



PLANNING COMMISSION STAFF REPORT

Originator Kris Aaker Assistant Planner	Meeting Date February 25, 2015	Agenda # B-15-04
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Recommended Action: Approve the 1.2 foot front yard setback and a 9.4 foot rear yard setback variance as requested for property located at 4141 West 44th Street, for owner Gary Gosewisch.

Project Description

A 1.2 foot front yard and a 9.4 foot rear yard setback variance to add a small front entry porch and additions to a home that is located on the south side of West 44th Street. The owner is requesting variances to allow a small open front entry porch addition slightly beyond the front wall of the house and home additions to be at the same nonconforming rear yard setback as existing. The project is a remodel with addition to an existing nonconforming single family home. Improvements to the main portion of the home will match the existing rear yard setback. The front yard setback will have a small front entry porch encroachment that is an exception to the front yard setback as long as it is no closer than 20 feet to the front lot line. The existing home is slightly less than 19 feet from the front lot line.

INFORMATION/BACKGROUND

The subject property is located on the south side of West 44th Street consisting of a one story home with an attached two car garage built in 1956. The lot is 7,891 square feet in area. The owner is proposing additions and improvements to be setback from the front lot line slightly closer than allowed for a front porch encroachment and additions that will match the existing nonconforming rear yard setback.

The property is part of an old street car right of way and was subdivided for residential development after the street car line was no longer in use. The configuration of lots along the south side of West 44th Street that were part of the street car subdivision are very substandard in depth at a little over 65 feet. The minimum lot depth required for a residential lot in Edina is 120 feet. The allowed footprint for a conforming home on the subject lot given required setbacks is

approximately 21 feet deep, with the existing home still quite shallow at a little over 29 feet deep into the lot, (existing nonconforming).

Surrounding Land Uses

- Northerly: Single dwelling units, zoned R-1, single dwelling unit district and guided residential.
- Easterly/Westerly: Single dwelling units, zoned R-1, single dwelling unit district and guided residential.
- Southerly: Single dwelling units, zoned R-1, single dwelling unit district and guided residential.

Existing Site Features

The subject property is a 7,891 square foot lot with a one story home that has a two car garage built in 1956. There have been few improvements to the home since construction. An in ground swimming pool and pool decking on the west side of the property has been removed by the current owner and replaced with lawn area.

Planning

Guide Plan designation: Single Dwelling Unit
Zoning: R-1, Single Dwelling Unit District

Grading and Drainage

The Environmental Engineer has reviewed the application and submitted comments in the attached memo. The memo indicates that Engineering has no concerns with the plans submitted. The applicant has removed an in ground swimming pool and pool decking significantly reducing the amount of impervious surfaces on site. The Engineer is requesting that the owner allow for an inspection of their existing sump pump discharge line to verify that it is not discharging into the sanitary sewer.

Compliance Table

	City Standard	Proposed
Front -	20 feet	*18.8 feet
Side-	10+ height, (living)	20/20 feet
Rear -	25 feet	*15.6 feet
Building Height	2 1/2 stories 38.75 feet to the ridge,	1 story, 24.5 feet to the ridge
Lot coverage	2,250 square feet	**2,250 square feet

*** Variance Required**

**The current survey illustrates the project is over the allowed lot coverage limit of 2,250 square feet. The applicant submitted an e-mail and diagram revising his plan to meet the coverage requirements, (see attached e-mail). Staff indicated that a coverage variance would not be supported and would not likely be approved. There is no coverage variance requested so all plans must comply with the coverage requirement. Any variance approval would be conditioned on revised plans and survey verifying coverage compliance. The owner did not want to go to the expense of having the plans and survey re-done if additional changes would be required based on variance review by the Planning Commission.

Primary Issue:

- **Is the proposed development reasonable for this site?**

Yes. Staff believes the proposal is reasonable for four reasons:

1. The proposed use is permitted in the R-1, Single Dwelling Unit Zoning District and complies with all requirements with the exception of setback from front and rear.
2. The home is appropriate in size and scale for the lot. The improvements will enhance the property and not detract from the neighborhood. The lot is extremely shallow and had been part of a street car right of way. Shallow lot depth makes it extremely difficult to comply with setback requirements.
3. The improvements will provide a reasonable use of a rather shallow lot that is heavily impacted given the current front and rear yard setback requirements.
4. The additions simply match the existing nonconforming rear yard setback that has been in place since 1956. The required front yard setback

reduces the buildable area of the lot severely impacting the ability to add a small entry porch.

- **Is the proposed variance justified?**

Yes. Per the Zoning Ordinance, a variance should not be granted unless it is found that the enforcement of the ordinance would cause practical difficulties in complying with the zoning ordinance and that the use is reasonable. As demonstrated below, staff believes the proposal does meet the variance standards, when applying the three conditions:

Section 850.0.Subd., requires the following findings for approval of a variance:

Minnesota Statutes and Edina Ordinances require that the following conditions must be satisfied affirmatively. The Proposed Variance will:

- 1) Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.***

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with the code and that the proposed use is reasonable. "Practical difficulties" may include functional and aesthetic concerns.

Staff believes the proposed variance is reasonable. The additions will match the existing nonconforming setbacks of the existing home on the property which have been located on the property since 1956. The practical difficulties in complying with the ordinances are created by the shallow lot depth and required setbacks.

Staff believes the proposed variances are reasonable given that the required front and rear yard setback renders much of the lot unbuildable. The practical difficulty is therefore, caused by the lot depth and required setbacks.

There is generous spacing between the subject home and the adjacent homes to the east and west. The purpose behind the ordinance is to maintain an established front yard sight line and street scape. The ordinance is meant to prevent a continual erosion of the established front yard setback pattern in an existing neighborhood by holding all new construction to the existing neighborhood standard and to avoid new structure build-out well beyond existing conditions. The new front porch

and rear yard setbacks of the existing home will not compromise the intent of the ordinance to maintain adequate spacing of the structure from lot lines. The new additions to the existing home will maintain the existing pattern of setback.

2) *There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?*

Yes. The unique circumstances are that the existing lot is subjected to front yard and rear setbacks that cut deep into the lot and within the location of the existing home. The required setbacks reduce the buildable area dramatically creating a nonconforming situation.

3) *Will the variance alter the essential character of the neighborhood?*

No. The proposed additions will be consistent with the location of the existing home and will not change the street scape. The character of the neighborhood consists of a variety of housing styles. The applicant is asking to preserve a setback pattern along the block and in the rear yard that has included the nonconforming setback of the subject property.

Staff Recommendation

Approve the requested variance based on the following findings:

1. The proposal meets the required standards for a variance, because:
 - a) The practical difficult is caused by shallow lot depth.
 - b) The encroachment into the setbacks continues an existing nonconforming setback that was established when the original home was built in 1956.
 - c) The request is reasonable given the location of the existing home.

Approval of the variance is subject to the following condition:

1. The home must be constructed as per proposed with a revised survey to be submitted at permit application to confirm compliance with lot coverage requirements.
2. Compliance with the conditions and comments listed in the Environmental Engineer's memo dated February 18, 2015 including city inspection of the sump pump discharge line.

Deadline for a City decision: April 9, 2015.



DATE: February 18, 2015
TO: Cary Teague – Planning Director
CC: David Fisher – Building Official
Ross Bintner P.E. - Environmental Engineer
FROM: Charles Gerck EIT – Engineering Technician
RE: **4214 Scott Terrace - Special Review CUP**

The Engineering Department has reviewed the subject property for street and utility concerns, grading, storm water, erosion and sediment control and for general adherence to the relevant ordinance sections. This review was performed at the request of the Planning Department; a more detailed review will be performed at the time of building permit application.

