



PLANNING COMMISSION STAFF REPORT

Originator Kris Aaker Assistant Planner	Meeting Date January 14, 2014	Agenda # B-15-01
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Recommended Action:

Approve the requested variances.

Project Description

Marc and Meredith Seaberg (applicants) are requesting 4 variances to add an 8 ft. x 24 ft. front porch and a second floor above their existing rambler, see attached site plans, survey and building plans. They are also proposing to add 7 feet onto the width of their garage. The garage addition is the only portion of the plan that does not require a variance.

The variances are necessary to build within the existing footprint because much of the existing home is nonconforming regarding front yard setback and setback from the pond. The following variances are necessary for the proposed attached plan:

- A 112 square foot front porch encroachment variance from the maximum 80 square feet allowed encroachment into the average front yard setback.
- A 3.8 foot front yard setback variance for a second floor addition with cantilever forward of existing front wall.
- A 5.6 foot west side yard setback variance from the 16.2 foot setback required for the second floor addition above existing 1st floor.
- A 25 foot setback variance from the pond for a 2nd floor addition above the existing 1st floor.

INFORMATION/BACKGROUND

The subject property is located south of Nancy Lane cul-de-sac consisting of a rambler with an attached two car garage. The homeowners are proposing to add 7 feet to the existing garage near the east property line and a porch to the front including a 2nd floor cantilever. Much of the existing home is nonconforming

regarding front yard setback and setback from the pond behind the home.

The zoning ordinance requires a minimum 50 foot setback from naturally occurring lakes, ponds or streams. The existing home is nonconforming and overlaps the required pond/lake setback by 25 feet. The front yard setback required is the average front yard setback of the homes on either side. The average front yard setback is slightly farther back from the existing home, so the 2nd floor addition requires a front yard setback variance. The plan also proposes a cantilever towards the front and a front porch larger than 80 square feet which is the maximum area allowed to encroach into the front yard setback.

The property owners would like to expand their garage to the east which is the only improvement within the required setback and nonconforming exception rule. Unfortunately the buildable area of the lot is smaller in area than the footprint of the existing house so virtually any improvement/addition requires a variance with the exception of a garage expansion.

SUPPORTING INFORMATION

Surrounding Land Uses

Northerly: Single-dwelling homes.
Easterly: Single-dwelling homes.
Southerly: Nancy Lake.
Westerly: Single-dwelling homes

Existing Site Features

The subject property is 14,830 square feet in area. The existing home was built in 1961. No trees will be removed to accommodate the plan.

Planning

Guide Plan designation: Single-family detached
Zoning: R-1, Single Dwelling Unit District

Engineering Review

An Engineering report is attached. There are no concerns indicated on the attached memo.

Building Design

The proposal is to construct a two story home on the basic footprint and above the existing 1st floor.

Compliance Table

	City Standard	Proposed
Front – Max porch in front yard Side- Lake/pond	Match adjacent 30.4 feet 80 Sq. Ft. 10+ height 50 feet	*29.6 feet *112 Sq. Ft. *10.6 feet *25 feet
Building Height	2 ½ stories 37.8 feet to ridge,	2 stories, 30.5 feet to ridge
Lot coverage	25%	24.6%

*** Variance Required**

Primary Issues

- **Is the proposed development reasonable for this site?**

Yes. Staff believes the proposal is reasonable for four reasons:

1. The proposed use is permitted in the R-1, Single Dwelling Unit Zoning District. The intent is to utilize the existing structure in its entirety, since footprint expansion is not possible without additional variances to reduce setbacks, causing a greater nonconformity.
2. The additions are appropriate in size and scale for the lot and the improvements will enhance the property and not detract from neighborhood. The basic footprint of the home with the exception of the conforming garage expansion and the addition of a porch will not significantly increase.
3. The improvements will provide a reasonable use of the site and improve on the existing conditions. Spacing between the proponent’s and the neighboring structure to the west will remain the same.
4. The home improvements and height increase would provide enough space to accomplish a 2nd floor without having to completely reconfigure the property, (not a tear-down/re-build).

- **Is the proposed variance justified?**

Yes. Per the Zoning Ordinance, a variance should not be granted unless it is found that the enforcement of the ordinance would cause practical difficulties in complying with the zoning ordinance and that the use is reasonable. As demonstrated below, staff believes the proposal does meet the variance standards, when applying the three conditions:

Section 850.0.Subd., requires the following findings for approval of a variance:

Minnesota Statutes and Edina Ordinances require that the following conditions must be satisfied affirmatively. The Proposed Variance will:

1) *Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.*

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with the code and that the proposed use is reasonable. "Practical difficulties" may include functional and aesthetic concerns.

Staff believes the proposed variances are reasonable. A practical difficulty is the original placement of the home and required setbacks from the pond edge and front yard. The current setback requirement from the pond and front yard creates a challenge. The existing house location and configuration of the lot result in no opportunity for significant expansion without the benefit of a variance.

2) *There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?*

Yes. The unique circumstance is the inability to increase the roof height to provide adequate living space above the home at existing nonconforming setbacks without the benefit of a variance.

The required pond setback and front yard setback are not self-created. The home currently encroaches minimum standards.

3) *Will the variance alter the essential character of the neighborhood?*

No. The proposed improvements will not alter the essential character of the neighborhood. The basic footprint of the home will remain relatively the same and spacing between structures will remain the same on the west side and will conform on the east side.

Staff Recommendation

Recommend that the Planning Commission approve the variances.

Approval is based on the following findings:

- 1) The proposal would meet the required standards for a variance, because:
 - a. proposed use of the property is reasonable; as it slightly alters existing setback conditions without significantly reducing setback or impacting the surrounding neighbors.
 - b. The imposed setback and existing house location do not provide opportunity for a second floor
 - c. The original placement of the home closer to pond and within the front yard setback prohibits expansion potential for a second floor without the benefit of a variance

Approval of the variance is subject to the following conditions:

- 1) Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, unless modified by the conditions below:
 - Survey dated: November 25, 2014
 - Building plans/ elevations date stamped December 12, 2014.
 - Engineering memo dated

Deadline for a city decision: February 13, 2015.



DATE: January 7, 2014
TO: Cary Teague – Planning Director

CC: David Fisher – Building Official
Ross Bintner P.E. - Environmental Engineer

FROM: Charles Gerck EIT – Engineering Technician

RE: **4505 Nancy Lane - Special Review of Variance Application**

The Engineering Department has reviewed the subject property for street and utility concerns, grading, storm water, erosion and sediment control and for general adherence to the relevant ordinance sections. This review was performed at the request of the Planning Department; a more detailed review will be performed at the time of building permit application.

Summary of Review

Engineering has no concerns with the plans as submitted. An existing and a proposed site survey will be sufficient for review and construction purposes. The proposed plan appears to be the addition of a second story and some smaller additions to the front and east side of the home. There are only minor proposed changes to match the grade to the new additions.

Grading and Drainage

No concerns

Erosion and Sediment Control

No concerns

Street and Curb Cut

No concerns

Water and Sanitary Utilities

No concerns

ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392



VARIANCE APPLICATION

CASE NUMBER B-15-1 DATE 12-13
FEE PAID 450.00

City of Edina Planning Department * www.cityofedina.com
4801 West Fiftieth Street * Edina, MN 55424 * (952) 826-0369 *
fax (952) 826-0389

FEE: RES - \$350.00 ^{450.00} NON-RES - \$600.00

APPLICANT:

NAME: Marc and Meredith Seaberg (Signature required on back page)

ADDRESS: 4505 Nancy Lane PHONE: 651-353-4973

EMAIL: MarcSeaberg@gmail.com

PROPERTY OWNER:

NAME: Marc and Meredith Seaberg (Signature required on back page)

ADDRESS: 4505 Nancy Lane PHONE: 651-353-4973

LEGAL DESCRIPTION OF PROPERTY (written and electronic form):

Lot 2, Block Z, Miller's Addition, Hennepin County, MN

**You must provide a full legal description. If more space is needed, please use a separate sheet.

Note: The County may not accept the resolution approving your project if the legal description does not match their records. This may delay your project.

PROPERTY ADDRESS: 4505 Nancy Lane

PRESENT ZONING: SFR P.I.D.# 30-028-24-21-0105

EXPLANATION OF REQUEST:

REQUESTING A BACKYARD SETBACK OF 25' FROM THE POND IN ORDER

TO BUILD A 2ND STORY OVER THE EXISTING HOME + A 21.5' FRONT YARD SETBACK FOR A FRONT PORCH
(Use reverse side or additional pages if necessary) AND CANTILEVER OVER EXISTING FOUNDATION.

ARCHITECT: NAME: Bjorn Olson PHONE: 763-228-5347

EMAIL: _____

SURVEYOR: NAME: Frank Cardarelle PHONE: 952-941-3031

EMAIL: _____

Minnesota Statutes and Edina Ordinances require that the following conditions must be satisfied affirmatively. Please fully explain your answers using additional sheets of paper as necessary.

The Proposed Variance will:



YES

NO

Relieve practical difficulties in complying with the zoning ordinance and that the use is reasonable

Correct extraordinary circumstances applicable to this property but not applicable to other property in the vicinity or zoning district

Be in harmony with the general purposes and intent of the zoning ordinance

Not alter the essential Character of a neighborhood

APPLICANT'S STATEMENT

This application should be processed in my name, and I am the party whom the City should contact about this application. By signing this application, I certify that all fees, charges, utility bills, taxes, special assessments and other debts or obligations due to the City by me or for this property have been paid. I further certify that I am in compliance with all ordinance requirements and conditions regarding other City approvals that have been granted to me for any matter.

I have completed all of the applicable filing requirements and, to the best of my knowledge, the documents and information I have submitted are true and correct.

