as defined by the Standard Proctor Test-ASTM D-998 with 100% Standard Proctor. Density and not exceeding compaction by more than 1%. Below the upper 3', compaction shall meet 95%. Grading tolerances shall be 0.1".
14. The Owner shall pay for all testing of soils compaction. Any areas which fail to meet the above standards shall be corrected and re-tested by the Owner's testing agent at the Contractor's expense.
15. Water service shall be installed with a minimum of 7.5 feet of cover.
16. Contractor shall be responsible for verification of the depth of existing utilities listed on this plan prior to the ordering of any fittings, structures, castings, etc. Engineer and the Owner shall not be responsible for any discrepancies found as depths are estimated.
17. City inspection is required for the sanitary sewer and water service connections.
18. Contractor to comply with all regulatory agency permit conditions for permits obtained by owner and for permits obtained by general contractor.
19. All work performed and materials used for construction of utilities must conform to the City of Richfield Standard Specifications and Details.
20. Contractor may utilize SDR 35 as an equivalent material for sanitary sewer service.
21. Sanitary proposed sanitary service and water main service locations and elevations with mechanical plan.
22. Refer to electrical and lighting plans for conduit, size and location for menu board and light pipe.



Developed by:
Border Foods
 965 Doctor Ave North
 Golden Valley, MN 55427
 New Address as of April 4, 2014
 5425 Boona Ave N.
 Now Hop, MN 55428

Contractor
CIVIL ENGINEERING
 115 East Broadway St.
 Minneapolis, MN 55402
 Phone: 612-338-8488
 www.civil-engineer.com

I hereby certify that the above specification of report was prepared by me or under my direct supervision and that I am a Licensed Engineer under the laws of the State of Minnesota.
 Printed Name: SCOTT DANIELS
 Signature: [Signature]
 Title: CIVIL ENGINEER License No. 24283

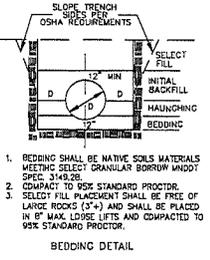
DATE: 03/27/2014
 SHEET NO. 05
 TOTAL SHEETS: 05

New Building
 Ni-28, 28 Seats, 1,847 SF
 UTILITIES PLAN

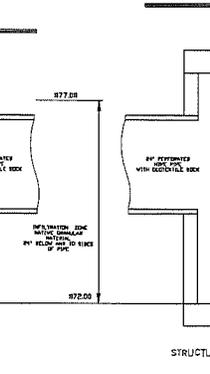
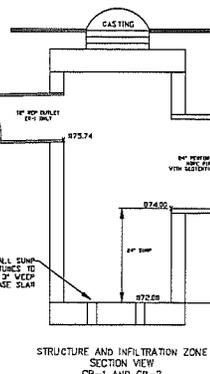
Project: 2013.06.08
 Drawn: DS
 Checked: DS
 CADD: [Signature]
C5.0
 TACO BELL EDINA, MN

CONNECT TO EXISTING 6" DP WATER SERVICE AT APPROXIMATE ELEVATION 872.50. WATER SERVICE IS TO BE 1.0" CU TYPE K PIPE FOR DOMESTIC WATER SERVICE. EXISTING PIPE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATION, PIPE SIZE, MATERIALS, AND ELEVATION PRIOR TO WORK. CONTRACTOR SHALL INCORPORATE VERTICAL ADJUSTMENT AS NECESSARY TO AVOID CONTACT WITH SANITARY SEWER AND MAINTAIN MINIMUM 1.5' SEPARATION. CONTRACTOR TO COMPLY WITH ALL CITY PERMIT REQUIREMENTS.

CONNECT TO EXISTING 6" VCP SANITARY SEWER SERVICE AT APPROXIMATE ELEVATION 873.00 WITH WATER-TIGHT CONNECTION. EXISTING PIPE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATION, PIPE SIZE, MATERIALS, AND ELEVATION PRIOR TO WORK. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY IF ELEVATION OF EXISTING SERVICE CONFLICTS WITH PROPOSED WORK. CONTRACTOR TO COMPLY WITH ALL CITY PERMIT REQUIREMENTS.