Summary of Review

Engineering has no problems with the plans as submitted and is in support of raising the low floor elevation to remove the risk of flooding. The proposed plan is for the demolition of an existing single family home and the construction of a new single family home on the existing foundation. The applicant is proposing to raise the first floor elevation of the home by 1.33-feet, .33-feet over the allowed 1-foot by city ordinance. This request is being made due to the need to increase the low-floor elevation to at least 871.2' to be 2-feet above the FEMA flood elevation of 869.2'. The current low floor elevation is 870.65' and will be raised to 871.23'. There is very little grading proposed and the net increase of 12.5 SF of impervious space is negligible, neighboring private property will not be affected. There is currently a public drainage easement running through the property, a private drainage line from the property to the north connects to the public manhole just northwest of the home. There are currently issues with this line back flowing in high water events. Public works and engineering are working on resolving the issue. This issue is not connected with the redevelopment of this property.

Grading and Drainage

The proposed plans show a very minimal amount of grading on the lot and will closely mimic existing conditions. The two areas that are being graded will not change existing drainage patterns or alter the flood plain. The applicant is only proposing an increase in impervious space of 12.5 SF, which is negligible. Neighboring private property will not be affected.

Erosion and Sediment Control

Meet Minnehaha Creek Watershed District requirements.

Street and Curb Cut

No Comments

Water and Sanitary Utilities

There is currently a public drainage easement running through the property, a private drainage line from the property to the north connects to the public manhole just northwest of the home. There are currently issues with this line back flowing in high water events. Public works and engineering are currently working on resolving the issue. This issue is not connected with the redevelopment of this property.

ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392

Charlie Gerk

From: Charlie Gerk
Sent: Friday, January 30, 2015 11:03 AM
To: 'info.iconhomes@gmail.com'
Cc: Laura Adler; 'bwisner@minnehahacreek.org'; Ross Bintner; Kris Aaker
Subject: 4214 Scott Terrace - Engineering Review
Attachments: Section3111.pdf; topographic work map.pdf

lon,

The lot for 4214 Scott Terrace is located in a FEMA flood plain with a recently revised 100-year flood elevation of 869.2'. Per section 3.1.1.1 of the City of Edina Comprehensive Water Resources Management Plan:

All lowest floor elevations and other permanent fixtures including heating and air conditioning ventilation systems should meet the following:

- a. Be a minimum of two feet above the 100-year flood elevation for basins with pipe outlets or waterways.*

In accordance with this policy, your low floor elevation will need to be no lower than 871.2' before we can approve the building permit. Also in accordance with the FEMA flood plain, no fill can be placed at any elevation lower than 869.2'.

Please revise your plans and resubmit hard copies to the building department for review. If you have any questions or concerns, please feel free to contact me at the number below.



Charlie Gerk, EIT, Engineering Technician - Water Resources

952-826-0321 | Fax 952-826-0392

cgerk@edinamn.gov | www.EdinaMN.gov

...For Living, Learning, Raising Families & Doing Business

3.1.1.1 Minimum Building Elevations

To prevent flooding of buildings, it is recommended that the City adopt the following design standards:

1. All lowest floor elevations and other permanent fixtures including heating and air conditioning ventilation systems should meet the following:
 - a. Be a minimum of two feet above the 100-year flood elevation for basins with pipe outlets or waterways.
 - b. Until an outlet is installed for landlocked basins with no low level piped outlet, the minimum building elevation should be the greater of either two feet above the level resulting from two concurrent 100-year, single event rainfall event or two feet above the 100-year 10-day snowmelt, whichever is higher. In either case, the starting elevation of the basin/waterbody prior to the runoff event should be established by one of the following:
 - i. Existing Ordinary High Water level established by the Minnesota Department of Natural Resources;
 - ii. Annual water balance calculation approved by the City;
 - iii. Local observation well records, as approved by the City; or
 - iv. Mottled soil.

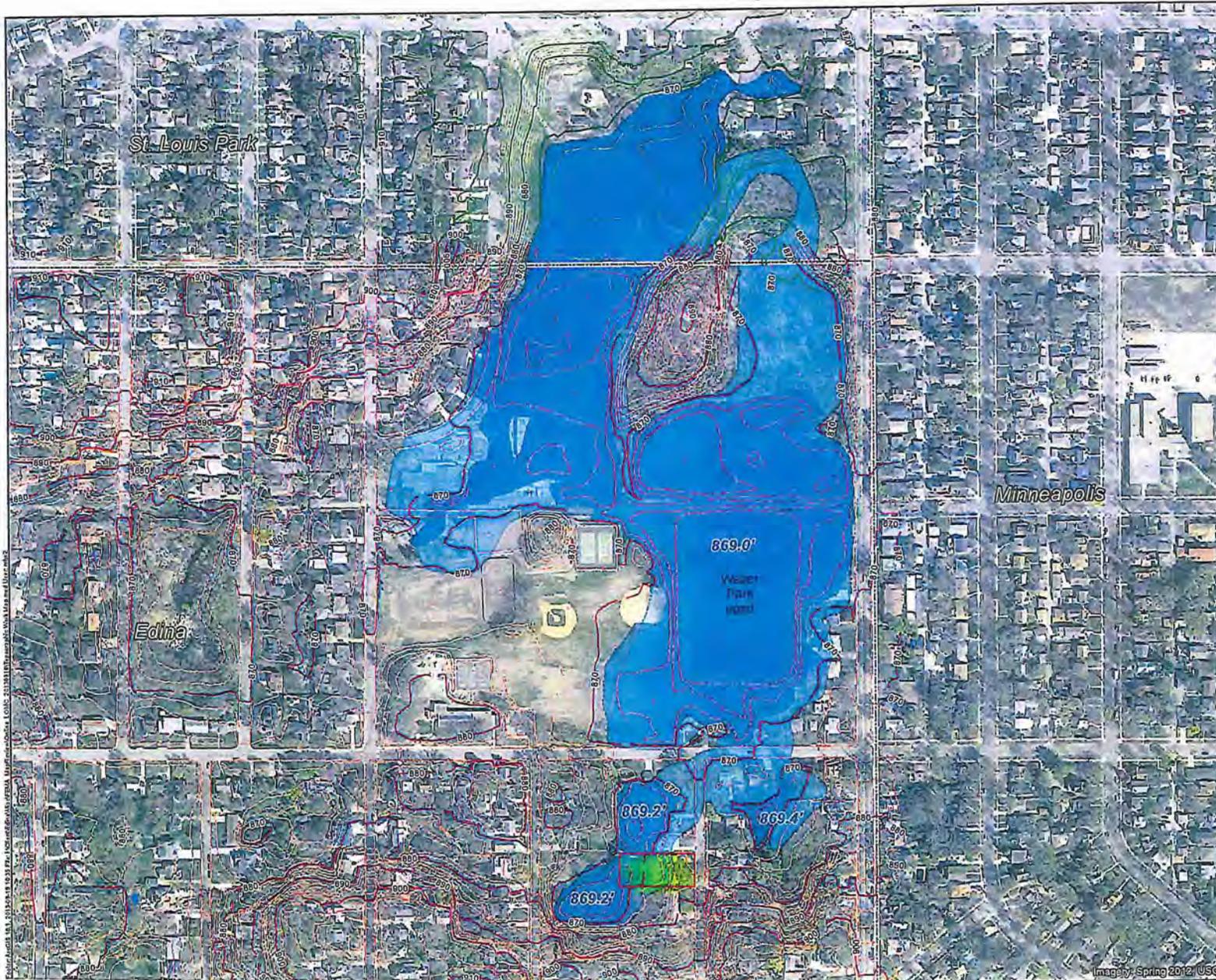
Note: The 100-year landlocked basin flood elevation may be lowered by excavating an overflow swale or constructing an outlet pipe at an overflow point.

2. The lowest entry elevations (i.e., windows, window wells, walkout elevations) for buildings adjacent to overflow swales and/or conveyance channels should be at least two feet above the 100-year flow elevation of the swale or channel at the point where the swale or channel is closest to the building.