 _____ 12/15/14
Applicant's Signature Date

OWNER'S STATEMENT

I am the fee title owner of the above described property, and I agree to this application.

(If a corporation or partnership is the fee title holder, attach a resolution authorizing this application on behalf of the board of directors or partnership.)

 _____ 12/15/14
Owner's Signature Date

Note. Both signatures are required (if the owner is different than the applicant) before we can process the application, otherwise it is considered incomplete.

The proposed variance will:

Relieve practical difficulties in complying with the zoning ordinance and that the use is reasonable:

In this situation due to the way in which the lot is situated, it would not be possible to meet the all of the setback requirements simultaneously. Doing so would require the majority of the existing home to be removed (which would be practically difficult in itself), and an impossibly "narrow" home to be re-constructed. A home could be in compliance with the front setback and violate the pond setback in back (as it is today) or it could be in compliance with the pond setback requirement in back, but in violation of the front setback requirement. Meeting both is not practically or feasibly possible.

The use of the intended home is well within reason. The intent of the project is to utilize the existing structure in it's entirety, and as the architectural designs suggest, maintain or uplift the current character of the neighborhood. Attention has been paid to roof lines, minimizing height where possible, as well as the overall design of the home. We are not intending to create a "mega-mansion" that distorts the current look and feel of the neighborhood, but rather to add-on to the existing home in order to accommodate our growing family in a way that the current home does not.

Correct extraordinary circumstances applicable to this property but not applicable to other property in the vicinity or zoning district.

As described above, this particular lot does not allow for a home that meets both the front setback rule and the pond setback rule in the back. A variance would correct this circumstance by allowing the existing home to be used in it's entirety while offering an upgrade/expansion that is architecturally true to the character of the neighborhood.

Be in harmony with the general purpose and intent of the zoning ordinance.

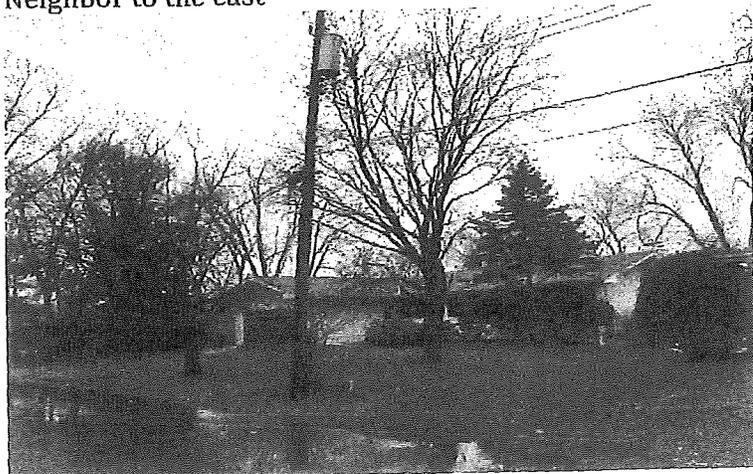
It is our presumption that the general purpose and intent of the requirement for a 50-foot setback from the pond is to ensure that a home does not infringe on a wetland, maintains aesthetic appeal, and avoids the risk of water damage to the home, or combination of all three reasons. In this case, neither will be cause for concern. The existing home is already within 25 feet, as are many of the homes in the neighborhood according to our estimation. The existing home, other homes in the neighborhood, and the proposed updated home are visually appealing in relation to the pond and the existing home has never had water intrusion of any kind - neither in the floods of the '80's nor the recent high-waters of 2014.

Not alter the essential character of a neighborhood

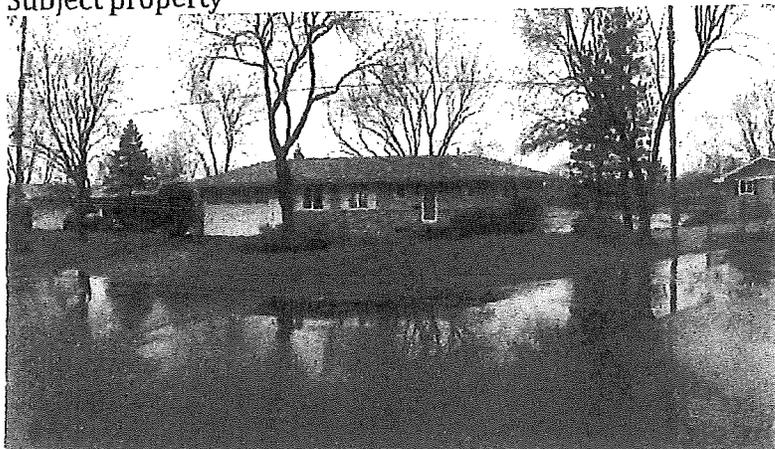
Deliberate attention was paid to the character of the neighborhood while designing the proposed addition to the home. The intent was to expand the living space of the home by adding a 2nd story addition, while avoiding a home that would feel or appear too large for the lot or the surrounding homes. Additionally, no trees will

need to be removed from the lot so it will maintain it's natural aesthetics as well. We believe the design will maintain the look and feel of the neighborhood, while offering an upgrade to the existing home.

Neighbor to the east



Subject property



Neighbor to the west



Neighboring recent remodels

4420 Garrison lane



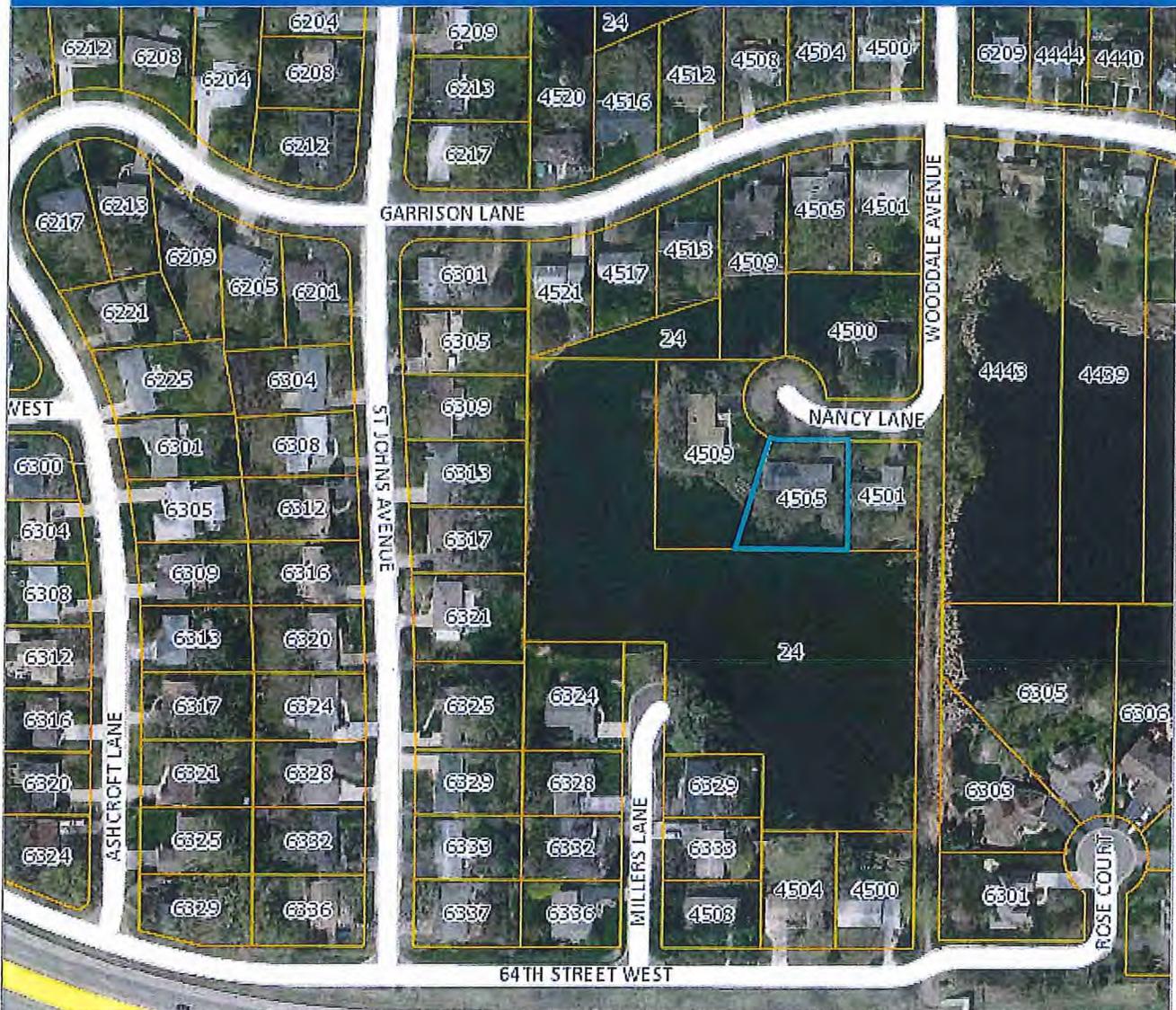
4432 Garrison lane





Interactive Maps

Property Map



<p>Parcel ID: 30-028-24-21-0105</p> <p>Owner Name: Martin W Mitchell</p> <p>Parcel Address: 4505 Nancy La, Edina, MN 55424</p> <p>Property Type: Residential</p> <p>Home-stead: Homestead</p> <p>Parcel Area: 0.34 acres, 14,838 sq ft</p>	<p>A-T-B: Abstract</p> <p>Market Total:</p> <p>Tax Total:</p> <p>Sale Price:</p> <p>Sale Date: 02/1992</p> <p>Sale Code: Warranty Deed</p>	<p>Map Scale: 1" ≈ 200 ft.</p> <p>Print Date: 1/8/2015</p> <p style="text-align: right;"></p> <p>This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.</p> <p>COPYRIGHT © HENNEPIN COUNTY 2015</p> <p style="text-align: right;"></p>
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Interactive
Maps

Property
Map



Parcel ID: 30-028-24-21-0105

Owner Name: Martin W Mitchell

Parcel Address: 4505 Nancy La Edina, MN 55424

Property Type: Residential

Home-stead: Homestead

Parcel Area: 0.34 acres
14,838 sq ft

A-T-B: Abstract

Market Total:

Tax Total:

Sale Price:

Sale Date: 02/1992

Sale Code: Warranty Deed

Map Scale: 1" ≈ 50 ft.

