



PLANNING COMMISSION STAFF REPORT

| | | |
|--|--|----------------------------|
| Originator Kris Aaker, Assistant Planner | Meeting Date February 25, 2015 | Agenda # B-15-05 |
|--|--|----------------------------|

Recommended Action: Approve a variance to allow the construction of a new home on an existing foundation that will be more than one foot above (1.33 feet total above) the existing first floor elevation of the previous home located at 4214 Scott Terrace.

Project Description:

Ion Beleniuc has submitted a variance application on behalf of the property owners to increase the first floor elevation 1.33 feet higher than the current first floor elevation in order to construct a new home at 4214 Scott Terrace on the existing foundation. This property is located on the west side of Scott Terrace within the Morningside neighborhood with a portion of the property located in the floodplain.

The zoning ordinance allows for a maximum 1 foot increase in height of an existing 1st floor. The applicant is asking for a .33 foot, (4 inch), variance to increase 1st floor height by 1.33 feet to allow an 8 foot ceiling height in the basement. The building permit plan set submitted to the City for review conformed to the zoning ordinance requirements, however, upon review by the Engineering Department it was discovered that the back yard has floodplain requiring an increase in the existing basement elevation. Initially the plan was to leave the existing walkout basement floor, however, after review it was determined that the applicant is required to increase the basement floor to be 2 feet above the flood elevation. The redesign has included changing floor trusses to mitigate the additional increase in new first floor height, however, in order to achieve 8 foot basement ceilings, a minimal 4 inch variance is requested.

INFORMATION & BACKGROUND

A variance is required to allow the first floor elevation of the new home to exceed the first floor elevation of the existing home by more than one foot. The current home located at 4214 Scott Terrace has a first floor elevation at 879.1 feet above sea level. This neighborhood in Edina has property located in a floodplain area, and the currently established floodplain elevation is 869.2. The existing

basement floor elevation is at 870.6. The City of Edina Comprehensive Water Resources Management Plan requires the lowest floor to be a minimum of 2 feet above the Flood Elevation. The Engineering Department considers the entire basement of the existing home to be in the floodplain because it is lower than an elevation 2 feet above the flood elevation and now must be elevated because the project is deemed new construction.

The home has been removed down to the "floor-cap" or foundation. A demolition permit for the house preceded the building permit application with all but the foundation torn down. The project is considered new construction since more than 50% of the exterior walls were removed so it now must conform to floodplain rules and all zoning ordinance requirements, (or receive a variance). Since the project is not a remodel and is considered new construction, it allows an opportunity for the city to correct an existing nonconforming and undesirable basement elevation condition.

Eligibility Requirements for Variances from the 1 foot maximum increase in 1st floor height.

City Code allows for the issuance of a variance to increase the first floor elevation of a new home over one foot above the existing home under one of the following circumstances:

- 1) To elevate the lowest level of the dwelling to an elevation of two feet above the 100-year flood elevation, as established by FEMA;
- 2) To elevate the lowest level of the dwelling to protect from groundwater intrusion;
- 3) To elevate the first floor elevation to the extent necessary to meet the state building code, city code, or statutory requirements;

Furthermore, a variance may only be issued if the proposed project fits the character of the neighborhood in height, scale, and mass.

This property is situated at an elevation that is currently just above the floodplain. Therefore, the applicant is seeking to establish low floor elevation at 871.23 feet, which would be 2 feet above the established floodplain. City code requires a 2 foot separation between floodplain and lowest floor elevations. Furthermore, the building code now requires increased minimum ceiling height in basements and a minimum of 12 inch floor trusses. The applicant is requesting the minimal variance to allow 8 foot ceiling height in the basement.

In staff's analysis, the proposed home fits the character of the neighborhood with regard to height, scale, and massing. There have been several teardown/re-builds within this neighborhood. Therefore, the first floor elevation request meets the eligibility requirements for consideration of a variance from the one foot 1st floor rule.

Surrounding Land Uses

- Northerly: Single Unit residential homes; zoned and guided low-density residential.
- Easterly: Single Unit residential homes; zoned and guided low-density residential.
- Southerly: Single Unit residential homes; zoned and guided low-density residential.
- Westerly: Single Unit residential homes; zoned and guided low-density residential.

Existing Site Features

The existing 19,861 square foot lot is located on the west side of Scott Terrace and has a one-story home with a two car garage on the property. The site slopes lower to the back corners in the rear of the lot. There is floodplain located behind the house.

Planning

Guide Plan designation: Low-Density Residential
Zoning: R-1, Single-Dwelling District

Grading & Drainage

The grading must not impact adjacent neighbors. The Environmental Engineer has reviewed the application and submitted comments in the attached memo. The memorandum states that Engineering has no problems with the plans as submitted and is in support of raising the low floor elevation to remove it from the risk of flooding. The proposed plans show a very minimal amount of grading on the lot and will closely mimic existing conditions. The applicant is only proposing an increase in impervious space of 12.5 SF, which is negligible. According to the Engineering memo, the neighboring private property will not be affected by the proposed grading and drainage plans for the redevelopment project.

Compliance Table

| | City Standard | Proposed |
|--|---------------------|------------------------------------|
| Front – | 40.45 feet | 41.5 feet |
| North Side - | 10 feet | 15 feet |
| Rear– | 25 feet | 117 feet |
| Side – | 10 feet + Height | 10.9/14.9 feet |
| Building Coverage 1 st Floor Elevation | 25% 1 foot/879.1 | 10.10% *1.33 feet/880.43 |
| Building Height | 37 feet | 30.5 feet |

***Requires a variance**

PRIMARY ISSUES & STAFF RECOMENDATION

Primary Issues

- **Does the proposed new home meet the criteria for approval of a variance with a first floor elevation 1.33 feet higher than the existing home?**

Staff believes the proposal meets the criteria for a variance to allow the first floor elevation 1.33 feet higher than the existing home for the following four reasons:

- 1) The proposed home design elevates the lowest level of the dwelling to an elevation of two feet above the 100-year flood elevation.
- 2) The proposed home design elevates the first floor elevation to the extent necessary to meet the state building code with regard to minimum ceiling heights and minimum floor truss size;
- 3) The proposed home design project fits the character of the neighborhood in height, scale, and mass;
- 4) The request meets the criteria for approval of a variance given the following findings:

- a. The proposal meets the conditions for variance.
- b. The proposal meets all other applicable Zoning Ordinance requirements.
- c. The proposal fits the character with this neighborhood.