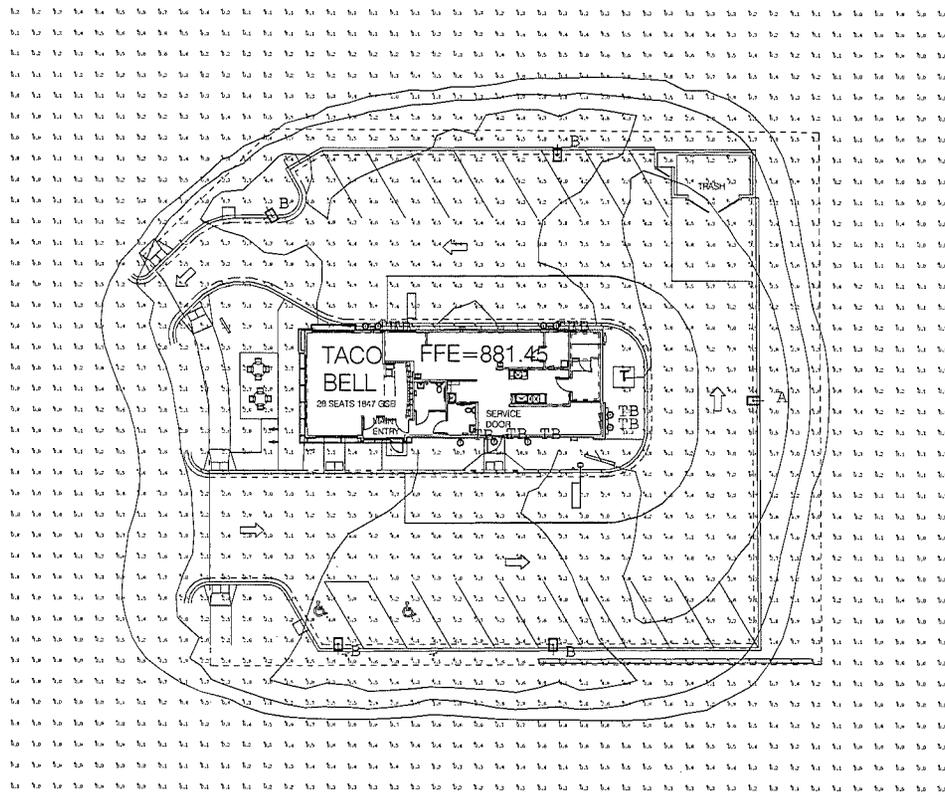
1. BEDDING SHALL BE NATIVE SOILS MATERIALS MEETING SELECT GRANULAR BORROW MANDOT SPEC. 344.28.
2. COMPACT TO 95% STANDARD PROCTOR.
3. SELECT FILL PLACEMENT SHALL BE FREE OF LARGE ROCKS (1") AND SHALL BE PLACED IN 6" MAX. LOOSE LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.



STRUCTURE AND INFILTRATION ZONE SECTION VIEW CB-1 AND CB-2

STRUCTURE AND INFILTRATION ZONE SECTION VIEW CB-3 AND CB-4

A23



TACO BELL
4801 W. 50TH ST.
EDINA, MN
PREPARED BY: JOHN BUJAKE
ACCUSERV LIGHTING & EQUIPMENT
877-707-7378
502-961-0357 FAX
jbujake@accu-serv.com
MARCH 4, 2014

Photometric Summary					
Category	Foot	Max	Min	Average	Footcandle
FOOTCANDLE	1000	1000	1000	1000	1000
MAXIMUM FOOTCANDLE	1000	1000	1000	1000	1000
AVERAGE FOOTCANDLE	1000	1000	1000	1000	1000
MINIMUM FOOTCANDLE	1000	1000	1000	1000	1000

Photometric Summary					
Category	Foot	Max	Min	Average	Footcandle
FOOTCANDLE	1000	1000	1000	1000	1000
MAXIMUM FOOTCANDLE	1000	1000	1000	1000	1000
AVERAGE FOOTCANDLE	1000	1000	1000	1000	1000
MINIMUM FOOTCANDLE	1000	1000	1000	1000	1000

NOTE: FOOTCANDLE AND FOOT LUX ARE THE SAME UNIT. FOOT LUX IS 100% OF FOOT CANDLE.
FOOT LUX IS 100% OF FOOT CANDLE.