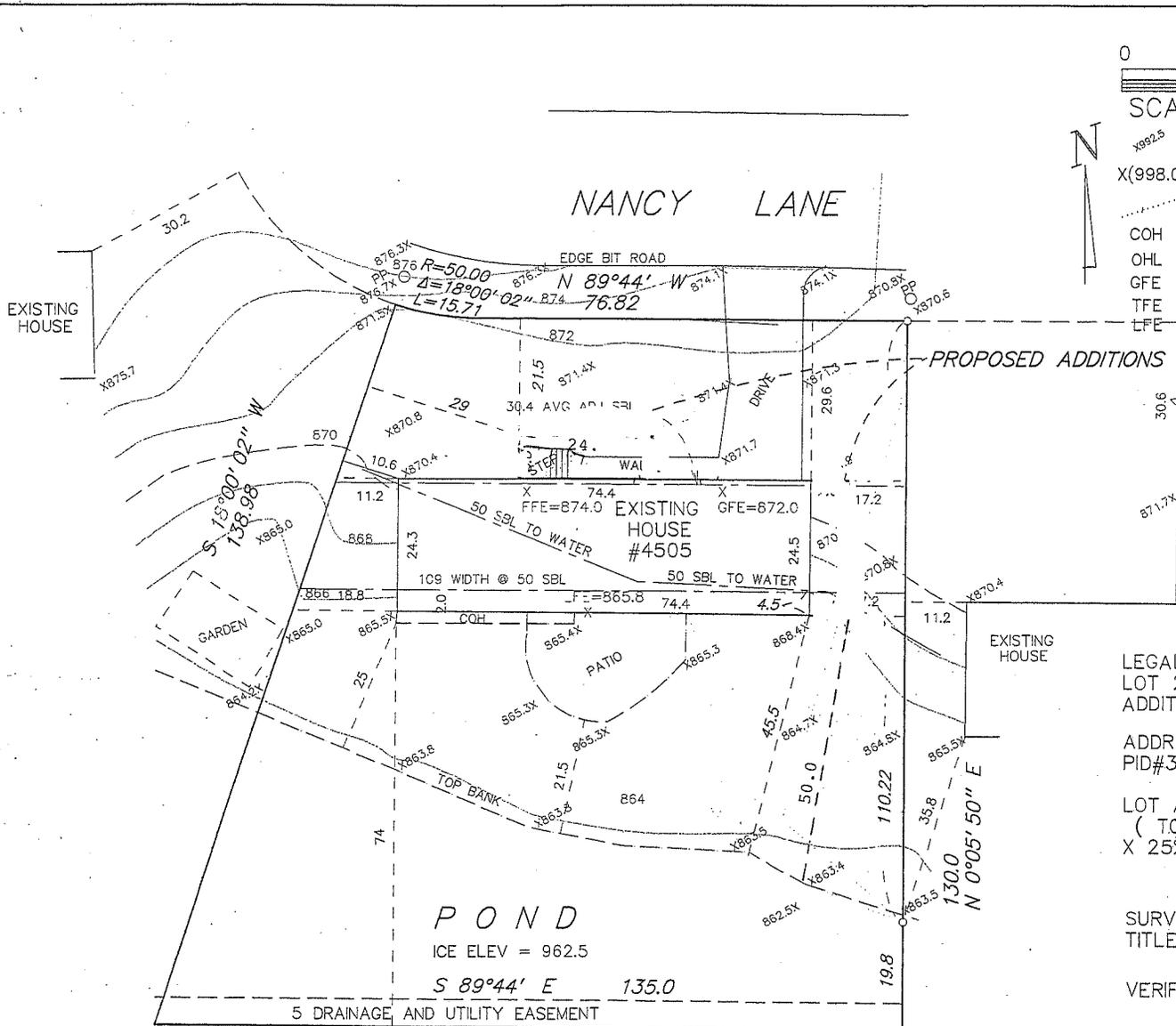
Print Date: 1/8/2015



This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.

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SCALE IN FEET



- X892.5 = EXISTING SPOT ELEVATION.
- X(998.0) = PROPOSED SPOT ELEVATION
- = DIRECTION SURFACE DRAINAGE
- COH = CANTILEVERED OVERHANG
- OHL = OVERHEAD UTILITY LINE
- GFE = GARAGE FLOOR ELEVATION
- TFE = TOP OF FOUNDATION ELEVATION
- LFE = LOWEST FLOOR ELEVATION

STRUCTURE HARDCOVER EXISTING
 HOUSE = 1890 SF
 PATIO = 450 SF
 -150ASF= 300 SF
 TOTAL = 2190 SF/22.0%

PROPOSED ADDITIONS = 251 SF / 2.5%
 TOTAL EXIST AND PROPOSED = 2441 / 24.5%

LEGAL DESCRIPTION:
 LOT 2, BLOCK 2, MILLER'S
 ADDITION, HENNEPIN CO., MN.

ADDRESS - 4505 NANCY LANE
 PID#30-028-24-21-0105

LOT AREA = 14830 SF/ 0.34 AC
 (TO WATER = 9960 SF) / 0.23 AC
 X 25% = 2490 SF ST HC ALLOWED

SURVEY IS SUBJECT TO CHANGE PER
 TITLE OR EASEMENT INFORMATION

VERIFY ALL SETBACKS WITH CITY

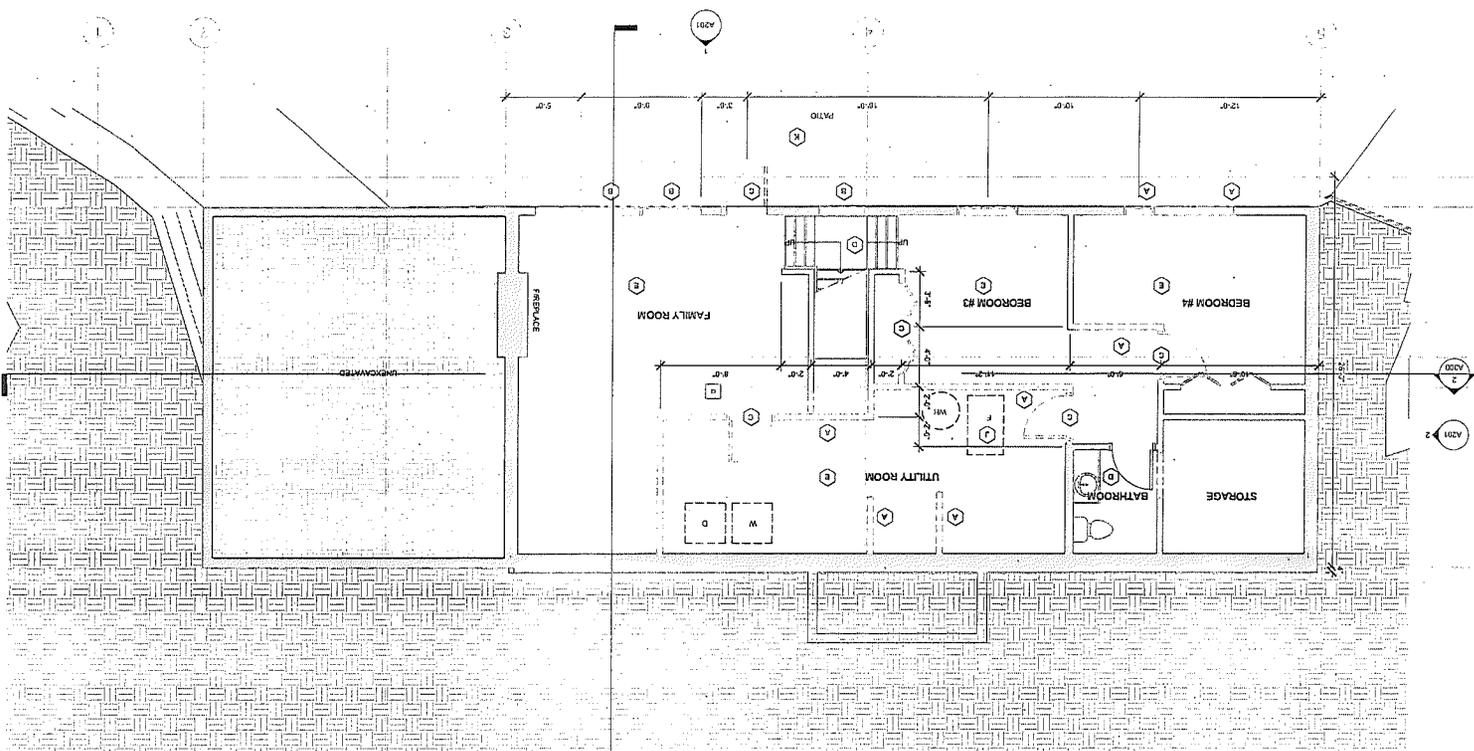
Land Surveyor
 Frank R. Cardarelle
 6440 FLYING CLOUD DRIVE
 EDEN PRAIRIE, MN 55344
 952-941-3031