3.1.1.2 Stormwater Management Design Standards

The City adopts the following design standards for all new stormwater management systems (i.e., basins, storm sewers, etc.):

1. All ponding basins and basin outlet pipes should be designed to collectively detain and convey the flows from the critical 100-year frequency storm (100-year level of protection). The critical storm represents a storm of a given runoff duration that produces the greatest discharge or detention storage volume, as appropriate. Detention basins should be designed to contain the flows from the 100-year frequency storm without overtopping.
2. All lateral storm sewer systems, including catch basin grates, should be designed to convey flows from the 10-year frequency, ½-hour storm (10-year level of service).



-  FEMA Preliminary Floodplain (Zone A, August 2012)
-  Revised 100-Year Floodplain (Zone A)
-  City Boundary
- Edina Topography
 -  2 Foot Contour
 -  10 Foot Contour
- St. Louis Park Topography
 -  2 Foot Contour
 -  10 Foot Contour

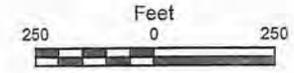
Vertical Datum: NGVD29

I hereby certify that this Working Map has been prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the Laws of the State of Minnesota.

Signature Janna Kieffer

Printed Name Janna Kieffer

Date 10/7/13 Reg No. 43571



TOPOGRAPHIC WORK MAP
Morningside Area
Edina, Minnesota



VARIANCE APPLICATION

CASE NUMBER B-15-5 DATE _____

FEE PAID 450.00

City of Edina Planning Department * www.cityofedina.com
4801 West Fiftieth Street * Edina, MN 55424 * (952) 826-0369 *
fax (952) 826-0389

FEE: RES - \$450.00 NON-RES - \$700.00

APPLICANT:

NAME: Jon Belenue (Signature required on back page)

ADDRESS: 3710 Evergreen Ln, N PHONE: 763 639 9632

EMAIL: Plymouth MN 55441 info.1con.homes@gmail.com

PROPERTY OWNER:

NAME: 4214 Scott Terrace LLC (Signature required on back page)

ADDRESS: 3208 W Lake St #72 PHONE: 612 964 7450

LEGAL DESCRIPTION OF PROPERTY (written and electronic form):

**You must provide a full legal description. If more space is needed, please use a separate sheet.

Note: The County may not accept the resolution approving your project if the legal description does not match their records. This may delay your project.

PROPERTY ADDRESS: 4214 Scott Terrace

PRESENT ZONING: Residential P.I.D.# 07-028-24-41-0045

EXPLANATION OF REQUEST:

(Use reverse side or additional pages if necessary)

ARCHITECT: NAME: Robert Hart PHONE: 952 828 9906

EMAIL: hartsdesign@comcast.net

SURVEYOR: NAME: Gregory Prash PHONE: 763 560 3093

EMAIL: gprash@lotsurveyscompany.com

PLANNING DEPARTMENT
FEB 10 2015
CITY OF EDINA

PLANNING DEPARTMENT
FEB 10 2015
CITY OF EDINA

Minnesota Statutes and Edina Ordinances require that the following conditions must be satisfied affirmatively. Please fully explain your answers using additional sheets of paper as necessary.

The Proposed Variance will:

 YES NO

Relieve practical difficulties in complying with the zoning ordinance and that the use is reasonable

Correct extraordinary circumstances applicable to this property but not applicable to other property in the vicinity or zoning district

Be in harmony with the general purposes and intent of the zoning ordinance

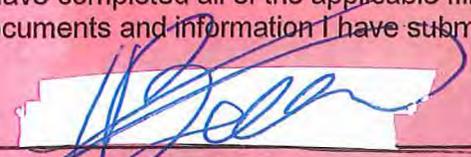
Not alter the essential Character of a neighborhood

PLANNING DEPARTMENT
FEB 10 2015
CITY OF EDINA

APPLICANT'S STATEMENT

This application should be processed in my name, and I am the party whom the City should contact about this application. By signing this application, I certify that all fees, charges, utility bills, taxes, special assessments and other debts or obligations due to the City by me or for this property have been paid. I further certify that I am in compliance with all ordinance requirements and conditions regarding other City approvals that have been granted to me for any matter.

I have completed all of the applicable filing requirements and, to the best of my knowledge, the documents and information I have submitted are true and correct.



Applicant's Signature

2-5-15

Date

OWNER'S STATEMENT

I am the fee title owner of the above described property, and I agree to this application.

(If a corporation or partnership is the fee title holder, attach a resolution authorizing this application on behalf of the board of directors or partnership.)



Owner's Signature

2-5-15

Date

Note. Both signatures are required (if the owner is different than the applicant) before we can process the application, otherwise it is considered incomplete.

PLANNING DEPARTMENT
FEB 10 2015
CITY OF EDINA

February 9, 2015

Board of Examiners
City of Edina Planning Department
4801 west Fiftieth Street
Edina MN 55424

RE: Request for Variance – Increase first floor elevation

Location: 4214 Scott terrace Edina MN 55416

Dear Sirs:

We are requesting a variance from the Board's rules for construction of a new single family home to increase first floor elevation by six inches over the maximum allowed elevation. Subject to section 36-434(9).

The lot for 4214 Scott Terrace is located in a FEMA flood plain with a recently revised 100-year flood elevation of 869.2'. Per section 3.1.1.1 of the City of Edina Comprehensive Water Resources Management Plan:

All lowest floor elevations and other permanent fixtures including heating and air conditioning ventilation systems should meet the following:

a. Be a minimum of two feet above the 100-year flood elevation for basins with pipe outlets or waterways.

In accordance with this policy, low floor elevation will need to be no lower than 871.2' before building permit can be approved. Also in accordance with the FEMA flood plain, no fill can be placed at any elevation lower than 869.2'.

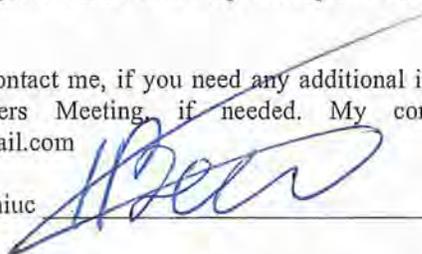
Details: Please see attached drawings and plans for details to this variance

Reason for Seeking the Variance: We are seeking a variance from Rule... (Subject to section 36-434 (9) to increase the first floor elevation from allowed 879.93 to 880.43, which will allow to build a walk out basement with a minimum of 8 feet 0 inches ceiling height, to make additional living space in a house.

The Plan: Max allowed elevation first floor 879.93. Install 3 inches of ¾ gravel per code on the existing basement floor for installation of radon system, install needed plastic to block radon gas, pour 3,5 inches of concrete total of 6.6 inches over the existing elevation. New proposed floor elevation-871.2. Floor system TJI joists 14 inches. Install 14 inches of additional block on the existing foundation to increase basement ceiling height to 8 feet. New Proposed top first floor elevation 880.43.

Please feel free to contact me, if you need any additional information. I will be available to attend the Board of Examiners Meeting, if needed. My contact information is: 763-639-9632 or info.iconhomes@gmail.com

Sincerely, Ion Beleniuc



PLANNING DEPARTMENT
FEB 10 2015
CITY OF EDINA

February.9.2015

Board of Examiners
City of Edina Planning Department
4801 west Fiftieth Street
Edina MN 55424

Dear Division:

This letter authorizes Ion Beleniuc, to act as agent for 4214 Scott terrace Edina MN, to request a variance from the Board of Examiners City of Edina Planning Department

Sincerely,

A handwritten signature in blue ink, appearing to read 'Dan McCabe', written over a horizontal line.