PHOTOMETRIC PLAN A

WCL
Associates, Inc.
Architectural
Interiors
4331 West 32nd Street
Suite 200
St. Louis Park, Minnesota
55426
T: 952.541.5669
F: 952.541.9254
www.wcl.com



Taco Bell
3210 Southdale Circle
EDINA, MN 55435

PRELIMINARY
NOT FOR
CONSTRUCTION

Developed by:
Border Foods
955 Decatur Ave North
Golden Valley MN 55427
New Address as of April
4, 2014
5425 Boone Ave N.
New Hope, MN 55428

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

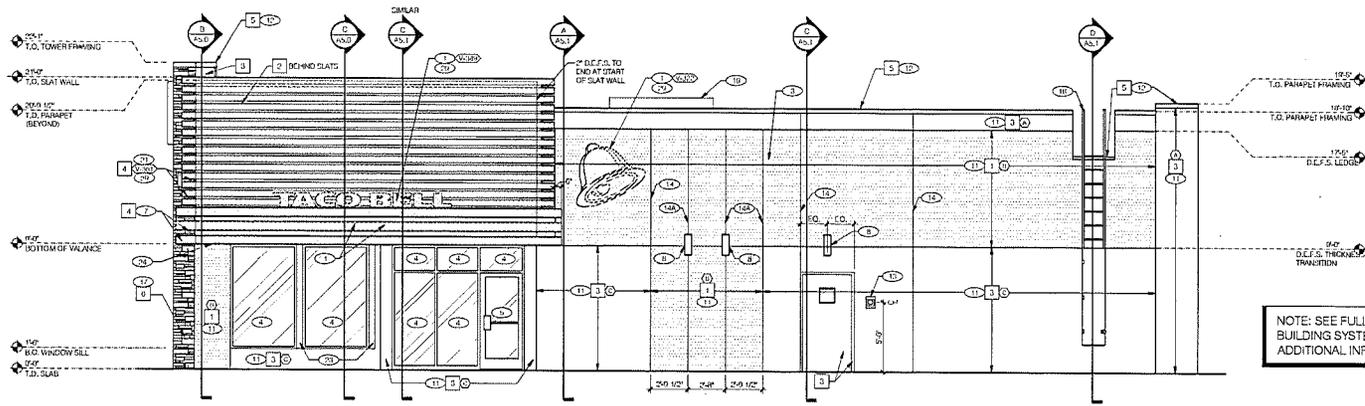
Signature: _____
Name: Dean Clark
Registration: 14 883
Project Name: Dean Marlow
Phone Number: 877.841.9628
Date: _____
SITE PLAN REVIEW: 03/01/2014

New Building
NI-28, 28 Seats; 1,847 SF
PHOTOMETRIC PLAN

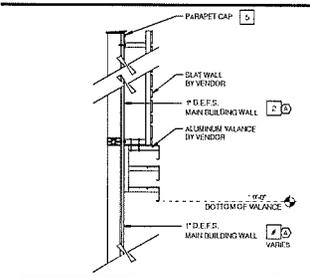
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Drawn: DDM
Checked: DC
PM1.0
TACO BELL EDINA, MN

C:\Users\jclark\Documents\20130808\20130808.dwg

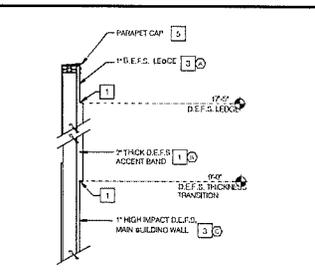
1725



NOTE: SEE FULLERTON BUILDING SYSTEMS FOR ADDITIONAL INFORMATION.



SLAT WALL COLOR TRANSITION N.T.S. I



D.E.F.S. THICKNESS COLOR TRANSITION N.T.S. G

MISCELLANEOUS
 A. SEE SH-1 ALL WINDOW TYPES FOR WINDOW ELEVATIONS.
 B. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
 C. THE PAINT COLORS SHOWN ARE COLOR REFERENCES FOR THE D.E.F.S. SUPPLIER.
 D. D.E.F.S. TEXTURE SHALL BE FINE.

SEALERS (REFER TO NOTES)
 A. BALANCE AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL OR WEIRWAYS.
 C. APPLY WEATHER GASKET (GWT) BETWEEN BUILDING & CANOPY/VALANCE.