BUILDING PERMIT SURVEY
 for MITCHELL RESIDENCE
 4505 NANCY LANE

Rev. 12-15-14

PROJECT NO.	BOOK
DATE	PAGE
REVISIONS	
12/10/14-AREA TO WATER, SBL, HC	
I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.	
FRANK R. CARDARELLE REG. NO. 3508	

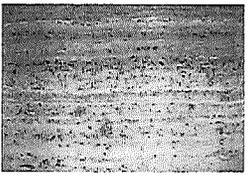
SEABERG HOUSE
 4505 NANCY DR
 EDINA MN
 PERMIT SET



- GENERAL PLAN NOTES**
1. IN GENERAL, ONLY INDICATED EXISTING, DASHED INDICATES DEMOLITION, BLACK INDICATES NEW.
 2. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF EXTERIOR SHEATHING OR CONCRETE BLOCK AT EXTERIOR WALLS AND CENTERLINE WALL ASSEMBLY IN INTERIOR WALLS. UNLESS NOTED OTHERWISE, USE PARTITION SCHEDULE FOR ALL PARTITIONS.
 3. ALL WINDOW DIMENSIONS ARE TO THE FINISH OPENING, UNLESS OTHERWISE NOTED, THESE MUST BE MAINTAINED.
 4. DIMENSIONAL DISCREPANCIES OCCUR, NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
 5. VERIFY CLASS B EOOD LOCATION, BRICK AND MASONRY FACE WITH ARCHITECTURAL AND STRUCTURAL DETAIL.
 6. WINDOW SIZES ARE BASED ON A GENERIC MANUFACTURER SPEC. ACTUAL MANUFACTURER SPEC. 7. SEE PLAN FOR BEAM, JOIST, HANGER LOCATION AND SIZING.
 8. SEE SHEET A901 FOR WALL FIRE RATINGS AND LOCATION. THIS INCLUDES ALL PENETRATIONS THROUGH THESE ASSEMBLIES.
 9. PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES.
 10. REMOVE WORK BLOCKED BEHIND ALL WALL, CEILING, FLOORWORK, SHEATHING, AND FIXTURES AS NECESSARY BASED ON MAJOR ALTERATIONS RECOMMENDATIONS.
 11. GENERAL CONTRACTOR TO VERIFY WITH ARCHITECT, STRUCTURAL TO LOCATIONS FOR EQUIPMENT, DUCTWORK, ETC. NOTIFY AND COORDINATE WITH GENERAL CONTRACTOR ANY NECESSARY CHANGES.
 12. SEE A901 FOR ALL WALL TYPES AND ASSEMBLIES.
 13. DIMENSION WALLS AS INDICATED ON PLAN - COORDINATE WITH FINAL CONSTRUCTION.

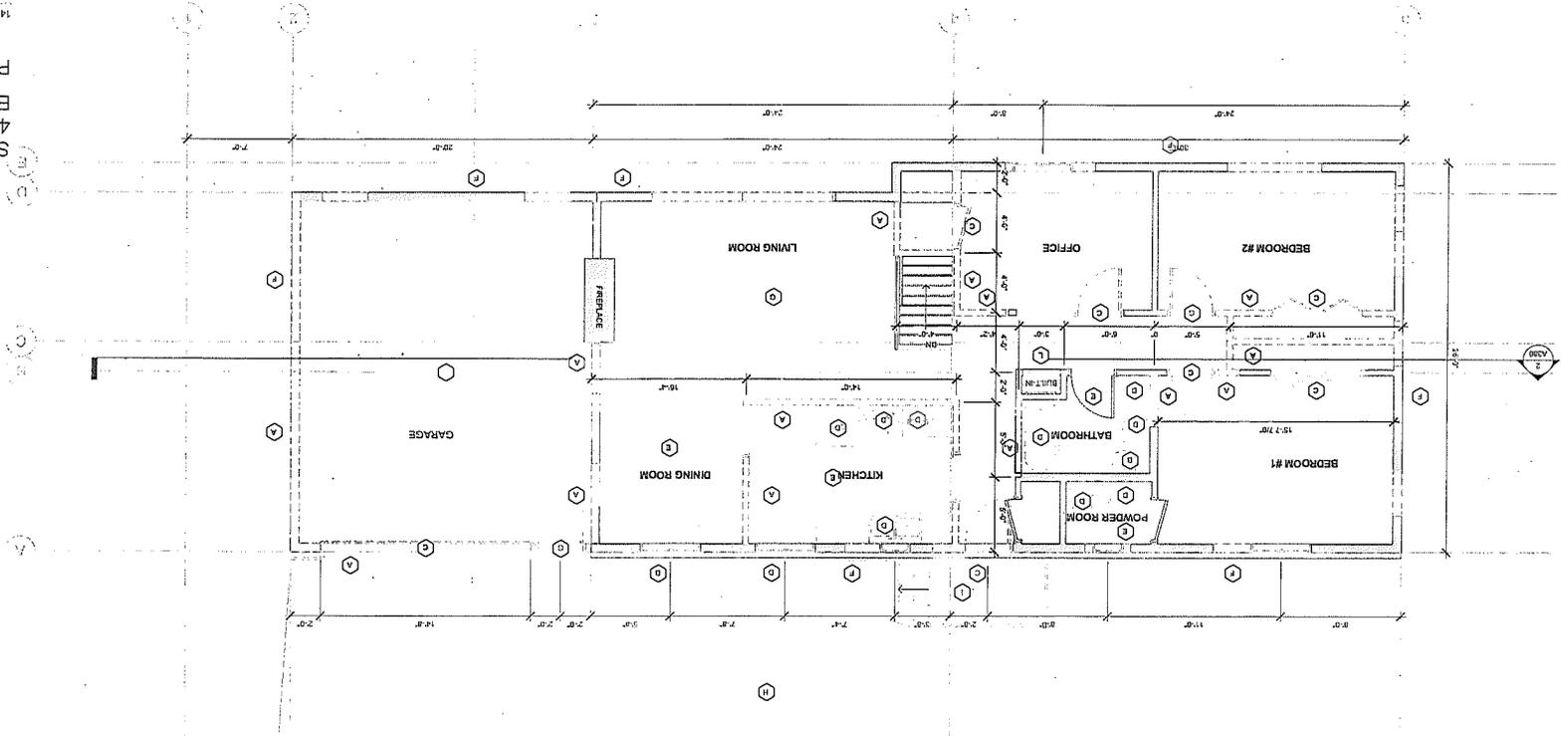
KEYNOTE LEGEND

Key Note	General Note as Indicated
A	Remove Work as Indicated
B	Remove Work as Indicated
C	Remove Work as Indicated
D	Remove Work as Indicated
E	Remove Work as Indicated
F	Remove Work as Indicated
G	Remove Work as Indicated
H	Remove Work as Indicated
I	Remove Work as Indicated
J	Remove Work as Indicated
K	Remove Work as Indicated



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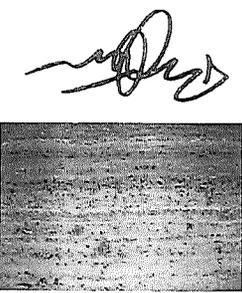
SEABERG HOUSE
4505 NANCY DR
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PERMIT SET