Dan McCabe /4214 Scott Terrace Llc

PLANNING DEPARTMENT
FEB 10 2015
CITY OF EDINA

Jackie Hoogenakker

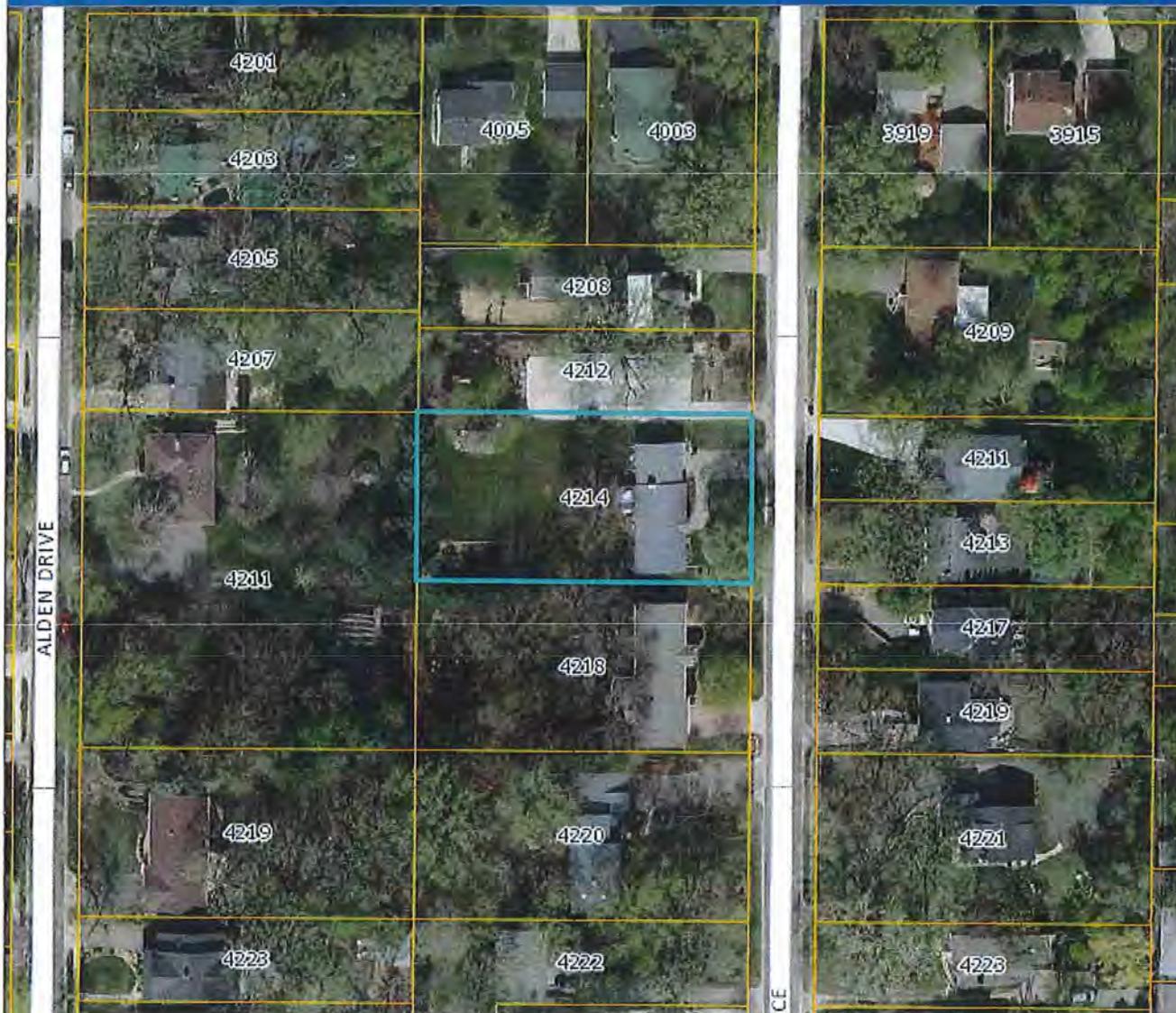
From: deborah lantz <deblantz@comcast.net>
Sent: Tuesday, February 17, 2015 9:32 AM
To: Jackie Hoogenakker
Subject: Case file B-15-05

i allow the purposed 4 inch variance on 4213 Scott terr.
Debbi Lantz
4213 Scott Terr



Interactive
Maps

Property
Map



Parcel ID: 07-028-24-41-0045

Owner Name: 4214 Scott Terrace Llc

Parcel Address: 4214 Scott Ter
Edina, MN 55416

Property Type: Residential

Home-stead: Homestead

Parcel Area: 0.46 acres
19,972 sq ft

A-T-B:

Market Total:

Tax Total:

Sale Price:

Sale Date:

Sale Code:

Map Scale: 1" ≈ 100 ft.

Print Date: 2/19/2015



This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.