FINISHES
 A. VENDOR SCOPE INCLUDES SUPPLY AND INSTALLATION OF AWNINGS, GARGOYLES, AND DRAINAGE.
 B. DENOTES 2\"/>

VERTICAL DIMENSIONS:
 A. INCLUDES CLEARANCE WITHIN TO ENSURE COORDINATION WITH STANDARD HORIZONTAL BUILDING ELEMENTS OVER COLORS.

SYMBOL	AREA	MANUFACTURER	COLOR
1	MAIN BUILDING COLOR	SHERMAN WILLIAMS	SW 6102 "CAMEL BACK"
2	WALL COLOR BEHIND STOREFRONT WALL	SHERMAN WILLIAMS	SW 0031 "COLEBART"
3	ACCENT COLOR	SHERMAN WILLIAMS	SW 2802 "ROCKWOOD CLAY"
4	SLAT WALL AND VALANCE COLOR	SHERMAN WILLIAMS	SW 7034 "STATUS BRONZE"
5	PARAPET CAP COLOR		PREFINISHED DARK BRONZE
6	SIMULATED MASHOBY VENEER	DIGITAL STONE PRODUCTS	PRESTONE LEDESTONE "VINAGE WINE" PFD-42294
7	STOREFRONT WINDOWS	TED	"DARK BRONZE"
8	PIPE COLLARS	STREET SMITH	YELLOW - 1/2\"/>

EXTERIOR FINISH SCHEDULE H

QTY	ITEM DESCRIPTION	ELEC
V-350	1 JACK BELL LIGHT TUBO CANOPY	X
V-351	1 JACK BELL "BUILDING FACILITY"	X
V-361	1 SLAT WALL AND ALUMINUM VALANCE	X

* THE GROUND ELECTRICAL PENETRATION, SEE ELECTRICAL PLANS.

CANOPY AND BLDG. ACCENT SCHED. N.T.S. E

SOUTH ELEVATION (MAIN ENTRY) 1/8"=1'-0" A

D.E.F.S. THICKNESS N.T.S. B

QTY	ITEM DESCRIPTION	ELEC
V-350	3 JACK BELL LETTERS 2" HIGH WHITE, LEAF FACED	0
V-352	3 JACK BELL LETTERS 2" HIGH 4" X 1/2"	0

SIGN SCHEDULE N.T.S. C

- (16) BUILDING SIGN UNDER SEPARATE PERMIT.
- (17) DRINK TRAILER WINDOW. SEE SHEET A-4 AND A-1.
- (18) STOREFRONT WINDOW BEYOND.
- (19) STOREFRONT WINDOW SYSTEM TYPICAL.
- (20) STOREFRONT DOOR.
- (21) SWITCHGEAR TO BE PAINTED TO MATCH BUILDING.
- (22) ARCHITECTURAL ALUMINUM VALANCE BY VENDOR.
- (23) LIGHT RECESSE INTO BOTTOM OF FIXTURES MOUNTING BRACKET WITH CHANGE IN D.E.F.S. THICKNESS.
- (24) CANOPY WITH TUBERUCKLES. SEE SCOPE OF WORK.
- (25) SLEEPER COLLECTOR AND OPEN FACE DOWNPOUT. PAINT TO MATCH EQUIPMENT WALL.
- (26) D.E.F.S. (TYP).
- (27) PARAPET COPING. IF BUILD-LAST EDGE TRIM IS USED, USE THE BUILD-LAST PRE-FINISHED EDGE TRIM.
- (28) COOL FILLER VALVE & COVER. SEE DETAIL 6942-SIM.
- (29) D.E.F.S. REVEAL JOINT.
- (30) SEALANT JOINT, SEE FULLERTON PLANS.
- (31) GAS SERVICE.

- (32) WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- (33) SIMULATED MASHOBY VENEER.
- (34) ROOF ACCESS LADDER AND DOOR.
- (35) RTU BEYOND, PAINT TO MATCH BUILDING WALL.
- (36) ALUMINUM SLAT WALL BY VENDOR.
- (37) GOLIARD.
- (38) DRAIN METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3-4 & 294-1.
- (39) 2" D.E.F.S. TO MATCH TOP OF WINDOW HEIGHT. PROVIDE 1" D.E.F.S. ABOVE THAT POINT.
- (40) PROVIDE 1/4" DIA. PARGE WALL LEADER PLASTIC CONDUIT STUDS INCLUDING NEPPLES THROUGH EXTERIOR WALL. INSTALL CONDUIT AT SLIGHT ANGLE DOWNWARD TOWARD CHASE FOR EXTERIOR ILLUMINATED CHASE AND SLAT WALL. I.E.F.S. LIGHTING ONLY. COORDINATE LOCATIONS AND QUANTITIES OF CONDUIT WITH OWNERS SIGN MANUFACTURER/INSTALLER. SEAL ALL PENETRATIONS WEATHER TIGHT.