Staff Recommendation

Staff recommends approval of the variance, as requested subject to the findings listed in the staff report above, and subject to the following conditions:

1. The site must be developed and maintained in conformance with the following plans:
 - Survey date stamped February 10, 2015.
 - Building plans and elevations date stamped February 10, 2015.
2. Compliance with the conditions and comments listed in the Environmental Engineer's memo dated February 18, 2015.

Deadline for a city decision: April 10, 2015.



DATE: February 18, 2015
TO: Cary Teague – Planning Director
CC: David Fisher – Building Official
Ross Bintner P.E. - Environmental Engineer
FROM: Charles Gerck EIT – Engineering Technician
RE: **4141 44th St West - Special Review of Variance Application**

The Engineering Department has reviewed the subject property for street and utility concerns, grading, storm water, erosion and sediment control and for general adherence to the relevant ordinance sections. This review was performed at the request of the Planning Department; a more detailed review will be performed at the time of building permit application.

Summary of Review

Engineering has no concerns with the plans as submitted. An existing and a proposed site survey will be sufficient for review and construction purposes. The proposed plan appears to be multiple small additions to the east, west and south sides of the home. There are only minor proposed grading changes that will match the existing grade to the new additions. The lot will have significantly reduced impervious surfaces and neighboring private properties will not be negatively affected. The property owner will need to allow for an inspection of their sump discharge line to verify it is not discharging into the sanitary line. If it is found to be doing so, it will need to be brought up to current code and inspected.

Grading and Drainage

The proposed plans show a net decrease of 1549 SF in impervious space. This decrease includes 389 SF in additional new impervious surfaces, a large net reduction in impervious space of 1250 SF from a previous permit and 688 SF from the proposed variance.

Erosion and Sediment Control

Meet Minnehaha Creek Watershed District requirements, if required.

Street and Curb Cut

No concerns

Water and Sanitary Utilities

There is a note in the property file that the home was one of the few homes that was unable to have their sump discharge to be inspected back in the early 2000's. Engineering will require that as part of this variance the current home owner allow an inspection of their sump discharge to verify that it isn't discharging into the sanitary line. If it is found to be doing so, it will need to be brought up to current code and inspected.

Kris Aaker

From: GARY GOSEWISCH <gosewisch@comcast.net>
Sent: Friday, February 13, 2015 11:18 AM
To: Kris Aaker
Subject: Re: Variance application
Attachments: GOSEWISCH variance reductions 021315.pdf

Kris,

I just spoke with Jeff Tritch the architect. Attached is his drawing of the part that needs to be removed to be in compliance with the hardcover requirements. We have settled on taking 4 inches off of the garage, 6 inches off of the master bathroom/closet and the remaining 12.28 sq ft coming off of the front step/porch. Do you want me to come by this morning and yellow them in as suggested or is his attached revised drawing sufficient?

Thanks.

Gary

On 2/11/15, 2:53 PM, "Kris Aaker" <KAaker@EdinaMN.gov> wrote:

Dear Gary,

To move your application forward, please see Cary's suggestion about highlighting the areas to be cut back and by how much.



Kris Aaker, Assistant City Planner 952-826-0461 | Fax 952-826-0389 4801 W. 50th St. | Edina, MN 55424 KAaker@EdinaMN.gov |

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From: Cary Teague
Sent: Wednesday, February 11, 2015 2:47 PM
To: Kris Aaker
Subject: RE: Variance application

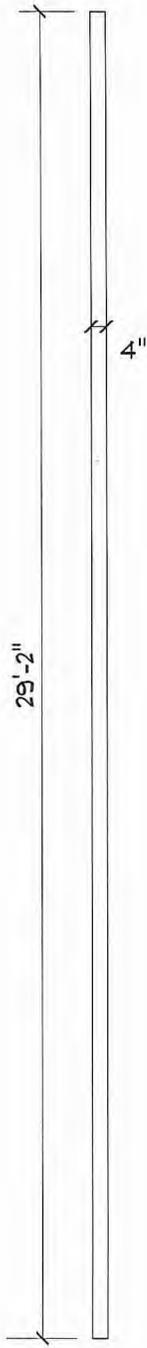
You could have the applicant draw on the survey where the buildings would be cut back?



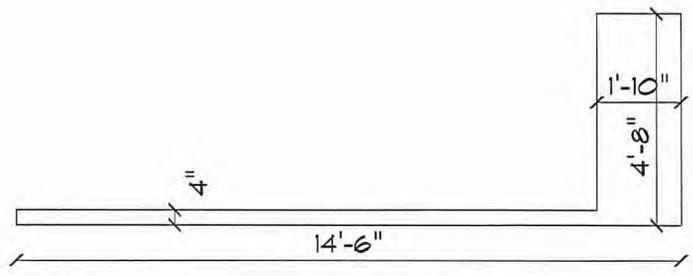
Cary Teague, Community Development Director 952-826-0460 | Fax 952-826-0389 | Cell 952-826-0236 4801 W. 50th St. | Edina, MN 55424

cteague@EdinaMN.gov | www.EdinaMN.gov/Planning <<http://www.EdinaMN.gov/Planning>> ...For Living, Learning, Raising Families & Doing Business

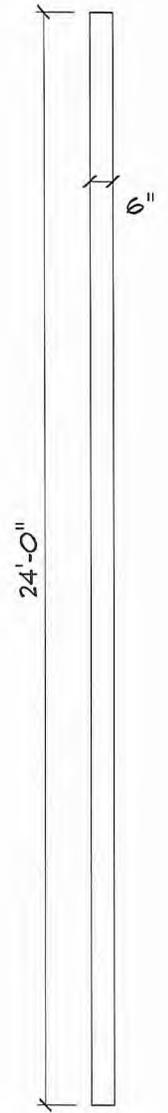
From: Kris Aaker
Sent: Wednesday, February 11, 2015 2:28 PM
To: Cary Teague
Subject: FW: Variance application



9.7 sq/ft = GARAGE



12.8 sq/ft = FRONT PORCH

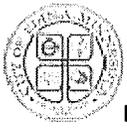


12 sq/ft = MASTER BATH/CLO.