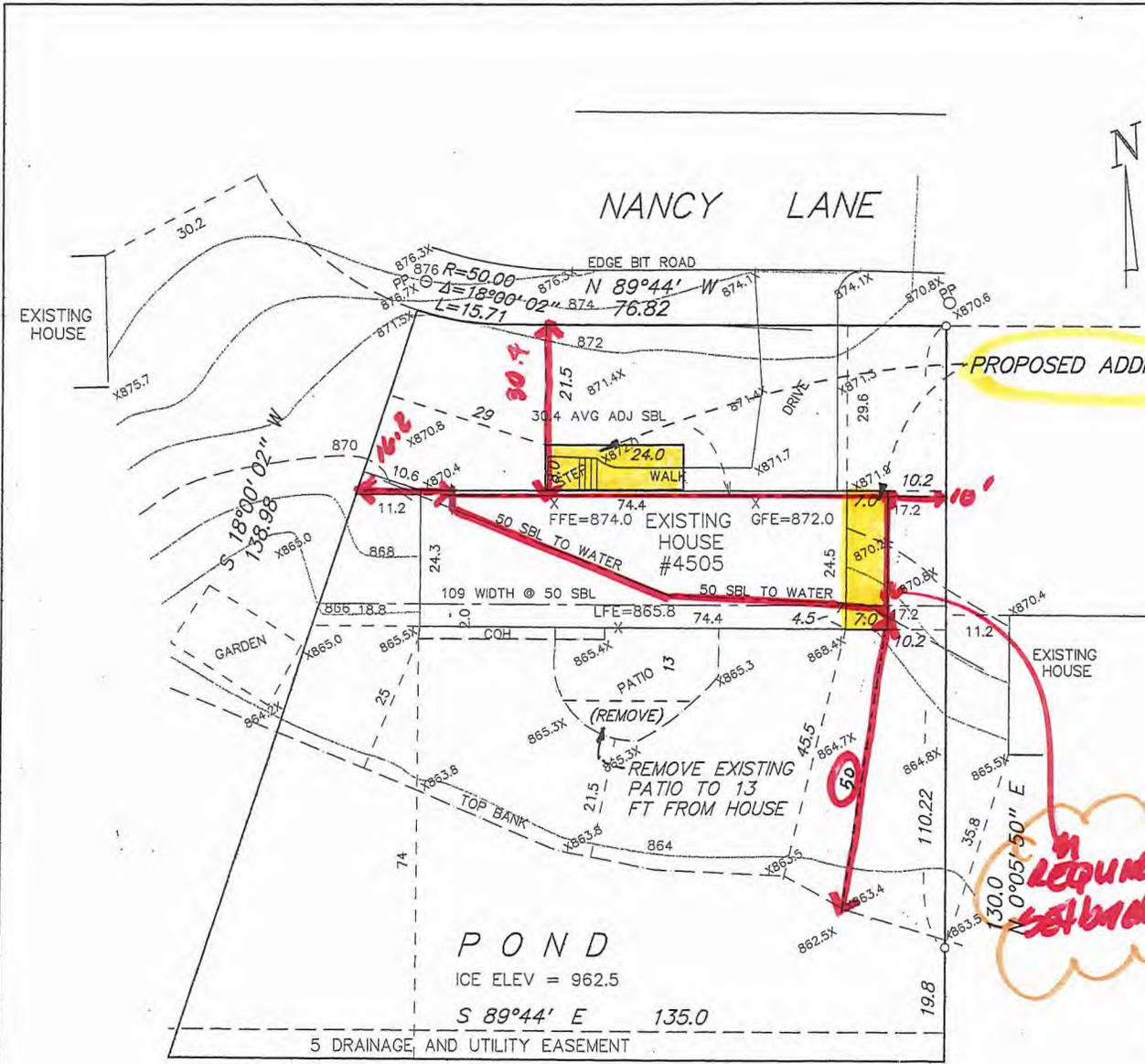


- GENERAL PLAN NOTES**
1. IN GENERAL, SHADY INDICATES EXISTING, HATCHED INDICATES DEMOLISHED, BLACK INDICATES NEW.
 2. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF EXTERIOR SHEATHING OR CONCRETE UNLESS NOTED OTHERWISE. SEE PARTITION SCHEDULE FOR ACTUAL PARTITION DIMENSIONS AND NOTES REGARDING WALL ASSEMBLY. IN TRIMMER WALLS, WHERE CLEAR DIMENSIONS NOTED, THESE MUST BE MAINTAINED.
 3. ALL DIMENSIONS AT WINDOW OPENINGS OCCUR UNLESS NOTED OTHERWISE. UNLESS OTHERWISE NOTED, VERIFY ALL WINDOW UNITS WITH DEMOLITION CONTRACTOR WITH MANUFACTURER.
 4. IF DIMENSIONAL DIFFERENCES OCCUR, NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
 5. VERIFY EXISTING DOOR LOCATIONS, BLOCK AND MASONRY FACE WITH ARCHITECTURAL AND STRUCTURAL DETAIL.
 6. WINDOW SIZES ARE BASED ON A GENERIC MODULE AND MUST BE ADAPTED TO ACTUAL MANUFACTURER SIZES.
 7. SEE PLANS FOR BEAM, JOIST, HEADER LOCATIONS AND SPINDS.
 8. SEE SHEET A041 FOR WALL FIRE RATINGS AND LOCATIONS. THIS INCLUDES ALL PENETRATIONS THROUGH THESE ASSEMBLIES.
 9. PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES.
 10. PROVIDE ALL BLOCKING BEHIND ALL WALL AND CEILINGWORK, ALL WORK, FIXTURES, AND FIXTURES AS NECESSARY BASED ON MANUFACTURER'S RECOMMENDATIONS.
 11. GENERAL CONTRACTOR TO VERIFY WITH MECHANICAL SUBCONTRACTORS AS TO LOCATION FOR EXHAUST, BLOW-OUT, NOTIFY AND COORDINATE WITH GENERAL CONTRACTOR ANY NECESSARY CHANGES.
 12. SEE A011 FOR ALL WALL TYPES AND ASSEMBLIES.
 13. DEMOLISH WALLS AS INDICATED ON PLAN - COORDINATE WITH FINAL CONSTRUCTION.

KEYNOTE LEGEND

Key Note	Description
A	Remove Wall as Indicated
B	Remove Window as Indicated
C	Remove Door as Indicated
D	Remove Frame and/or Sill and Replace as Indicated
E	Remove Sill and/or Sill and Replace as Indicated
F	Remove Existing Window and Replace as Indicated
G	Remove Existing Window and Replace as Indicated
H	Remove Existing Window and Replace as Indicated
I	Remove Existing Window and Replace as Indicated
J	Remove Existing Window and Replace as Indicated
K	Remove Existing Window and Replace as Indicated
L	Remove Existing Window and Replace as Indicated





- X892.5 = EXISTING SPOT ELEVATION.
- X(998.0) = PROPOSED SPOT ELEVATION
- = DIRECTION SURFACE DRAINAGE
- COH = CANTILEVERED OVERHANG
- OHL = OVERHEAD UTILITY LINE
- GFE = GARAGE FLOOR ELEVATION
- TFE = TOP OF FOUNDATION ELEVATION
- LFE = LOWEST FLOOR ELEVATION

STRUCTURE HARDCOVER EXISTING
 HOUSE = 1890 SF
 PATIO = 450 SF
 -150ASF= 300 SF
 TOTAL = 2190 SF/22.0%

REMOVE EXISTING PATIO TO 13 FT FROM HOUSE

PROPOSED ADDITIONS = 363.5 SF/3.7%

TOTAL EXIST AND PROPOSED = 2453 SF/24.6%

REQUIRED SETBACKS

Land Surveyor
 Frank R. Cardarelle
 6440 FLYING CLOUD DRIVE
 EDEN PRAIRIE, MN 55344
 952-941-3031

BUILDING PERMIT SURVEY
 for MITCHELL RESIDENCE
 4505 NANCY LANE

PROJECT NO.	BOOK	FACE
DATE NOV 25, 2014		
REVISIONS 12/29/14 → 1710 LC 12/10/14 AREA TO WATER, SBL HC I, FRANK R. CARDARELLE, A LICENSED SURVEYOR, HEREBY CERTIFY THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA. FRANK R. CARDARELLE REG. NO. 9508		



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SEABERG HOUSE

RENDERING FOR GRAPHICAL PURPOSES ONLY AND DOES NOT REPRESENT THE FINAL PROJECT. SEE ELEVATIONS AND PLANS FOR OFFICIAL REPRESENTATION.

PROJECT DESCRIPTION

The Seaberg House is a remodel of an existing 1970s rambler in Edina, MN. The remodel includes the addition of a second level over the west portion of the existing house, the addition of two shed dormers along the north and south facades, the addition of a front porch, and the shifting the garage over 8' to the setback line.



EXISTING RESIDENCE



PROJECT LOCATION - EDINA, MN

DRAWING INDEX		
ISSUED	#	TITLE SHEET AND VIEWS
11.26.14	T100	TITLE SHEET AND VIEWS
11.26.14	A0100	DEMO PLAN - BASEMENT LEVEL
11.26.14	A0101	DEMO PLAN - FIRST LEVEL
11.26.14	A001	BUILDING SYSTEMS
11.26.14	A100	BASEMENT LEVEL
11.26.14	A101	FIRST LEVEL
11.26.14	A102	SECOND LEVEL
11.26.14	A200	ELEVATIONS
11.26.14	A201	ELEVATIONS
11.26.14	A300	BUILDING SECTIONS
11.26.14	A400	ENLARGED VIEWS

SEABERG HOUSE
4505 NANCY DR
EDINA MN

PERMIT SET

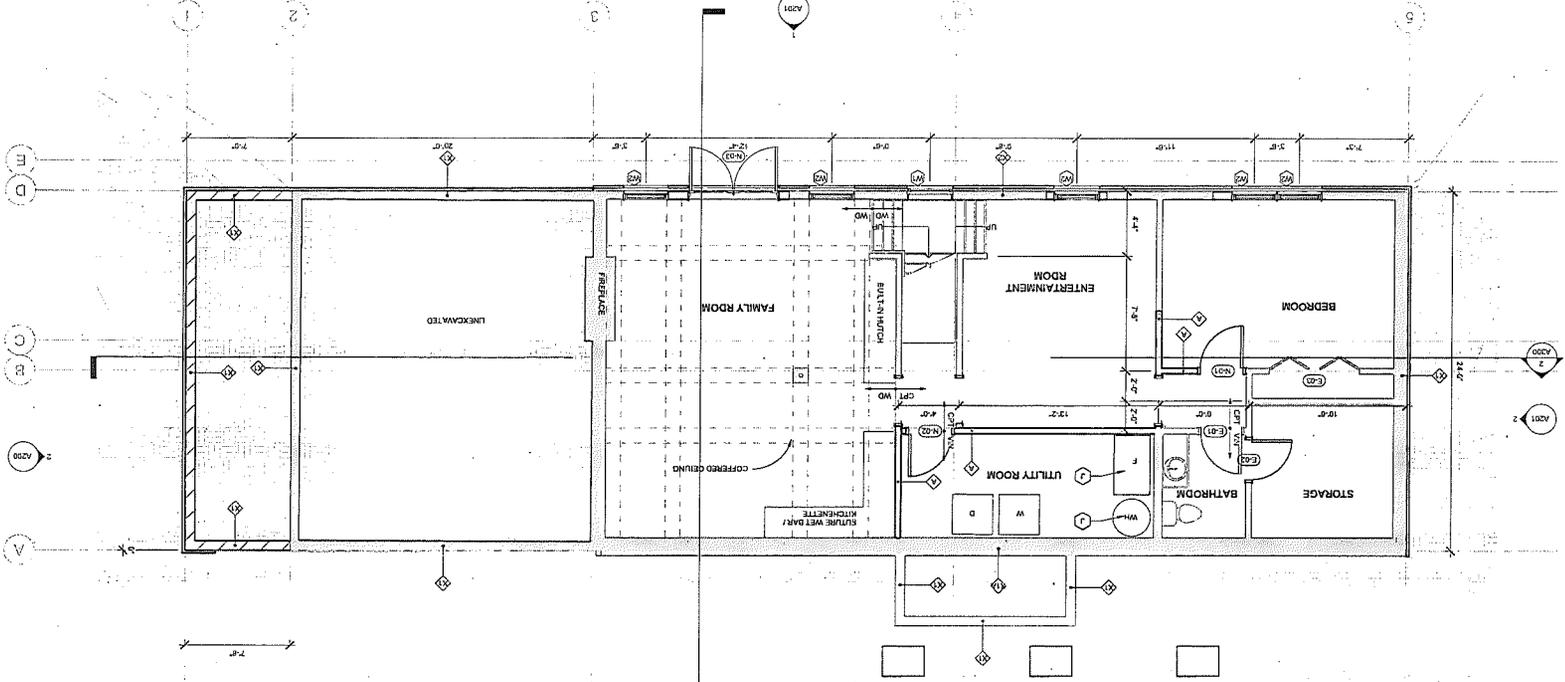
14.002 12.12.2014

TITLE SHEET AND
VIEWS
T100

Proposed

12.12.2014 14.00Z

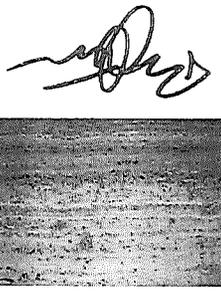
SEABERG HOUSE
4505 NANCY DR
EDINA MN
PERMIT SET