GENERAL NOTES F

KEY NOTES D

WCL
 Associates, Inc.
 An Inter-Tec
 International
 4131 West 35th Street
 Suite 200
 St. Louis Park, Minnesota
 55416
 T: 612-541-0800
 F: 612-541-0604
 www.wcl.com

Taco Bell
 3210 Southdale Circle
 EDINA, MN 55435

PRELIMINARY
 NOT FOR
 CONSTRUCTION

Developed by:
Border Foods
 985 Decatur Ave North
 Golden Valley MN 55427
 New Address as of April
 4, 2014
 5425 Boonin Ave N.
 New Hope, MN 55428

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

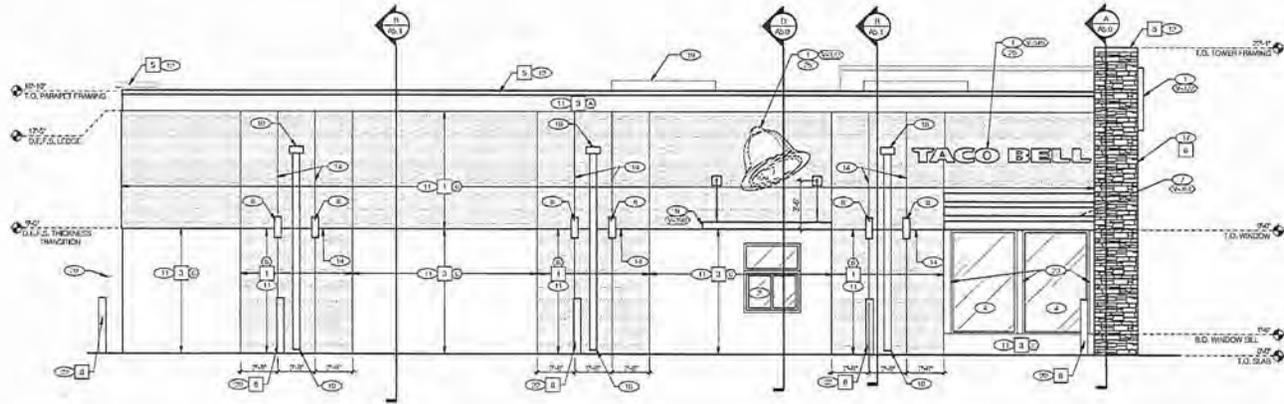
Signature: _____
 Name: Eric Olson
 Registration: 14363
 Project Contact: Eric Olson
 Phone Number: 612-541-9535
 Print Name: _____
 SITE PLAN REVIEW: 03/27/2014

Now Building
 NI-28, 28 Seats: 1,847 SF
EXTENSION ELEVATIONS

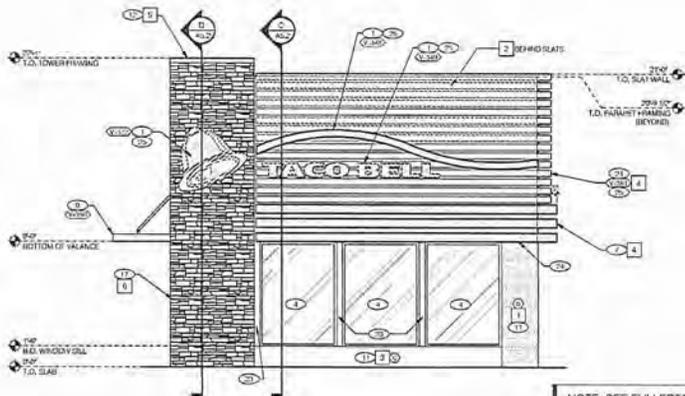
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 Drawn: OSM
 Checked: DC
A4.0