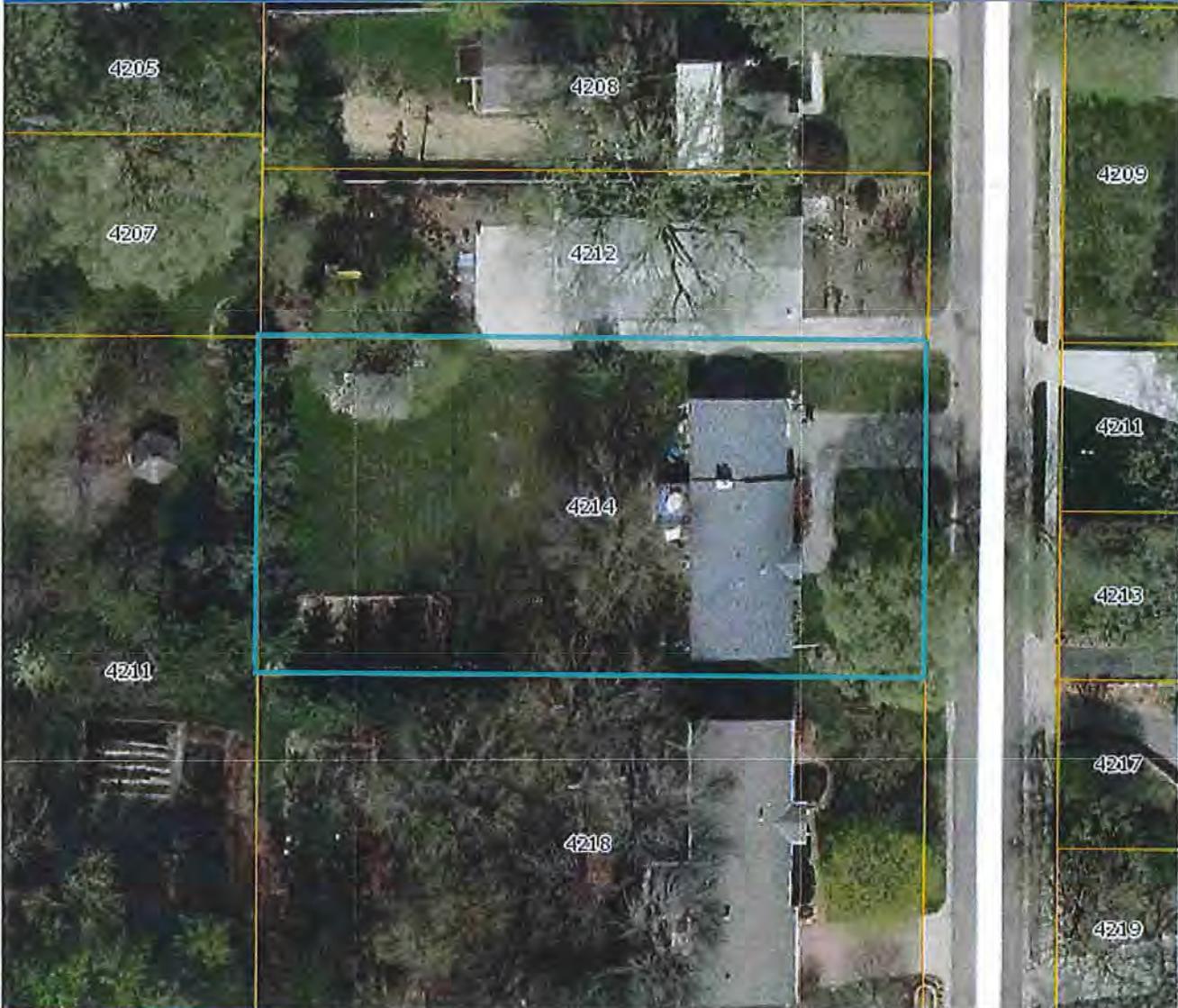
COPYRIGHT © HENNEPIN COUNTY 2015





Interactive
Maps

Property
Map



<p>Parcel ID: 07-028-24-41-0045</p> <p>Owner Name: 4214 Scott Terrace Llc</p> <p>Parcel Address: 4214 Scott Ter Edina, MN 55416</p> <p>Property Type: Residential</p> <p>Homestead: Homestead</p> <p>Parcel Area: 0.46 acres 19,972 sq ft</p>	<p>A-T-B: Torrens</p> <p>Market Total:</p> <p>Tax Total:</p> <p>Sale Price:</p> <p>Sale Date:</p> <p>Sale Code:</p>	<p>Map Scale: 1" ≈ 50 ft.</p> <p>Print Date: 2/19/2015</p> <div style="text-align: right;">  </div> <p>This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.</p> <p>COPYRIGHT © HENNEPIN COUNTY 2015</p> <p style="text-align: right;"> Think Green!</p>
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←
4213 Scott Terrace
Edina, Minnesota
🕒 Street View - Oct 2011



Zoom



0-105301-0
FEB 14

4213 Scott Terrace

Edina, Minnesota

Street View - Oct 2011



Back to Map

Google

Image capture: Oct 2011 © 2015 Google Life mode Terms Privacy Report a problem

PLANNING
FEB 10 2015
CITY OF EDINA

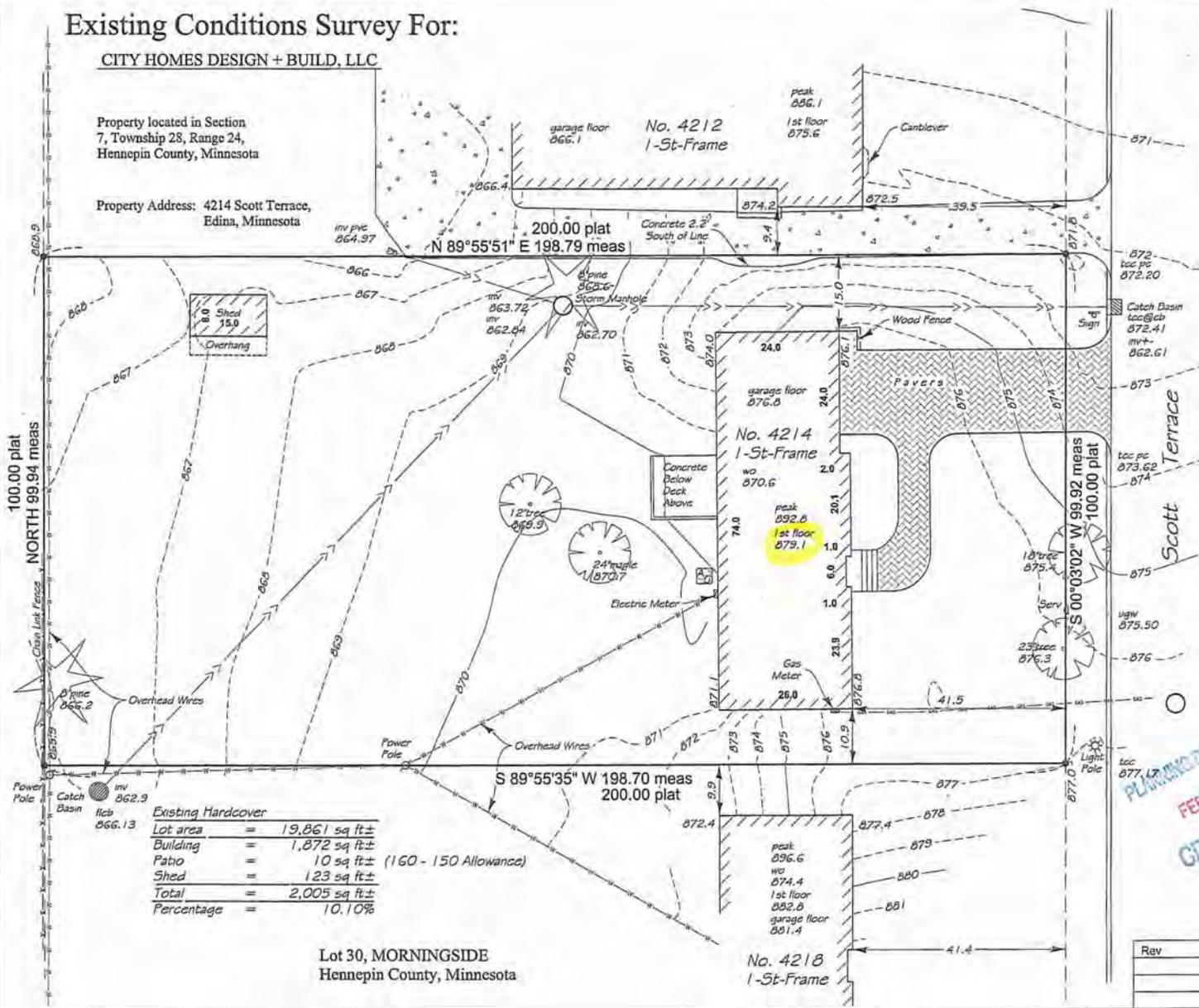
Existing Conditions Survey For:

CITY HOMES DESIGN + BUILD, LLC

Property located in Section 7, Township 28, Range 24, Hennepin County, Minnesota

Property Address: 4214 Scott Terrace, Edina, Minnesota

100.00 plat NORTH 89.94 meas



Existing Hardcover	
Lot area	= 19,861 sq ft ±
Building	= 1,872 sq ft ±
Patio	= 10 sq ft ± (160 - 150 Allowance)
Shed	= 123 sq ft ±
Total	= 2,005 sq ft ±
Percentage	= 10.10%

Lot 30, MORNINGSIDE
Hennepin County, Minnesota

INVOICE NO. 81438
F.B.NO. 1070-07
SCALE: 1" = 20'

- Denotes Found Iron Monument
- Denotes Iron Monument
- Denotes Wood Hub Set for excavation only
- - - Denotes Existing Contours
- Denotes Proposed Contours
- x000.0 Denotes Existing Elevation
- 000.0 Denotes Proposed Elevation
- Denotes Surface Drainage

NOTE: Proposed grades are subject to results of soil tests. Proposed building information must be checked with approved building plan and development or grading plan before excavation and construction. Proposed grades shown on this survey are interpolations of proposed contours from the drainage, grading and/or development plans.

NOTE: The relationship between proposed floor elevations to be verified by builder.

- Proposed Top of Block
- Proposed Garage Floor
- Proposed Lowest Floor
- Type of Building

The Gregory Group, Inc.
d.b.a.
LOT SURVEYS COMPANY
Established in 1962
LAND SURVEYORS
REGISTERED UNDER THE LAWS OF STATE OF MINNESOTA
7601 73rd Avenue North (763) 560-3093
Minneapolis, Minnesota 55428 Fax No. 560-3522

Surveyors Certificate

The only easements shown are from plats of record or information provided by client.

I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed land Surveyor under the laws of the State of Minnesota

Surveyed this 18th day of June 2013.