- GENERAL PLAN NOTES**
1. IN GENERAL, CHAIN LINKAGES EXISTING, DIMPLED INDICATES DEMOLISHED, BLACK INDICATES NEW.
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 3. ALL IN CHARGE OF THE WORK SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURAL DETAILS. CHECK AND MAINTAIN FACE WITH APPROPRIATE MATERIALS.
 4. IF DIMENSIONAL DISCREPANCIES OCCUR, NOTIFY THE GENERAL CONTRACTOR MANUFACTURER.
 5. VERIFY AND CHECK LOCATIONS, BRICK AND MASONRY FACE WITH APPROPRIATE MATERIALS.
 6. PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES.
 7. SEE SHEET A101 FOR WALL RISE RATINGS AND LOCATIONS. THIS INCLUDES ALL PENETRATIONS THROUGH THESE ASSEMBLIES.
 8. REMOVE WORKING FORMS AND BRACING AS NECESSARY BASED ON MANAGER'S RECOMMENDATIONS.
 9. GENERAL CONTRACTOR TO OBTAIN NECESSARY PERMITS AND COORDINATE WITH GENERAL CONTRACTOR ANY NECESSARY CHANGES.
 10. GET A101 FOR ALL WALL TYPES AND ASSEMBLIES.
 11. GENERAL CONTRACTOR TO COORDINATE WITH PERMITTING AGENCIES FOR EQUIPMENT, DISTURBANCE, SITE NOTIFICATION AND COORDINATE WITH GENERAL CONTRACTOR ANY NECESSARY CHANGES.
 12. GENERAL CONTRACTOR TO COORDINATE WITH PERMITTING AGENCIES FOR EQUIPMENT, DISTURBANCE, SITE NOTIFICATION AND COORDINATE WITH GENERAL CONTRACTOR ANY NECESSARY CHANGES.
 13. GENERAL CONTRACTOR TO COORDINATE WITH PERMITTING AGENCIES FOR EQUIPMENT, DISTURBANCE, SITE NOTIFICATION AND COORDINATE WITH GENERAL CONTRACTOR ANY NECESSARY CHANGES.

KEYNOTE LEGEND

Keynote	Keynote Text
A	Remove Wall as Indicated
B	Remove Window as Indicated
C	Remove as Indicated
D	Remove as Indicated and replace as necessary
E	Remove as Indicated and replace as necessary
F	Remove as Indicated and replace as necessary
G	Remove as Indicated and replace as necessary
H	Remove as Indicated and replace as necessary
I	Remove as Indicated and replace as necessary
J	Remove as Indicated and replace as necessary
K	Remove as Indicated and replace as necessary
L	Remove as Indicated and replace as necessary



Key Value	Keynote Text
A	Remove Wall as Indicated
B	Remove Window as Indicated
C	Remove Door as Indicated
D	Remove Sillcase as indicated and relocate as necessary
E	Remove Finish Flooring and replace as indicated
F	Remove existing siding and replace as indicated in drawings
G	Protect existing flooring throughout construction
H	Remove existing roof as indicated. Sister new roof trusses or floor joists as necessary
I	Remove and relocate Stair
J	Relocate Furnace, Water Heater & Other Mechanical/Plumbing Equipment as Indicated
K	Replace Outdoor Patio
L	Replace Built-in to Match other New Casework

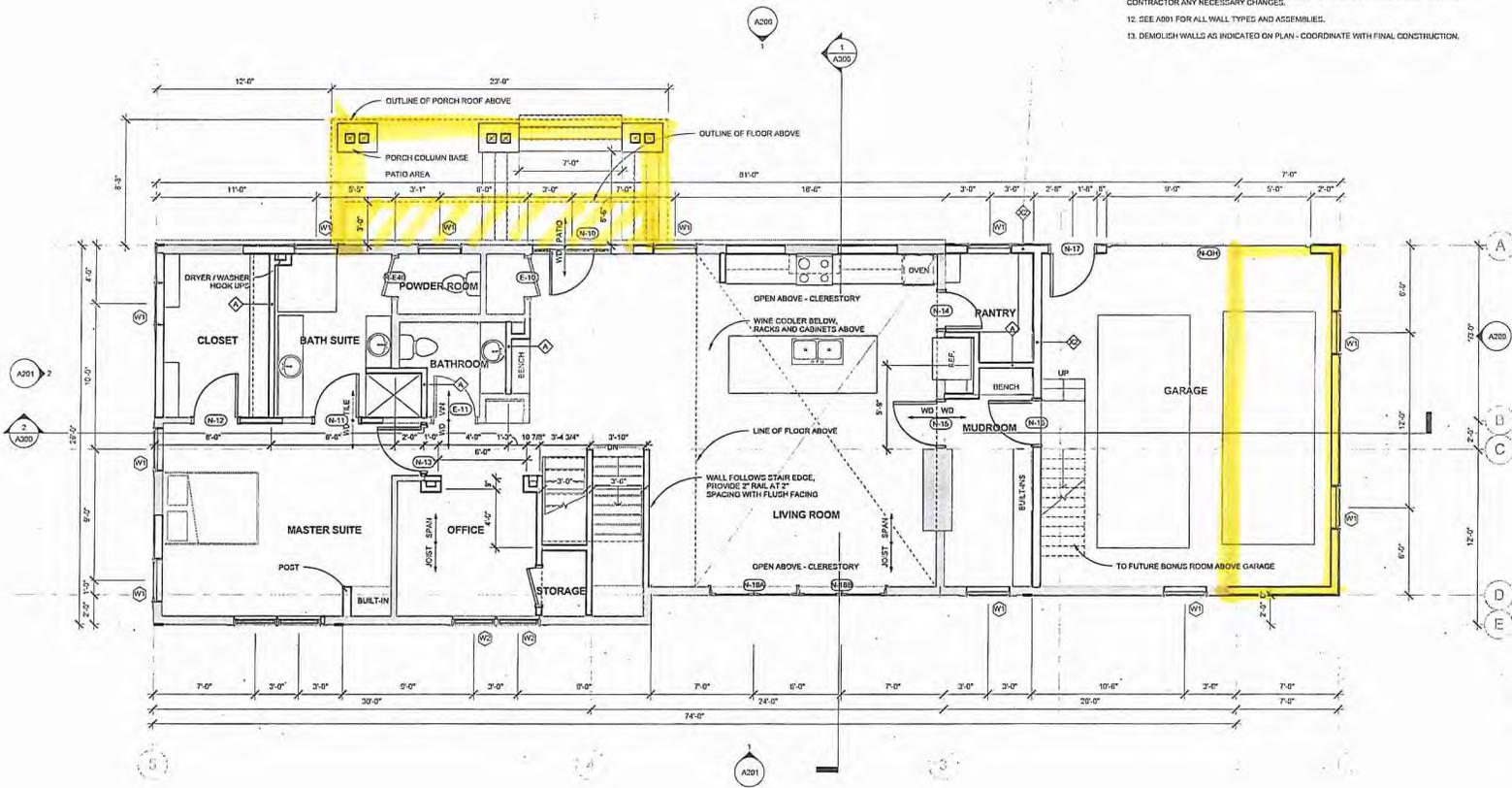
GENERAL PLAN NOTES

1. IN GENERAL, GRAY INDICATES EXISTING, DASHED INDICATES DEMOLISHED, BLACK INDICATES NEW.
2. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF EXTERIOR SHEATHING OR CONCRETE BLOCK AT EXTERIOR WALLS AND CENTERLINE OF WALL ASSEMBLY AT INTERIOR WALLS, UNLESS NOTED OTHERWISE. SEE PARTITION SCHEDULE FOR ACTUAL PARTITIONS WHERE CLEAR DIMENSIONS NOTED, THESE MUST BE MAINTAINED.
3. ALL PLAN DIMENSIONS AT WINDOWS ARE TO THE ROUGH OPENING, UNLESS OTHERWISE NOTED. VERIFY ALL WINDOW ROUGH OPENING DIMENSIONS WITH MANUFACTURER.
4. IF DIMENSIONAL DISCREPANCIES OCCUR, NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
5. VERIFY SLAB EDGE LOCATIONS, BRICK AND MASONRY FACE WITH ARCHITECTURAL AND STRUCTURAL DETAILS.
6. WINDOW SIZES ARE BASED ON A GENERIC MODULAR AND MUST BE ADAPTED TO ACTUAL MANUFACTURER SIZES.
7. SEE PLANS FOR BEAM, JOIST, HEADER LOCATIONS AND SIZING.
8. SEE SHEET A901 FOR WALL FIRE RATINGS AND LOCATIONS. THIS INCLUDES ALL PENETRATIONS THROUGH THESE ASSEMBLIES.
9. PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES.
10. PROVIDE WOOD BLOCKING BEHIND ALL WALL-HUNG CASEWORK, MILLWORK, SHELVING, AND FIXTURES AS NECESSARY BASED ON MANUFACTURER'S RECOMMENDATIONS.
11. GENERAL CONTRACTOR TO VERIFY WITH MECHANICAL SUBCONTRACTORS AS TO LOCATIONS FOR EQUIPMENT, DUCTWORK, ETC. NOTIFY AND COORDINATE WITH GENERAL CONTRACTOR ANY NECESSARY CHANGES.
12. SEE A901 FOR ALL WALL TYPES AND ASSEMBLIES.
13. DEMOLISH WALLS AS INDICATED ON PLAN - COORDINATE WITH FINAL CONSTRUCTION.