34.5 sq/ft = TOTAL REMOVED

Cary,

I know the PC are sticklers, so what do you think? They usually base it on plans presented.



Kris Aaker, Assistant City Planner 952-826-0461 | Fax 952-826-0389 4801 W. 50th St. | Edina, MN 55424 KAaker@EdinaMN.gov |

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From: Gary Gosewisch [<mailto:gosewisch@comcast.net>]

Sent: Wednesday, February 11, 2015 2:26 PM

To: Kris Aaker

Subject: Re: Variance application

Kris,

I have been working with the architect and will be scaling back the plan. Can I give you a letter stating that, signed by both myself (and the architect if needed) or do the drawing all have to be redone for the variance request? At minimum I will reduce the garage addition by 2 inches which will gain back 4.9 sq ft. I will have the porch reduced by 30 sq ft or have the addition on the bedroom reduced or a combination of the two to reduce the hardcover back to 2250 sq ft.

I can get you a copy of the final drawings for your approval if the variance is approved. I am trying to save the cost of having the drawing for the variance redone for a third time if the planning commission requires other changes.

Gary

Sent from my iPad

On Feb 11, 2015, at 9:04 AM, Kris Aaker <KAaker@EdinaMN.gov> wrote:

Dear Gary,

Public hearing notices for February 25th Planning Commission meeting will need to go out on Friday. In order for your project to be put on the agenda, we will need to have the lot coverage of your project addressed. Are you planning on requesting a variance from the coverage requirements or will you be scaling back the plan to conform? If you plan on adding that to your request, you will need to address it in your application and narrative and will need to be part of the notification.

Thanks,

Kris

<image001.gif> **Kris Aaker, Assistant City Planner** 952-826-0461 | Fax 952-826-0389 4801 W. 50th St. | Edina, MN 55424 KAaker@EdinaMN.gov |

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From: Kris Aaker

Sent: Thursday, February 05, 2015 1:42 PM

Kris Aaker

From: Kris Aaker
Sent: Monday, February 02, 2015 11:56 AM
To: 'GARY GOSEWISCH'
Subject: RE: Variance application

Dear Gary,

I was reviewing your variance application in more detail and one of the submitted surveys indicates a total proposed house footprint of 2,254 square feet. The maximum allowed coverage is 2,250 square feet. It also doesn't look like the surveyor put the front portico on the survey. So I doubt that was included in the proposed footprint amount. Would you please check with the surveyor regarding the front portico and coverage amounts. It would appear that you will need a lot coverage variance so you will need to address that variance once the amount over 2,250 square feet is identified by the surveyor. A lot coverage variance is not a variance that City Staff can support.

Thank you,
Kris



Kris Aaker, Assistant City Planner

952-826-0461 | Fax 952-826-0389

4801 W. 50th St. | Edina, MN 55424

KAaker@EdinaMN.gov | www.EdinaMN.gov/Planning

...For Living, Learning, Raising Families & Doing Business

From: Kris Aaker
Sent: Friday, December 19, 2014 2:54 PM
To: 'GARY GOSEWISCH'
Subject: RE: Variance application

Dear Gary,

- You will need to have the building coverage indicated on the survey by the surveyor, (building areas and % of lot area).
- Under submission requirements on page 3 of the application you will need to provide a rendering of your home and the homes on either side, since the "look" of your home will be changing.
- You will need to specify the variances that you are granting in number form. So if the required rear setback is 25 feet and your new back wall will be 20 feet from the rear lot line, then a 5 foot variance from the 25 foot requirement is being requested.

Thanks,
Kris



Kris Aaker, Assistant City Planner

952-826-0461 | Fax 952-826-0389

4801 W. 50th St. | Edina, MN 55424

KAaker@EdinaMN.gov | www.EdinaMN.gov/Planning

...For Living, Learning, Raising Families & Doing Business

From: GARY GOSEWISCH [<mailto:gosewisch@comcast.net>]
Sent: Thursday, December 18, 2014 10:33 AM
To: Kris Aaker
Subject: Variance application



VARIANCE APPLICATION

CASE NUMBER B-15-4 DATE 1/2/15
FEE PAID 350.00

City of Edina Planning Department * www.cityofedina.com
4801 West Fiftieth Street * Edina, MN 55424 * (952) 826-0369 *
fax (952) 826-0389

FEE: RES - \$350.00 NON-RES - \$600.00

APPLICANT:

NAME: GARY GOSEWISCH (Signature required on back page)

ADDRESS: 4141 W. 44th ST., EDINA, MN PHONE: _____

EMAIL: GOSEWISCH@COMCAST.NET

PLANNING DEPARTMENT
JAN 02 2015
CITY OF EDINA

PROPERTY OWNER:

NAME: GARY GOSEWISCH (Signature required on back page)

ADDRESS: 4141 W. 44th ST. PHONE: 612.719.0309

LEGAL DESCRIPTION OF PROPERTY (written and electronic form):

**You must provide a full legal description. If more space is needed, please use a separate sheet.

Note: The County may not accept the resolution approving your project if the legal description does not match their records. This may delay your project.