Signed Gregory R. Fraschl
Gregory R. Fraschl, Minn. Reg. No. 24992

Rev	Drawn By J. Munson
	File Name m-30-fb107007inv81438.dwg

Handwritten signature/initials

Proposed Site Plan Survey For:

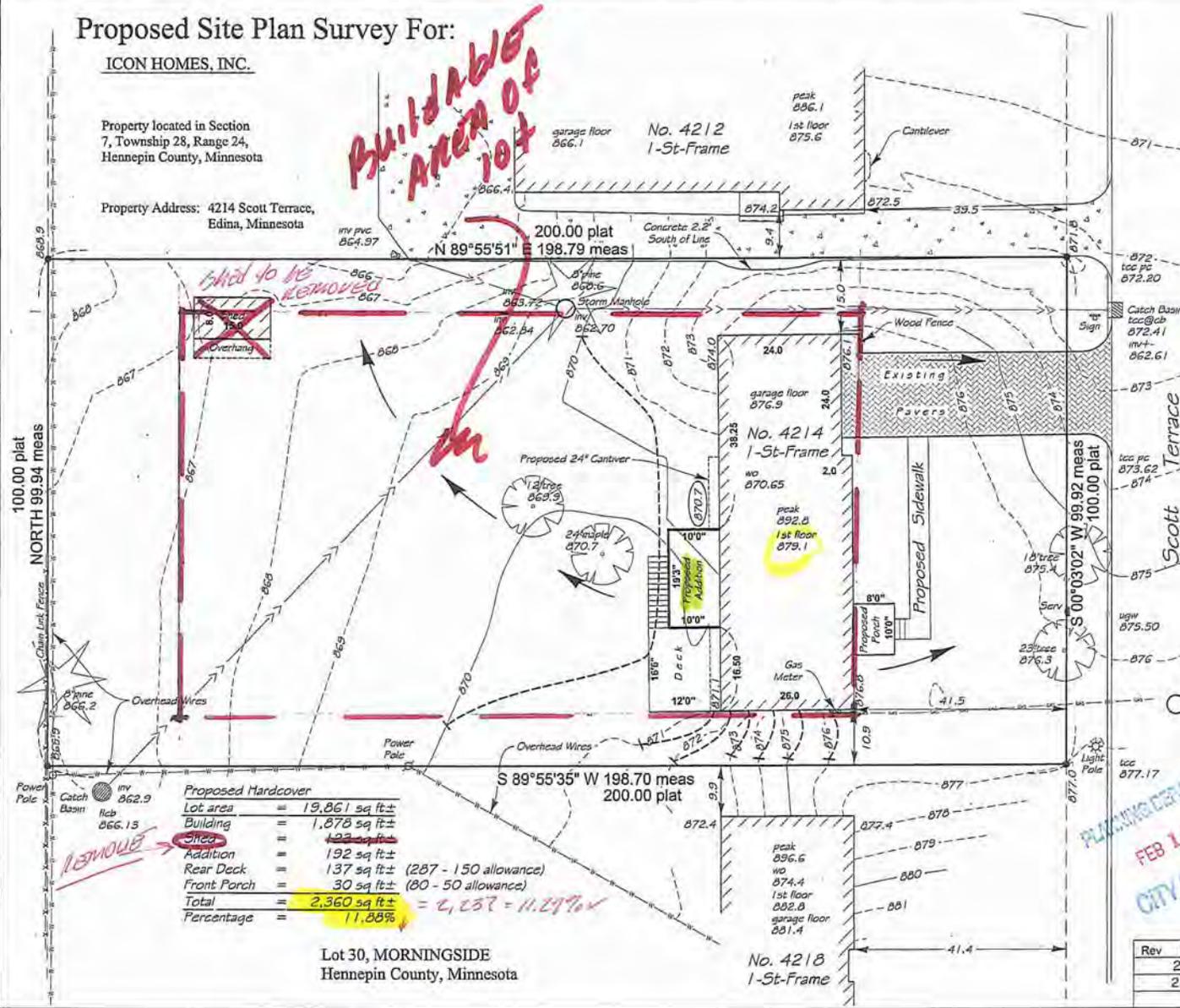
ICON HOMES, INC.

Property located in Section 7, Township 28, Range 24, Hennepin County, Minnesota

Property Address: 4214 Scott Terrace, Edina, Minnesota

Buildable Area of lot

100.00 plat NORTH 99.94 meas



REMOVE

Proposed Hardcover	
Lot area	= 19,861 sq ft±
Building	= 1,878 sq ft±
Shed	= 192 sq ft±
Addition	= 192 sq ft±
Rear Deck	= 137 sq ft± (287 - 150 allowance)
Front Porch	= 30 sq ft± (80 - 50 allowance)
Total	= 2,360 sq ft± = 2,237 = 11.27%
Percentage	= 11.88%

Lot 30, MORNINGSIDE
Hennepin County, Minnesota

No. 4218
1-St-Frame

INVOICE NO. 83397
F.B.NO. 1070-07
SCALE: 1" = 20'

- Denotes Found Iron Monument
- Denotes Iron Monument
- Denotes Wood Hub Set for excavation only
- - - Denotes Existing Contours
- - - Denotes Proposed Contours
- Denotes Existing Elevation
- Denotes Proposed Elevation
- Denotes Surface Drainage

NOTE: Proposed grades are subject to results of soil tests. Proposed building information must be checked with approved building plan and development or grading plan before excavation and construction. Proposed grades shown on this survey are interpolations of proposed contours from the drainage, grading and/or development plans.

NOTE: The relationship between proposed floor elevations to be verified by builder.

Existing First Floor Elevation = 879.1

880.43	Proposed First Floor
878.73	Proposed Top of Block (match existing)
876.9	Proposed Garage Floor (match existing)
871.23	Proposed Lowest Floor (match existing)

Type of Building
Full Basement Walkout

The Gregory Group, Inc.
d.b.a.

LOT SURVEYS COMPANY
Established in 1962

LAND SURVEYORS

REGISTERED UNDER THE LAWS OF STATE OF MINNESOTA

7601 73rd Avenue North (763) 560-3093
Minneapolis, Minnesota 55428 Fax No. 560-3522

Surveyors Certificate

The only easements shown are from plats of record or information provided by client.

I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota

Surveyed this 10th day of December 2014.

Signature: Gregory R. Prascy
Gregory R. Prascy, Minn. Reg. No. 24992

Rev 12-18-14	proposed elevations	Drawn By	J. Munson
2-2-15	proposed elevations	File Name	m-30 inv83397 site plan.dwg
2-5-15	proposed 1st floor		

PLANNING DEPARTMENT
FEB 10 2015
CITY OF EDINA

PROPOSED

ADVANCE SURVEYING & ENGINEERING CO.
 5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474 7964 Fax (952) 225 0502 www.aisvur.com

SURVEY FOR: ICON HOMES

DRAFTED: December 22, 2014
REVISED: February 5, 2015 showing proposal to raise lower and first floor elevations.

LEGAL DESCRIPTION:
 Lot 22, Block 2, Harriet Manor Second Addition, Hennepin County, Minnesota.

- SCOPE OF WORK:**
1. Showing proposed grading, drainage and erosion control measures for review and approval.
 2. Existing conditions based on a survey by Lot Surveys Company dated December 10, 2014.
 3. Proposed improvements based on house plans furnished by client and the survey by Lot Surveys Company.

STANDARD SYMBOLS & CONVENTIONS:
 * Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, unless otherwise noted.

CERTIFICATION:
 I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a licensed Professional Engineer and Professional Surveyor under the laws of the State of Minnesota.

Signature: James H. Parker Typed Name: James H. Parker

Date: February 6, 2015 Reg. No. 9235

BEFORE DEMOLITION AND GRADING BEGIN:

1. Install silt fence around the perimeter of the construction area as shown on this plan.
2. Install inlet protection in inlets to the storm sewer system that remove storm water from areas to be disturbed on this site using Road Drain Top Silt Model 100 22 1/2" inlet opening (or 2'x3' inlet, Road Drain Top Silt Model RD 27 1/2" inlet, or Road Drain Top Silt Model V1 3057 (aka, Fenough Cutting with 24" x 17 1/2" dimensions) manufactured by WPMCO, 799 Three Rivers, Shawano, WI, 53079, Phone (952) 253-3055.
3. Sediment control measures must remain in place until final stabilization has been established and then shall be removed. Sediment controls may be removed to accommodate short term construction activity but must be replaced before the next rain.
4. A temporary rock construction entrance shall be established at each access point to the site and a 6 inch layer of 1 to 2 inch rock extending at least 30 feet from the street into the site and shall be underlain with permeable geotextile fabric. The entrance shall be maintained during construction by top dressing or washing to prevent tracking or flow of sediments onto public streets, walks or alleys. Potential entrances that are not so protected shall be closed by fencing to prevent unpermitted exit from the site.