TACO BELL EDINA, MN

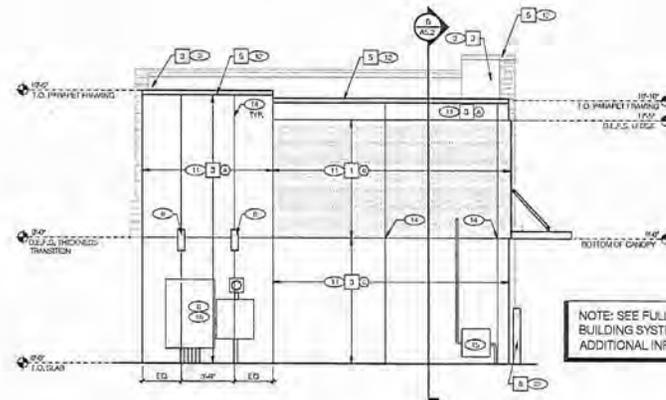
A4.10



NORTH ELEVATION (DRIVE THRU) VP-1-10 A



WEST ELEVATION (FRONT) VP-1-10 C



EAST ELEVATION (REAR) VP-1-10 B

WCL
Associates, Inc.

ARCHITECTURE
INTERIORS

4751 Hwy 220, Drive
Suite 200
D. Lake Park, Minneapolis
55416
T. 612.541.6100
F. 612.541.6104
www.wcl.com



Taco Bell

3210 Southdale Circle
EDINA, MN 55435

PRELIMINARY
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Developed by:
Border Foods
955 Decatur Ave North
Golden Valley MN 55427
New Address as of April
4, 2014
5425 Boons Ave N.
New Hope MN 55428

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Name:	Steve Dick
Registration:	13 800
Project Location:	Edina, Minnesota
Phone Number:	612.541.6100
Plot History:	Date
03 07 2014	
1	
2	
3	
4	
5	

New Building
NI-26, 26 Slabs: 1.5-47 SF
EXTERIOR ELEVATIONS

Project: 2013.04.00
Drawn: EDR
Checked: DC

A4.1

TACO BELL EDINA, MN

Engineering Department • Phone 952-826-0371
Fax 952-826-0392 • www.CityofEdina.com



Date: April 2, 2014
To: Cary Teague – Community Development Director
From: Chad Millner – Director of Engineering
**Re: 3210 Southdale Circle – Taco Bell Re-Development
Plans Dated March 7, 2014**

Engineering has reviewed the above stated proposed plan and offer the following comments:

- A Nine Mile Creek Watershed permit will be required; along with potential other agency permits such as MNDH, MPCA, and MCES.
- The City will consider the water and sanitary sewer pipes private utilities and the responsibility of the property owner for future maintenance and repair. The private water service begins at the gate valve and the private sanitary sewer service begins at the sanitary sewer trunk pipe, both located in Southdale Circle.
- A set of as-built plans will be required with the final C.O.
- Details are needed on the infiltration system such as expected infiltration rates. This would be part of the watershed permitting process.
- Indicate on plans what utilities are private versus public by noting that on the pipes.
- Construct utilities per City of Edina Standard Details.
- Watertight sanitary sewer castings are required on all sanitary sewer manholes / cleanouts.

Staff will require a more detail review of the Civil Plans if this project is approved by the City Council. Please contact me if you have any questions regarding this review.

A27

G:\PWADMIN\COMM\EXTERNAL\GENERAL CORR BY STREETS\Streets\3210 Southdale Circle - Taco Bell\201403xx CM-Edina Review 3210 Southdale Cir.doc

City Hall • Phone 952-833-9520
Fax 952-826-0390 • www.CityofEdina.com



Date: March 27, 2014
To: Cary Teague, Community Development Director
cc: Tom Schmitz, Fire Chief
From: David Fisher – Chief Building Official
Re: 3210 Southdale Circle – Taco Bell – Demo & rebuild Draft Plans Dated March 7, 2014

The Building Department has reviewed the above proposed project with following comments:

- Provide a complete building code analysis when the construction plans are submitted to the city for building permits.
- Verify the number of occupants is less than 49 or the State Building Code requires the building to have a NFPA 13 fire sprinkler system.
- Provide adequate fire department access to the buildings.
- Verify there is a grease trap that meets the MN State Plumbing Code.
- Retaining walls over 4 feet require engineering and a building permit.
- Recommend this project has a pre-construction meeting with the design professionals, contractor, the project manager and the city building and fire department staff.