PROPERTY ADDRESS: LOT 003 BLOCK 002 ARDEN PARK

PRESENT ZONING: RESIDENTIAL P.I.D.# 07-028-24-43-0003

EXPLANATION OF REQUEST:

I NEED A VARIANCE TO ADD ON THE REAR OF THE HOUSE
AND TO ADD A FRONT PORCH

(Use reverse side or additional pages if necessary)

ARCHITECT: NAME: JEFF TRITCH PHONE: 952.270.8028

EMAIL: JTRITCH@MCHSI.COM

SURVEYOR: NAME: BRENT PETERS PHONE: 612.466.9102

EMAIL: EGAN.FIELD+NOWAK@INC

CONTACT: KEN FAUCHER
KFAUCHER@EFNSURVEY.COM
612.466.9102

Minnesota Statutes and Edina Ordinances require that the following conditions must be satisfied affirmatively. Please fully explain your answers using additional sheets of paper as necessary.

The Proposed Variance will:

SEE ATTACHED

YES

NO

Relieve practical difficulties in complying with the zoning ordinance and that the use is reasonable

Correct extraordinary circumstances applicable to this property but not applicable to other property in the vicinity or zoning district

Be in harmony with the general purposes and intent of the zoning ordinance

Not alter the essential Character of a neighborhood

PLANNING DEPARTMENT
JAN 02 2015
CITY OF EDINA

Relieve practical difficulties in complying with the zoning ordinance and that the use is reasonable:

The lot is 120 ft wide by 66 ft deep. The bumped out portion of the back wall of the house currently is 17 ft from the property line. I would like to build out a portion of the back wall to fill in on both sides of the bump out, but not going any closer to the rear lot line. In addition I would like to add a porch to the front of the house which is approximately 1 ft closer to the front property line.

Relieve practical difficulties in complying with the zoning ordinance and that the use is reasonable:

The ordinance requires 25 ft setbacks from the front and rear property lines. For my house to comply with this ordinance it would be 16 ft deep. I am not encroaching on the rear property line any further than what is currently present. The front property line would be encroached by 1 foot where a post would go.

Be in harmony with the general purposes and intent of the zoning ordinance:

I believe the intent is to keep as much green space as possible and not infringe upon neighboring property. Unfortunately this is a very small and uniquely shaped lot. I will not however be infringing on the neighboring property to the rear more than what is already in place.

Not alter the essential character of the neighborhood:

The addition will add only 389 total sq ft to the entire dwelling. I believe the "facelift " will fit into the neighborhood well by taking a nearly 60 year old home and making it look consistent with those around it as many of the neighboring homes have been updated.

PLANNING DEPARTMENT
JAN 02 2015
CITY OF EDINA

Request for Variance

The current residential setback requirements state:

| | |
|--------------------|--|
| | |
| | |
| ALTERNATE SETBACKS | <p>An addition to a single dwelling unit building with a nonconforming setback, or an addition to a structure accessory to a single dwelling unit building with a nonconforming setback, may be constructed within the existing nonconforming setback, which is the shortest distance from the applicable lot line to the existing structure, subject to the following limitations.</p> <ol style="list-style-type: none"> 1. The addition shall no exceed the existing square footage encroachment into the nonconforming setback of two hundred (200) square feet, whichever is less; and 2. The addition may only be constructed on the same floor as the existing encroachment into the nonconforming setback. |

I am requesting a variance of 67 sq ft for an addition to the rear of my house. It would add an additional 89 sq ft on to the nonconforming rear bump out that currently occupies 22 sq ft. This additional space would not encroach on the rear setback anymore than the part of the house that currently sticks out on the backside. I would like to "fill in" the areas on both sides of the current bumped out area. It would add badly needed living space in the kitchen, bathroom and bedroom. In addition, the front porch will be 1 ft closer to the street but will not exceed the 80 sq ft current code.

PLANNING DEPARTMENT
JAN 02 2015
 CITY OF EDINA

Impervious coverage:

| | <u>Square feet</u> |
|--|--------------------|
| House/garage | 1861 |
| Driveway/sidewalk | 473 |
| Concrete rear yard | 688 |
| (Pool/decking) removed 11/5/13 Permit #ED126503 | 1250 |
| Existing impervious | Subtotal 4272 |
| Proposed addition | <u>389</u> |
| | Total 4661 |

Impervious coverage removed

| | |
|-----------------------------|-------------------|
| Pool/Decking (11/5/13) | 1250 |
| Proposed Concrete rear yard | 688 |
| | <u>Total 1938</u> |

Net reduction in impervious coverage 1549

Building Materials

Exterior siding will be LP Smartside with Smartside/Cedar trim. Limited cultured stone accents may be used per architect recommendations.

PLANNING DEPARTMENT
JAN 02 2015
CITY OF EDINA

APPLICANT'S STATEMENT

This application should be processed in my name, and I am the party whom the City should contact about this application. By signing this application, I certify that all fees, charges, utility bills, taxes, special assessments and other debts or obligations due to the City by me or for this property have been paid. I further certify that I am in compliance with all ordinance requirements and conditions regarding other City approvals that have been granted to me for any matter.

I have completed all of the applicable filing requirements and, to the best of my knowledge, the documents and information I have submitted are true and correct.

Cam Gaswisch 12.17.2014
Applicant's Signature Date

OWNER'S STATEMENT

I am the fee title owner of the above described property, and I agree to this application.

(If a corporation or partnership is the fee title holder, attach a resolution authorizing this application on behalf of the board of directors or partnership.)

Cam Gaswisch 12.17.2014
Owner's Signature Date

Note. Both signatures are required (if the owner is different than the applicant) before we can process the application, otherwise it is considered incomplete.

PLANNING DEPARTMENT
JAN 02 2015
CITY OF EDINA

I have reviewed the plans for the proposed remodel to 4141 W 44th St and have no objection to the variance.