DURING CONSTRUCTION:

5. When dirt machines have been created, a double row of silt fence shall be placed to prevent escape of sediment laden runoff and if the piles or other disturbed areas are to remain in place for more than 14 days, they shall be seeded with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
6. A compactor shall be placed on the site for prompt disposal of construction debris. These dumpsters shall be serviced regularly to prevent overflowing and blowing onto adjacent properties. Disposal of solid wastes from the site shall be in accordance with Minnesota Pollution Control Agency requirements.
7. A separate container shall be placed for disposal of hazardous waste. Hazardous wastes shall be disposed of in accordance with MPCA requirements.
8. Concrete truck washout shall be in the plastic lined ditch shown on this plan for "CONCRETE WASHOUT" and dispose of washings as solid waste.
9. Sediment control devices shall be regularly inspected and after major rainfall events and shall be cleaned and repaired as necessary to provide downstream protection.
10. Streets, alleys, sidewalks and other public ways shall be inspected daily and if litter or soils has been deposited it shall promptly be removed. The contact person for this site is: Joe Hokeness; 763 639 9632; Joe.Hokeness@iconhomes.com
11. If necessary, vehicles, that have mud on their wheels, shall be cleaned before exiting the site in the rock entrance area.
12. Moisture shall be applied to disturbed areas to control dust as needed.
13. Portable toilet facilities shall be placed on site for use by workers and shall be properly maintained.
14. If it becomes necessary to pump the excavation during construction, pump discharge shall be into the stockpile areas so that the double silt fence around these areas can filter the water before it leaves the site.
15. Temporary erosion control shall be installed no later than 14 days after the site is first disturbed and shall consist of broadcast seeding with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.

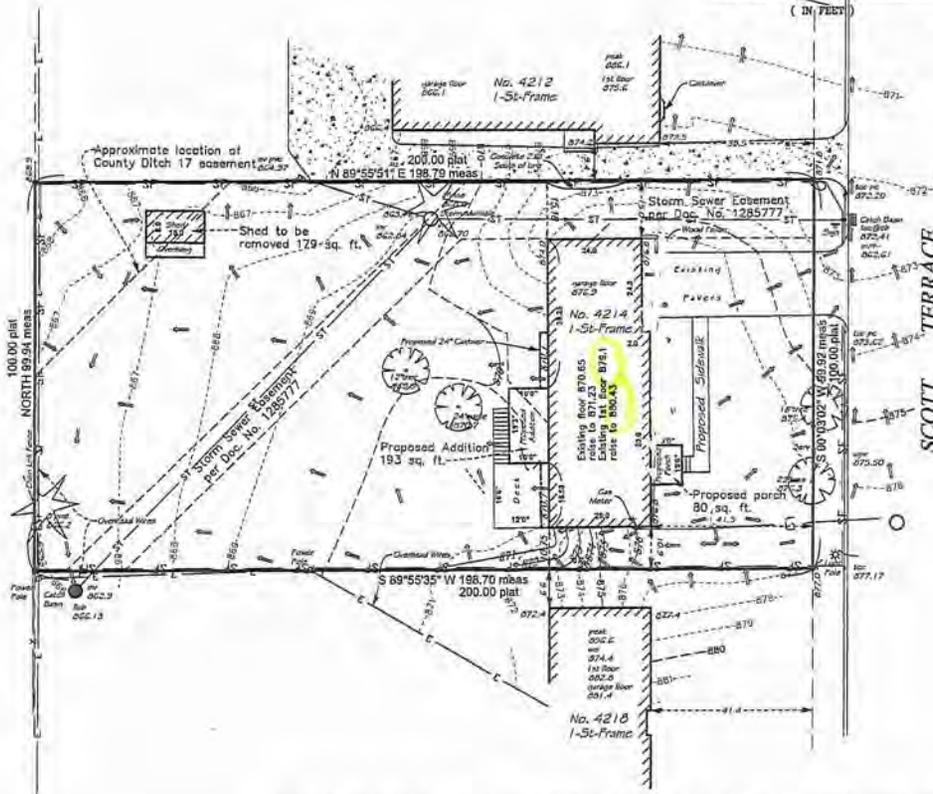
SITE WORK COMPLETION:

16. When final grading has been completed but before placement of seed or sod an "as built" survey shall be done per Edina's requirements to insure that grading was properly done.
17. When any remedial grading has been completed, sod or seeding shall be completed including any erosion control blankets for steep areas.
18. When silt is established, silt fence and inlet protection and other erosion control devices shall be disposed of and adjacent streets, alleys and walks shall be cleaned as needed to deliver a site that is erosion resistant and clean.

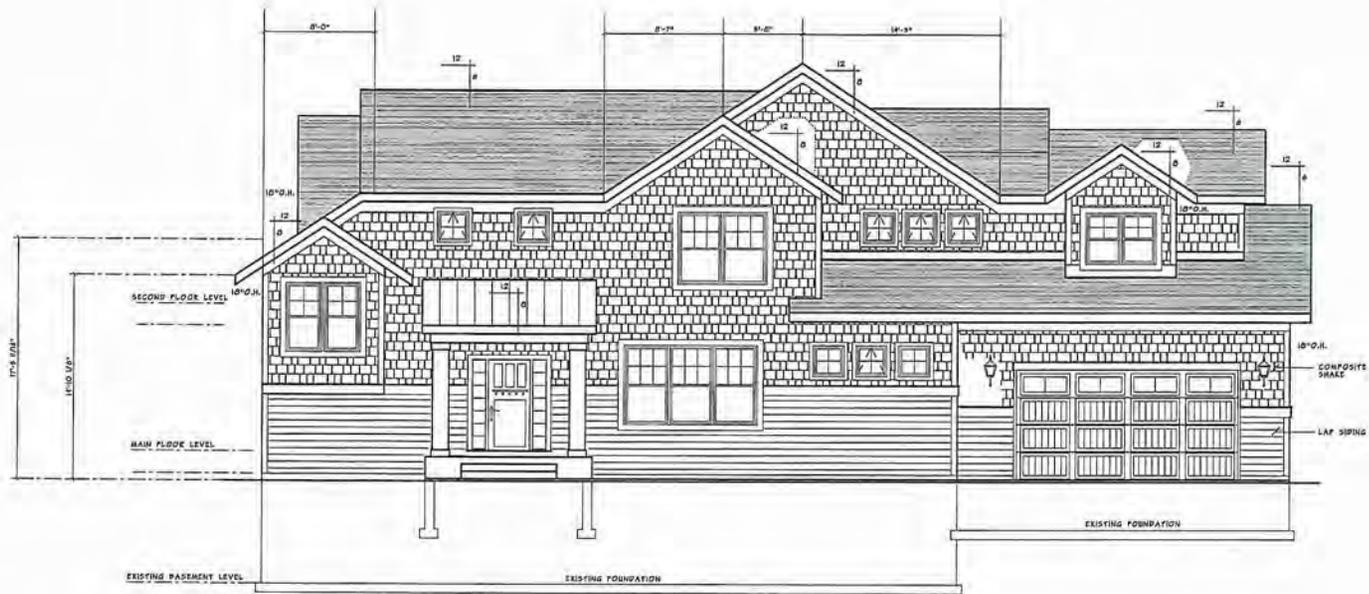
LEGEND

- DENOTES EXISTING SPOT ELEVATION $\text{---} \cdot \text{---}$
- DENOTES PROPOSED SPOT ELEVATION $\text{---} \cdot \text{---}$
- DENOTES EXISTING CONTOUR LINE $\text{---} \cdot \text{---}$
- DENOTES PROPOSED CONTOUR LINE $\text{---} \cdot \text{---}$
- DENOTES PROPOSED STORM FLOW ---
- DENOTES PROPOSED STRAW LOGS --- SF ---