Proff

Additions - MAIN FLOOR



SEABERG HOUSE
4505 NANCY DR
EDINA MN
PERMIT SET

14.002 12.12.2014

FIRST LEVEL

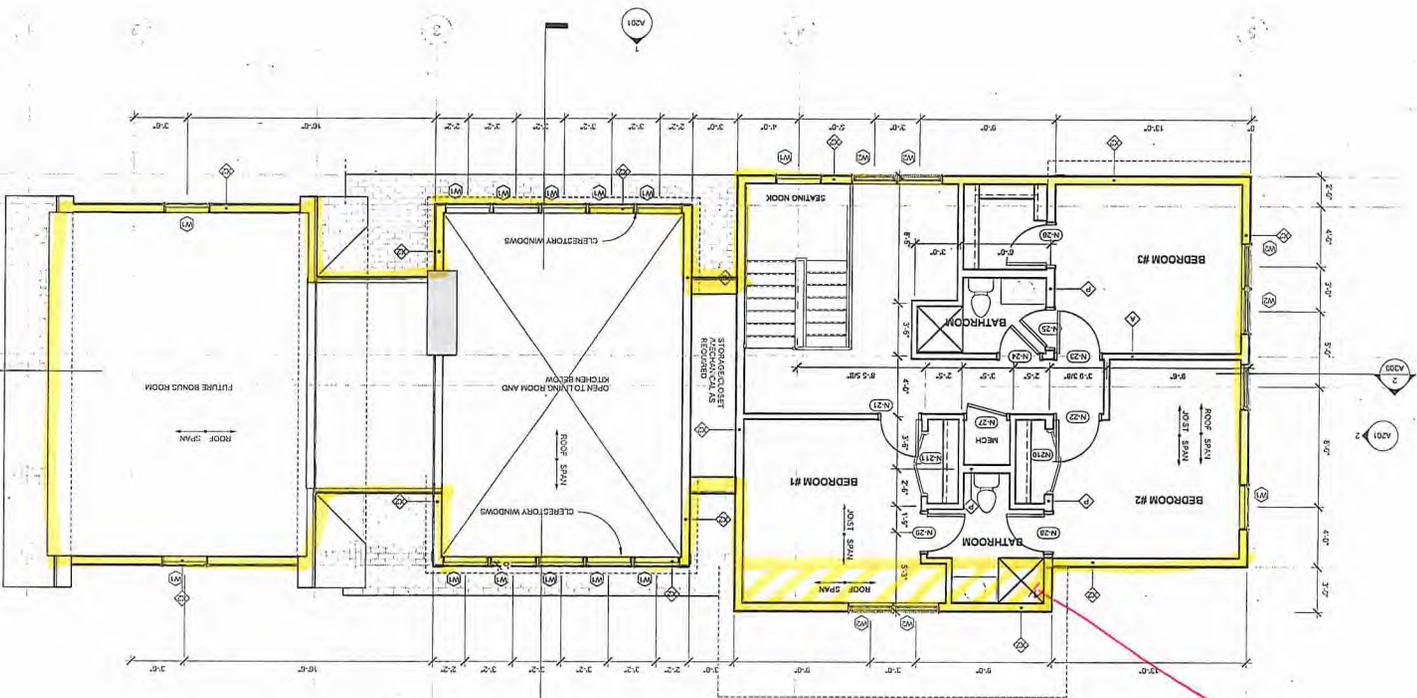
A101

1 FIRST LEVEL, NEW
1/4" = 1'-0"

Proposed

not passed

SEABERG HOUSE
4505 NANCY DR
EDINA MN
PERMIT SET



beyond existing front wall

2nd floor additions

- 1. IN GENERAL, DIMENSIONS INDICATED BY DIMENSION LINES INDICATES DIMENSIONS UNLESS BLACK INDICATES NEW.
- 2. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF EXTERIOR SHEATHING OR CONCRETE UNLESS NOTED OTHERWISE. SEE MATERIAL SPECIFICATIONS FOR ACTUAL WALL THICKNESS.
- 3. ALL PLAN DIMENSIONS AT WINDOWS ARE TO THE ROUGH OPENING, UNLESS OTHERWISE NOTED. VERIFY ALL WINDOW ROUGH OPENING DIMENSIONS WITH MANUFACTURER.
- 4. IF DIMENSIONAL DISCREPANCIES OCCUR, NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
- 5. VERIFY STUD ROOM LOCATIONS, BLOCK AND MASONRY FACE WITH ARCHITECTURAL AND STRUCTURAL DETAILS.
- 6. WINDOW SIZES ARE BASED ON A GENERIC WINDOW MODULE AND MUST BE ADAPTED TO ACTUAL MANUFACTURER DATA.
- 7. SEE SHEET FOR BEAM, JOIST, HEADER LOCATIONS AND SIZES.
- 8. SEE SHEET FOR FLOOR FINISHES AND LOCATIONS. THIS INCLUDES ALL FLOORING THROUGH THESE ASSEMBLIES.
- 9. PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES.
- 10. REMOVE ROOF BEAMS BEHIND ALL WALL, HUNG CASEWORK, NETWORK RECOMMENDATIONS.
- 11. GENERAL CONTRACTOR TO VERIFY WITH MECHANICAL AND ELECTRICAL CONTRACTORS TO CONFIRM LOCATIONS FOR EXHAUSTING, OUTLET, NOTIFY AND COORDINATE WITH GENERAL CONTRACTOR ANY NECESSARY CHANGES.
- 12. SEE A301 FOR ALL WALL TYPES AND ASSEMBLIES.
- 13. DEMOLISH WALLS AS INDICATED ON PLAN - COORDINATE WITH FINAL CONSTRUCTION.

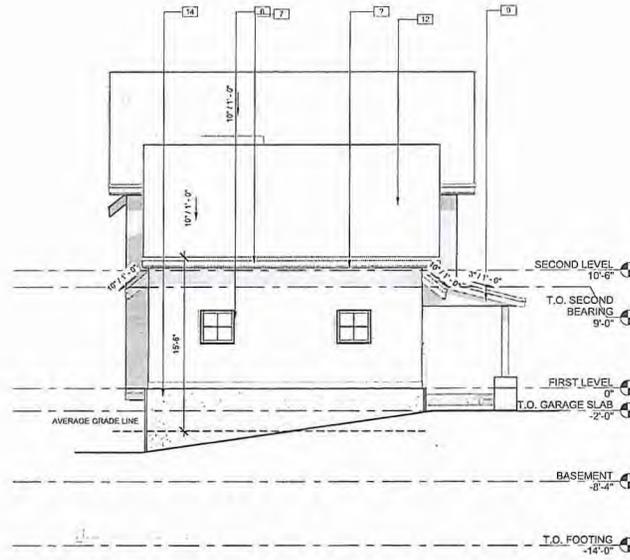
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GENERAL PLAN NOTES

KEYNOTE LEGEND

Key Value	Keynote Text
A	Remove Wall as Indicated
B	Remove Door as Indicated
C	Remove Window as Indicated
D	Remove Wall as Indicated
E	Remove Wall as Indicated
F	Remove Wall as Indicated
G	Remove Wall as Indicated
H	Remove Wall as Indicated
I	Remove Wall as Indicated
J	Remove Wall as Indicated
K	Remove Wall as Indicated
L	Remove Wall as Indicated



2 EAST ELEVATION
3'10" x 1'-0"

GENERAL ELEVATION NOTES

1. ALL MATERIALS AT FACE TO RETURN AT CORNER. TERMINATE MATERIALS AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PLAN DIMENSIONS AT WINDOWS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED. VERIFY ALL WINDOW ROUGH OPENING DIMENSIONS WITH MANUFACTURER.
3. IF DIMENSIONAL DISCREPANCIES OCCUR, NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
4. WINDOW SIZES ARE BASED ON A GENERIC MODULAR AND MUST BE ADAPTED TO ACTUAL MANUFACTURER SIZES.
5. LOCATE NEW WINDOWS, WHEREVER POSSIBLE, IN ROUGH OPENING PREVIOUSLY FRAMED.
6. LOCATE ALL EXTERIOR VENTS, WHERE POSSIBLE, TO RECESSED PORTIONS OF THE BUILDING FACADE. NOTIFY ARCHITECT OF ANY NECESSARY CHANGES.
7. GENERAL CONTRACTOR TO VERIFY WITH MECHANICAL SUBCONTRACTORS AS TO LOCATIONS FOR EQUIPMENT, DUCTWORK, ETC. NOTIFY GENERAL CONTRACTOR OF ANY NECESSARY CHANGES.
8. REMOVE AND REPLACE EXISTING SIDING AS INDICATED.