George P. Buckholz

4121 W. 44th St. Edina Mn 55424

Julie Fleming

4406 Grimes Ave. Edina

[Signature]

4108 W 45th St. Edina

Alan W. [Signature]
Scott Myrnes

4112 W 45th St. Edina

4140 W. 44th St. Edina

PLANNING DEPARTMENT
JAN 02 2015
CITY OF EDINA

Hennepin Interactive Maps **Property Map**

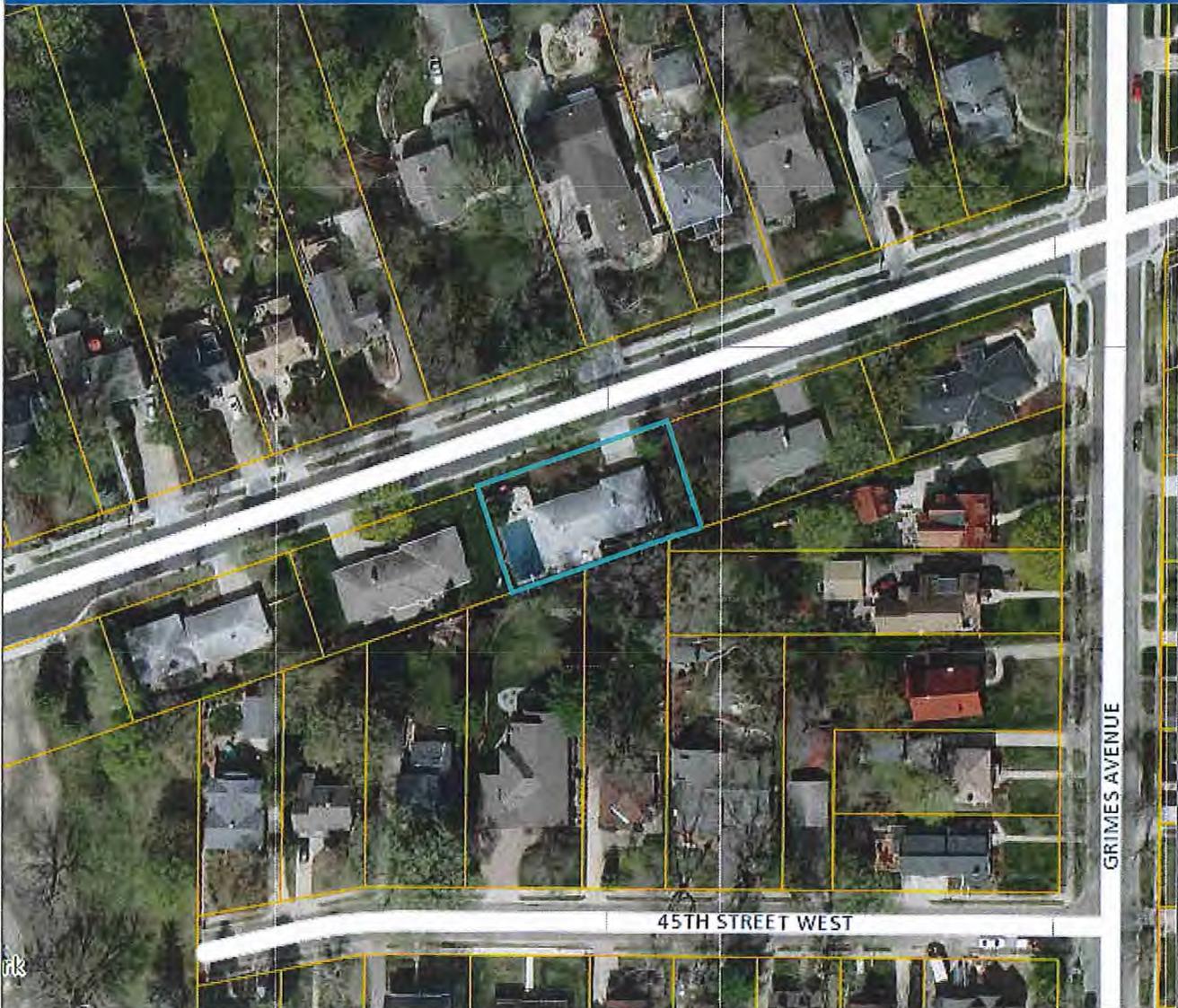


| | | |
|---|---|---|
| <p>Parcel ID: 07-028-24-43-0003</p> <p>Owner Name: Gary Lee Gosewisch</p> <p>Parcel Address: 4141 44Th St W Edina, MN 55424</p> <p>Property Type: Residential</p> <p>Home-stead: Homestead</p> <p>Parcel Area: 0.18 acres 7,936 sq ft</p> | <p>A-T-B: Torrens</p> <p>Market Total:</p> <p>Tax Total:</p> <p>Sale Price:</p> <p>Sale Date:</p> <p>Sale Code:</p> | <p>Map Scale: 1" ≈ 50 ft.</p> <p>Print Date: 2/19/2015</p> <p></p> <p>This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.</p> <p>COPYRIGHT © HENNEPIN COUNTY 2015</p> <p></p> |
|---|---|---|



Interactive
Maps

Property
Map



| | | |
|--|------------------------------|--|
| <p>Parcel ID: 07-028-24-43-0003</p> | <p>A-T-B: Torrens</p> | <p>Map Scale: 1" ≈ 100 ft. Print Date: 2/19/2015</p>  |
| <p>Owner Name: Gary Lee Gosewisch</p> | <p>Market Total:</p> | |
| <p>Parcel Address: 4141 44Th St W Edina, MN 55424</p> | <p>Tax Total:</p> | |
| <p>Property Type: Residential</p> | <p>Sale Price:</p> | |
| <p>Home-stead: Homestead</p> | <p>Sale Date:</p> | <p>This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.</p> |
| <p>Parcel Area: 0.18 acres 7,936 sq ft</p> | <p>Sale Code:</p> | <p>COPYRIGHT © HENNEPIN COUNTY 2015 </p> |

TOPOGRAPHIC BOUNDARY SURVEY FOR: Gary Gosewisch

LEGAL DESCRIPTION:

Lot 3, Block 2, Arden Park, Hennepin County, Minnesota.

NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-96 Adj.).
- The total area of the property described hereon is 7,891 square feet or 0.1812 acres.
- Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify the legal description, or the existence of any easements or encumbrances.
- Existing utilities, services and underground structures shown hereon were located based upon observed evidence. Verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- BENCHMARK: Top nut of hydrant at northwest corner of 4141 44th Street West (Per City of Edina website)
Elevation = 908.71 feet. (NGVD 29)

AREAS:
Existing house footprint area = 1866 square feet;
Proposed House addition areas = 388 square feet;
Total proposed house footprint = 2254 square feet;

The area of the property = 7,891 square feet;
The proposed house footprint = 28.56 per cent of property area

CERTIFICATION:

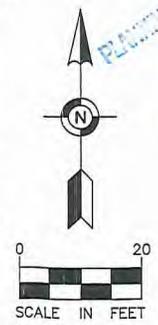
I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: July 12, 2014.
Revised this 13th day of December, 2014 to add proposed addition.
Revised this 22nd day of December, 2014 to add house areas.

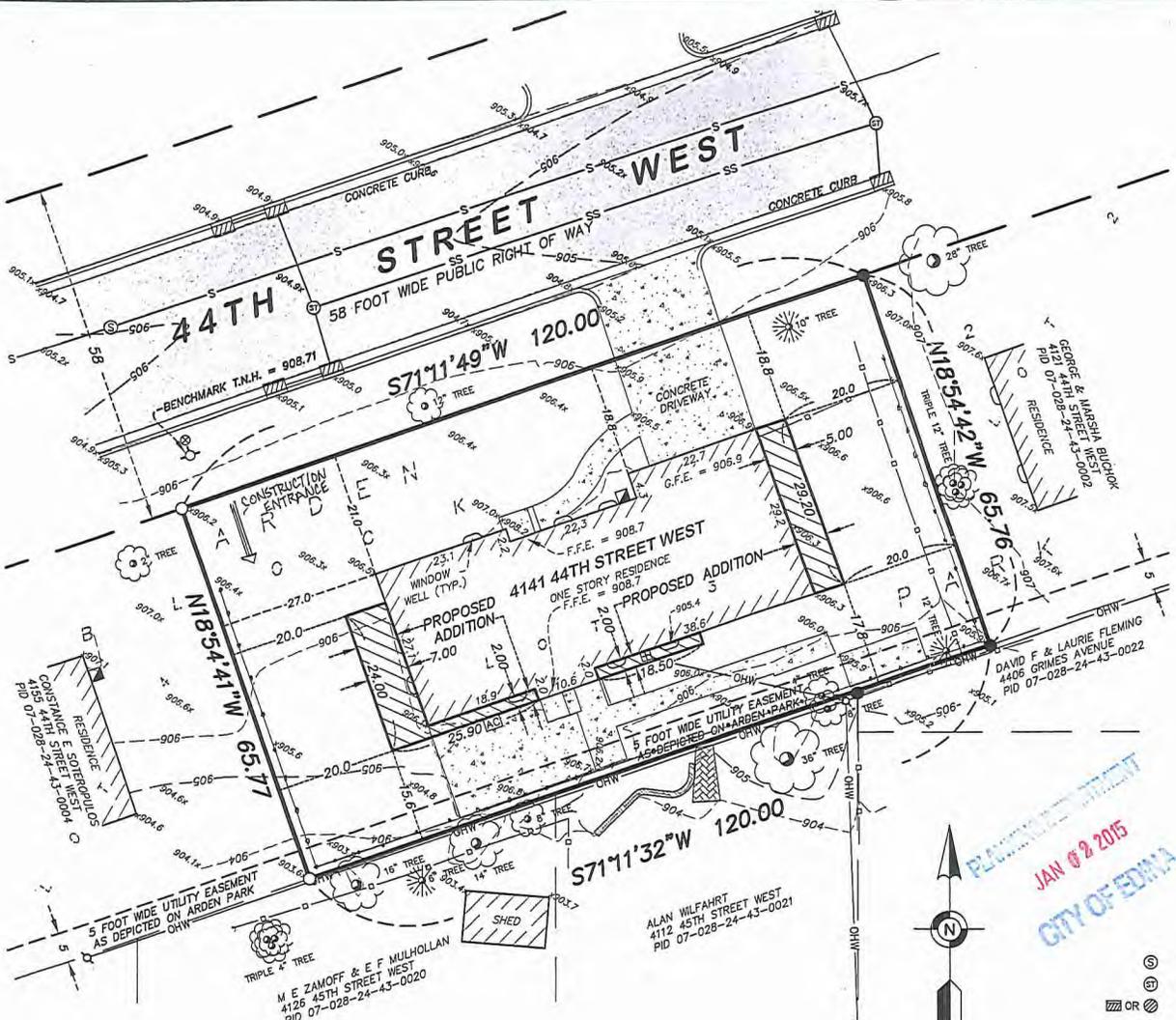
Brent R Peters
Brent R Peters
Minnesota License No. 44123

LEGEND

- SANITARY MANHOLE
- ⊕ STORM MANHOLE
- ⊗ CATCH BASIN
- ⊕ GATE VALVE
- ⊕ HYDRANT
- ⊕ AIR CONDITIONER
- ⊕ ELECTRIC METER
- ⊕ UTILITY POLE
- ⊕ GAS METER
- SILT FENCE
- WOOD FENCE
- S SANITARY SEWER
- SS STORM SEWER
- OHW OVERHEAD WIRE
- SPOT ELEVATION
- EXISTING CONTOUR LINE
- OR ⊕ TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE



● FOUND IRON MONUMENT
○ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 44123



1229 Tyler Street NE, Suite 100
Minneapolis, Minnesota 55413
PHONE: (612) 466-3300
FAX: (612) 466-3383
WWW.EFNSURVEY.COM
COPYRIGHT © 2014 BY EGAN, FIELD & NOWAK, INC.
Land surveyors since 1872



Gary Gosewisch
4141 44th Street West
Edina, Minnesota 55424

| SURVEY FOR: | |
|------------------|--------------|
| FIELD BOOK | 2848 |
| PAGE | 41 |
| FIELDWORK CHIEF: | LS |
| DRAWN BY: | EMD |
| CHECKED | BRP |
| FILE NO. | 5228 |
| DRAWING NAME: | 35950_R1.dwg |
| JOB NO. | 35950 |

TOPOGRAPHIC BOUNDARY SURVEY FOR: Gary Gosewisch

LEGAL DESCRIPTION:

Lot 3, Block 2, Arden Park, Hennepin County, Minnesota.

NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-96 Adj.).
- The total area of the property described hereon is 7,891 square feet or 0.1812 acres.
- Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify the legal description, or the existence of any easements or encumbrances.
- Existing utilities, services and underground structures shown hereon were located based upon observed evidence. Verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- BENCHMARK: Top nut of hydrant at northwest corner of 4141 44th Street West (Per City of Edina website)
Elevation = 908.71 feet. (NGVD 29)

AREAS:

Existing house footprint area = 1866 square feet;
Proposed House addition areas = 388 square feet;
Total proposed house footprint = 2254 square feet;

The area of the property = 7,891 square feet;
The proposed house footprint = 28.56 per cent of property area

CERTIFICATION:

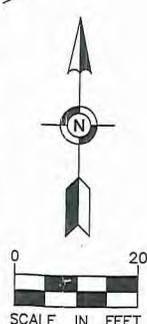
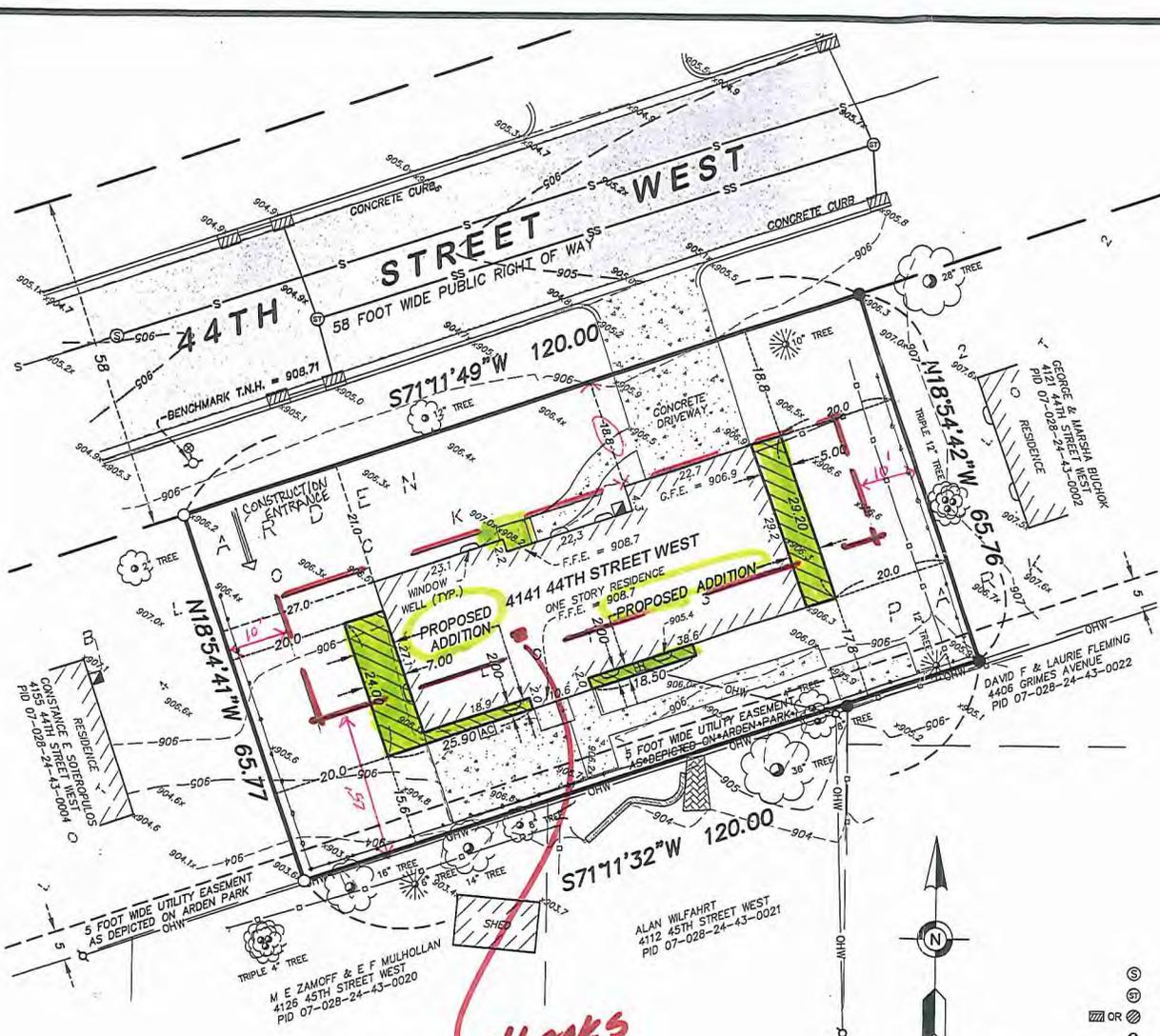
I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: July 12, 2014.
Revised this 13th day of December, 2014 to add proposed addition.
Revised this 22nd day of December, 2014 to add house areas.