A271

A. Sketch Plan – Taco Bell 3210 Southdale Circle

Planner Presentation

Planner Teague informed the Commission they are being asked to consider a sketch plan proposal to tear down the existing Taco Bell building and rebuild a new slightly smaller building at 3210 Southdale Circle.

Teague reported that the applicant would proceed with Site Plan review and variance approval to redevelop the site.

Appearing for the Applicant

Barbara Schneider, for Border Foods Companies

Comments/Questions

Commissioner Grabiell asked if the houses directly to the east of the subject property are in Edina. Planner Teague responded in the affirmative.

Commissioner Forrest noted a discrepancy in parking spaces referenced and depicted on the plans and asked the applicant to be clear on that figure when they bring their application forward. Forrest asked where setback is established. Teague responded setback is established from the property lines.

Commissioner Scherer commented that she wondered if the audio box/menu board could be located on the new building in a location similar to McDonald's audio box/menu board south side. Planner Teague responded that it appears the proposed plans depict a five vehicle stacking queue, adding the applicant would need to answer that question.

Applicant Presentation

Ms. Schneider addressed the Commission and explained Border Foods is proposing to tear down and rebuild the existing Taco Bell restaurant. Taco Bell has been operating at the Edina location since 1986, adding the proposed rebuilt is 27 GSF smaller than the existing building; however, it is 23'5" longer. Schneider explained the circulation on the site in one way and the same is proposed with the new structure.

Schneider acknowledged that the request requires variance; however, she believes the increase in landscaping and turning radius in the one-way circulation pattern provides a better more efficient and safe site. Schneider also noted this layout allows for better placement of the audio box/menu board.

Comments/Questions

Chair Staunton asked Ms. Schneider if Border is concerned about their long range plans. Staunton pointed out the property adjacent to the north is available and wondered if any interest was given to speak with those property owners.

Ms. Schneider responded they approached the property owners to the north (best Buy) and inquired if they had any desire to purchase the Taco Bell site and incorporate it into their site; however, to date there has been no movement from the owners of the Best Buy site one way or another

Commissioner Grabiell asked if building design was controlled by the corporate office. Schneider responded in the affirmative. She said Taco Bell sites are managed very carefully. Continuing, Grabiell said he finds the Southdale Circle properties to be a bit unusual, noting it's unusual in Edina to have R-1 residential properties abutting commercial. Planner Teague agreed, adding he would do some research on this development.

Commissioner Schroeder commented that he understands Ordinance stacking requirements; however, wonders if it would be a good idea to allow some leniency when a project is redeveloped that opens up to the street providing a more pedestrian feel and creating a better pedestrian experience. Planner Teague responded that could be looked into pointing out the Commission continually discusses the Ordinance. Ms. Schneider interjected that Taco Bell has a stacking formula of 5 vehicles from the audio box/menu board. Schroeder noted if the building is allowed to be pulled closer to the street it may provide the right number of stacking spaces to relocate the audio box/menu board. Ms. Schneider responded that they will look into that suggestion; however, one item they need to keep in mind is the location of the transformer.

Chair Staunton asked if the site is buffered on the east. Ms. Schneider responded that presently there is a fence to the east. Schneider said with the buildings rearrangement they hope to be able to add Spruce trees; which is her opinion would provide better screening for the residential properties. Schneider also added that deciduous trees are planted on the neighbors' side of the fence.

Commissioner Forrest said she has a concern with the potential for cars idling as they wait for pickup, adding she wants everything done to minimize wait time creating a better environment for the residential property owners to the east.

Commissioner Platteter questioned if this would be a good area to construct sidewalks (if there aren't any), pointing out there is a big push for sidewalks in the area especially if redevelopment occurs on both the Best Buy and Wickes site. Continuing, Platteter asked if any patio seating is planned. Ms. Schneider responded that the site is very tight and no outdoor seating is anticipated.

Commissioner Halva questioned if there could be two boards one on the north and one on the south. Ms. Schneider responded the south location could be difficult because a certain radius needs to be provided so the building isn't hit by vehicles.

Chair Staunton said anything that can be done to minimize impact from the audio box/menu board would be appreciated.