Proff

Key Value	Keynote Text
1	Brick, Existing
2	Siding #1 - 4" Horizontal
3	Siding #2 - Vertical Slaten & Board
4	Siding #3 - Flat Panel
5	Trim
6	Window Trim
7	Fabric Sill-Up - 1x4 over 1x10
8	Window
9	Wood Pitch Ceiling
11	Wood Column with Base and Top Trim
12	Asphalt Shingles
13	Mineral Insulating-Cement Roof
14	Stone Veneer



1 NORTH ELEVATION
3'10" x 1'-0"

Proposed

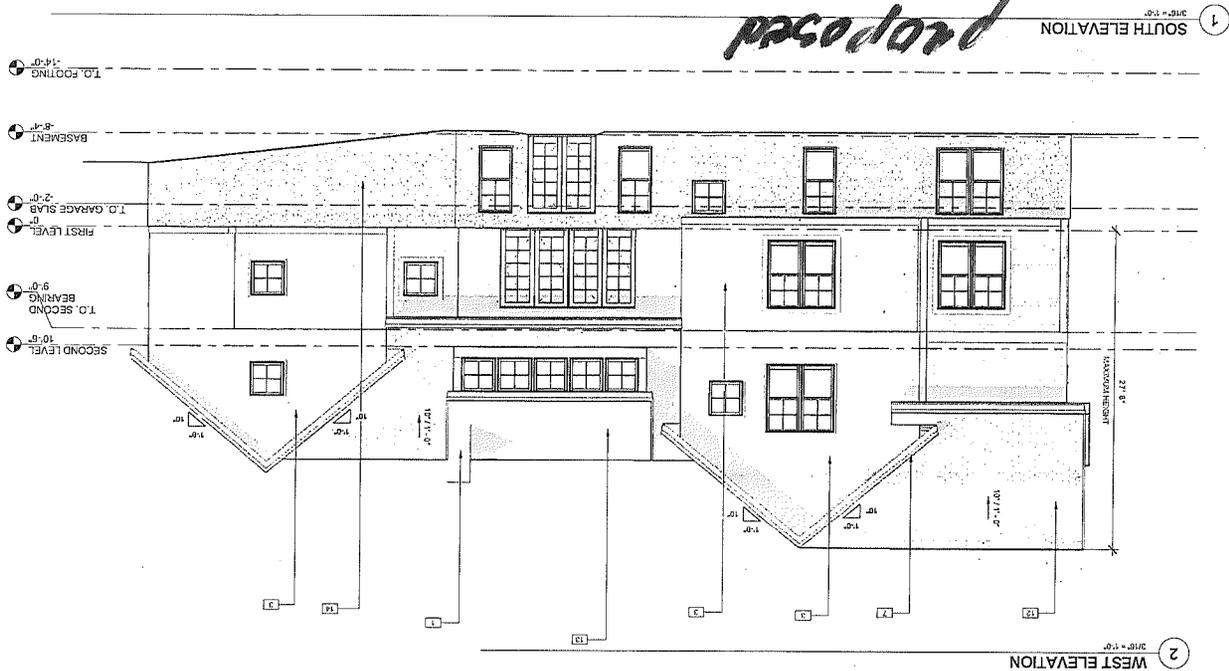
closer to the street

SEABERG HOUSE
4505 NANCY DR
EDINA MN
PERMIT SET

14.002 12.12.2014

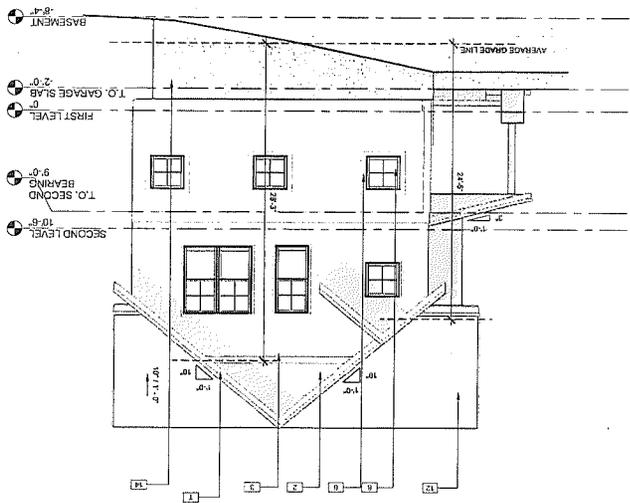
ELEVATIONS

A200



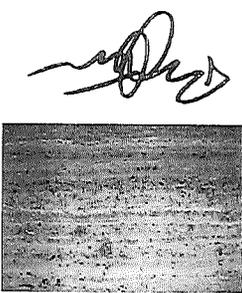
2 WEST ELEVATION
DATE: 11-10-14

MATERIAL INDEX	
100	WALLS
101	WOOD SILLING
102	WOOD TRIM
103	WOOD TRIM
104	WOOD TRIM
105	WOOD TRIM
106	WOOD TRIM
107	WOOD TRIM
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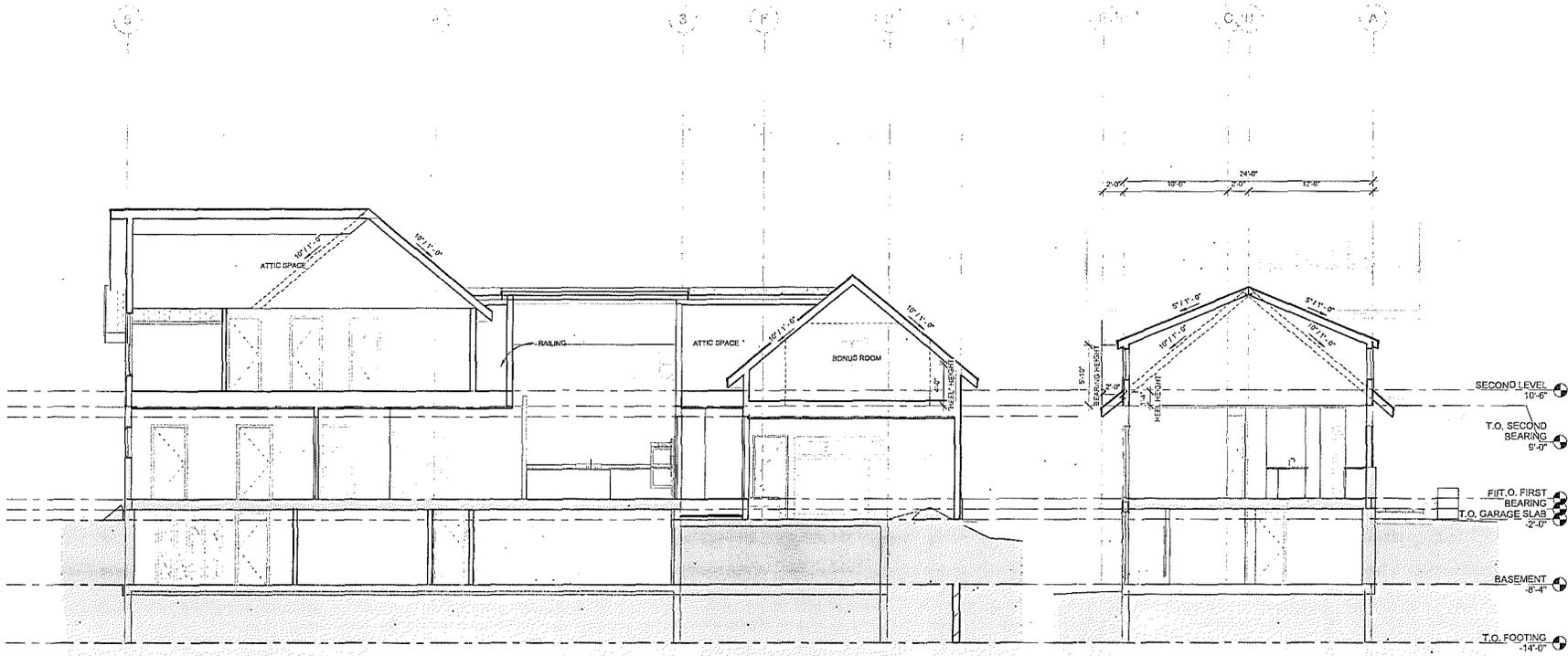
GENERAL ELEVATION NOTES

1. MATERIALS TO BE USED TO RETURN AT CORNER. TERMINATE MATERIALS AT CORNER.
2. ALL FINISH DIMENSIONS AT WINDOW ARE TO THE CENTERLINE UNLESS NOTED OTHERWISE. DIMENSIONS FOR OPENING DIMENSIONS WITH FINISH SURFACE.
3. IN FINISHING CONTRACTOR TO VERIFY WITH GENERAL CONTRACTOR MATERIALS.
4. WINDOW SIZES ARE BASED ON A GENERIC MODULE AND MUST BE ADJUSTED TO MATCH ACTUAL MANUFACTURER SIZES.
5. LOCATE NEW WINDOWS, WHEREVER POSSIBLE, IN ROUGH OPENING PROVIDED BY OWNER.
6. LOCATE ALL EXISTING WINDOWS, WHEREVER POSSIBLE, TO RECEIVE OPENING OF THE BUILDING FACADE. NOTIFY ARCHITECT OF ANY NECESSARY CHANGES.
7. GENERAL CONTRACTOR TO VERIFY WITH MECHANICAL SUBCONTRACTOR AS TO LOCATION OF EXISTING VENTS, MECHANICAL, DUCTWORK, ETC. NOTIFY GENERAL CONTRACTOR OF ANY NECESSARY CHANGES.
8. REMOVE AND REFACE EXISTING SILING AS INDICATED.





Proposed



2 LONGITUDINAL BUILDING SECTION

Proposed

1 TRANSVERSE SECTION

SEABERG HOUSE
4505 NANCY DR
EDINA MN
PERMIT SET

14.002

12.12.2014

BUILDING
SECTIONS
A300

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