Brent R Peters
Brent R Peters
Minnesota License No. 44123

LEGEND

| | | | |
|---|------------------|-------|-----------------------|
| ⊙ | SANITARY MANHOLE | —○— | SILT FENCE |
| ⊙ | STORM MANHOLE | —□— | WOOD FENCE |
| ⊙ | CATCH BASIN | —S— | SANITARY SEWER |
| ⊙ | GATE VALVE | —SS— | STORM SEWER |
| ⊙ | HYDRANT | —OHW— | OVERHEAD WIRE |
| ⊙ | AIR CONDITIONER | —○— | SPOT ELEVATION |
| ⊙ | ELECTRIC METER | —○— | EXISTING CONTOUR LINE |
| ⊙ | UTILITY POLE | ○ | TREE |
| ⊙ | GAS METER | ○ | BITUMINOUS SURFACE |
| | | ○ | CONCRETE SURFACE |



● FOUND IRON MONUMENT
○ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 44123

1229 Tyler Street NE, Suite 100
Minneapolis, Minnesota 55413
PHONE: (612) 466-3300
FAX: (612) 466-3383
WWW.EFNSURVEY.COM



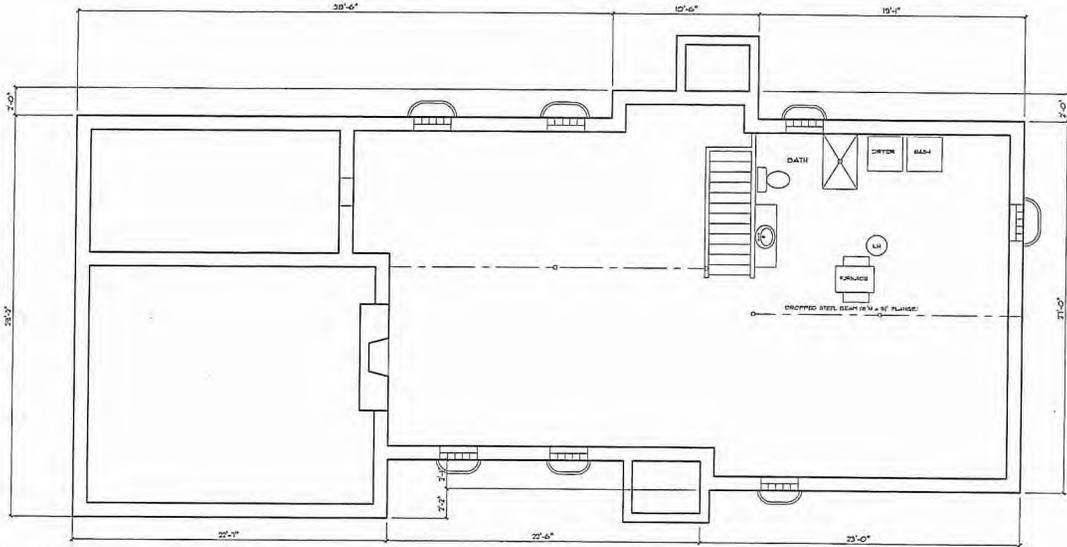
Egan, Field & Nowak, Inc.
land surveyors since 1872

SURVEY FOR:

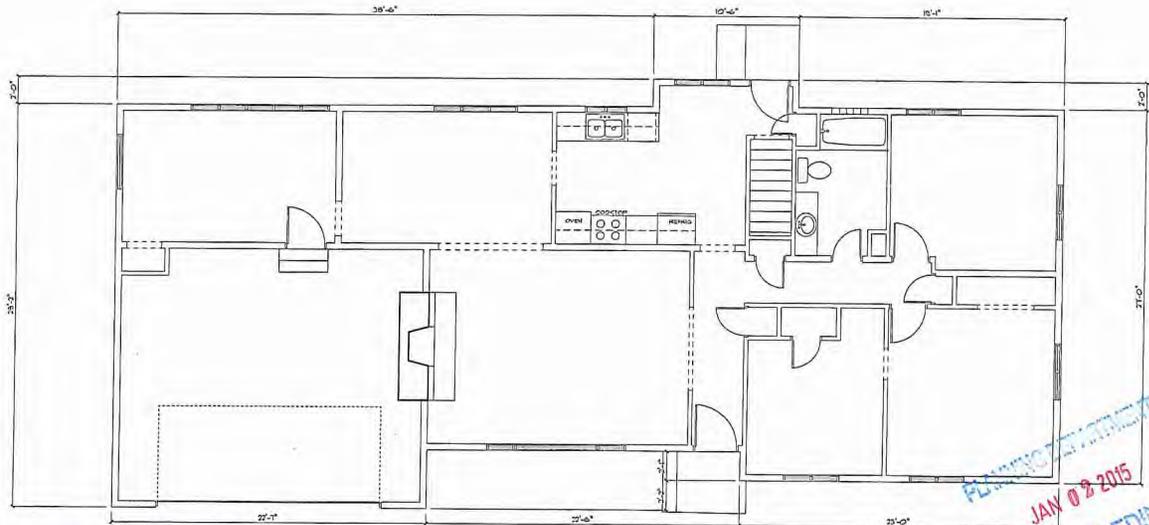
| | | |
|---------------|-------------|-----------|
| FIELD BOOK | PAGE | FIELDWORK |
| 2648 | 41 | CS |
| FILE: | CS | |
| DRAWN BY: | PMD | |
| DRAWING NAME: | 5950 RL.dwg | |
| CHECKED BY: | | |
| JOB NO. | 35950 | |
| FILE NO. | 5228 | |

Gary Gosewisch
4141 44th Street West
Edina, Minnesota 55424

JAN 08 2015
CITY OF EDINA
920.1
920



EXISTING BASEMENT PLAN
1/4" = 1'-0"



EXISTING MAIN LEVEL PLAN
1/4" = 1'-0"

existing

PLANNING DEPARTMENT
JAN 02 2015
CITY OF EDINA

| |
|----------|
| REVISION |
| |
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| |
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| |

GOSEWISCH RESIDENCE
4141 44TH STREET WEST
EDINA, MN 55424

TRIVETT DESIGN
ARCHITECTS
1100 W. WASHINGTON AVE. SUITE 100
EDINA, MN 55424
TEL: 612.461.1100 FAX: 612.461.1101

| |
|-------------|
| DATE: 01/04 |
| SHEET |
| A3 |
| 3 |



STREET ELEVATION OF (412,414,4155) W. 44TH STREET

1" = 20'

PLANNING DEPARTMENT
JAN 02 2015
CITY OF EDINA