The discussion ensued on the following points; possible tweaking of the audio board/menu board and parking. It was again noted the discrepancy in parking stalls; however, the Commission acknowledged if doable they would rather see landscaping and screening instead of concrete. Continuing, the Commission stressed the importance of "being a good neighbor" and reiterated the importance of doing everything possible to reduce the impact of this establishment from the residential properties to the east.

It was further discussed and acknowledged that in many instances the Ordinance tends to over park sites; however, in this instance they want assurances parking would be adequate. Commissioners questioned if the majority of the traffic at this location is drive-through traffic. Ms. Schneider responded in the affirmative. The Commission asked Ms. Schneider when formal application is submitted to prove that parking will be adequate.

Planner Teague reported that he in reviewing Google earth he found there are sidewalks along the east side of York Avenue and the sidewalk continues on the Richfield side of Xerxes Avenue.

Commissioner Fischer asked out of curiosity what the "down time" is on a tear down/rebuild of this nature. Ms. Schneider responded that tear down and rebuild can be accomplished within 90-days barring unforeseen obstacles.

Chair Staunton thanked Ms. Schneider for presenting the sketch plan, reiterating the importance of providing screening for the residential properties to the east.

B. Tree Ordinance

Planner Presentation

Minutes/Edina City Council/January 21, 2014

made a motion, seconded by Member Sprague, accepting the Edina Rotary Foundation donation of an heirloom clock for Centennial Lakes Park.

Ayes: Bennett, Brindle, Sprague, Swenson, Hovland
Motion carried.

VIII.C. RESOLUTION NO. 2014-11 ADOPTED – ACCEPTING VARIOUS DONATIONS

Mayor Hovland explained that in order to comply with State Statutes; all donations to the City must be adopted by Resolution and approved by four favorable votes of the Council accepting the donations. Member Swenson introduced and moved adoption of Resolution No. 2014-11 accepting various donations. Member Bennett seconded the motion.

Rollcall:

Ayes: Bennett, Brindle, Sprague, Swenson, Hovland
Motion carried.

VIII.D. SKETCH PLAN REVIEWED – 3210 SOUTHDALE CIRCLE (TACO BELL)

Community Development Director Presentation

Community Development Director Teague presented the sketch plan for a new Taco Bell at 3210 Southdale Circle that would require several variances including a four-foot parking variance. He described proposed and requested setbacks, building elements, and exterior materials. Mr. Teague advised that the size of the restaurant had been reduced so the parking stall requirement would be met. He then presented comments of the Planning Commission, noting the menu board would be reoriented to lessen impact to the residential area.

Proponent Presentation

Barbara Schneider, Border Foods, 965 Decatur Avenue N., Golden Valley, described the site plan changes made in response to concerns expressed by the Planning Commission. She answered questions raised by the Council and agreed this site was not ideal as it was somewhat undersized when compared to newer sites. Ms. Schneider reviewed the variances that would be requested for building setback, parking lot drive aisles, and menu board location.

Following review and discussion of the Taco Bell sketch plan, the Council offered the following direction: inclusion of a bicycle rack and outdoor seating (if feasible); additional vegetation within green spaces (comparable to Centennial Lakes Starbucks); permeable surfaces to accommodate stormwater; menu board orientation toward Southdale Circle; incorporation of design relief; and, review of parking counts to determine whether it would be an option to provide proof-of-parking to allow space for enhanced landscaping.

VIII.E. SOUTHDALE MEDICAL BUILDING, 6525 FRANCE AVENUE – AMEND CONDITIONS OF APPROVAL TO BUILD THE PROOF-OF-PARKING PLAN – REMOVED FROM THE AGENDA

This item was removed from the agenda at the request of the proponent.

IX. CORRESPONDENCE AND PETITIONS

IX.A. CORRESPONDENCE

Mayor Hovland acknowledged the Council's receipt of various correspondence.

IX.B. MINUTES:

1. ENERGY & ENVIRONMENT COMMISSION, DECEMBER 12, 2013
2. HERITAGE PRESERVATION BOARD, DECEMBER 9, 2013
3. PARK BOARD, NOVEMBER 12, 2013
4. PLANNING COMMISSION, DECEMBER 11, 2013
5. ARTS & CULTURE COMMISSION, OCTOBER 24, 2013
6. HUMAN RIGHTS & RELATIONS COMMISSION, OCTOBER 22, 2013

Informational; no action required.