GRAPHIC SCALE



STORM WATER AND EROSION CONTROL PLAN 140990 2015 02 06 JP A



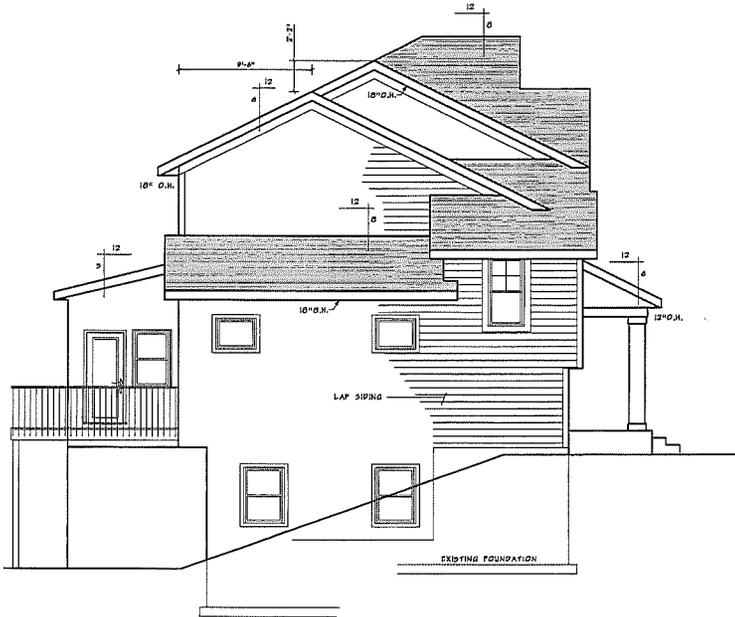
Front Elevation
SCALE: 1/4" = 1'-0"

PLANNING DEPARTMENT
FEB 10 2015
CITY OF EDINA

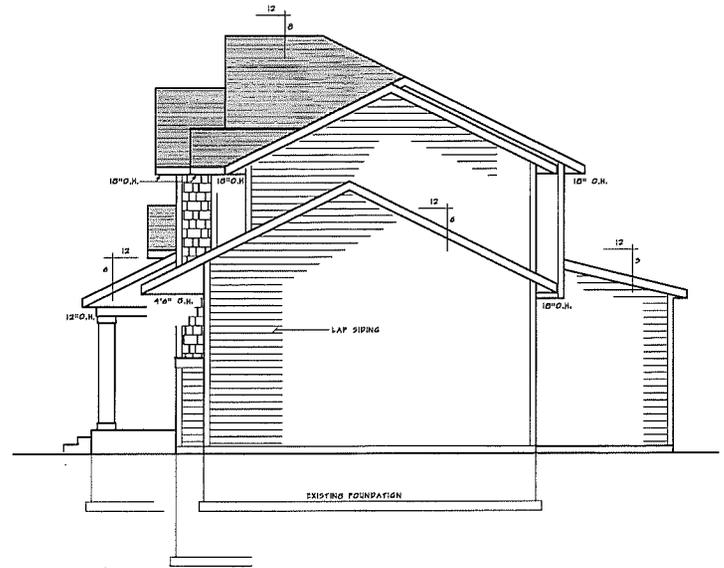
Project Site:
204 South Terrace
Edina, MN 55425

HART'S DESIGN LLC
Residential New Home &
Remodeling Design
(BDS) 628 - 8800
18132 Carver St, Minnetonka, MN 55345

Date:	01-07-2015
Scale:	1/4" = 1'-0"
SHEET	1
of	8



Left Elevation
SCALE: 1/4" = 1'-0"



Right Elevation
SCALE: 1/4" = 1'-0"

Project: City of
4214 Scott Terrace
Edina, MN 55416

HART'S DESIGN LLC
Residential, New Home &
Commercial Architecture
(852) 828-8908
8552 Commerce Ln. Edina, MN 55416

Date:
01-07-2016

SCALE:
1/4" = 1'-0"

SHEET
2
of 8



Rear Elevation
SCALE: 1/4" = 1'-0"

PLANNING DEPARTMENT
FEB 10 2015
CITY OF EDINA

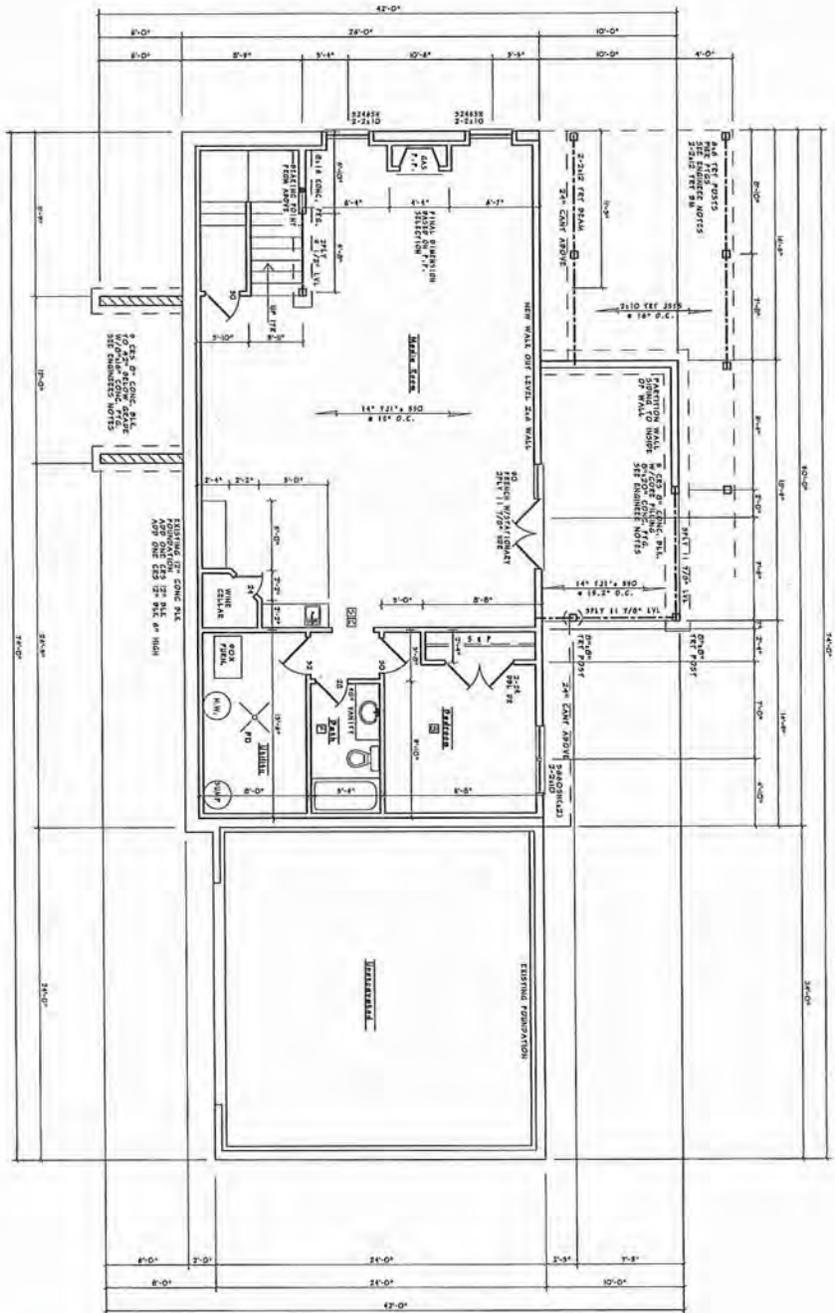
Project Site:
429 S. of Terrace
Edina, MN 55416

HART'S DESIGN LLC
Residential, New, Remodel &
Renovation
(952) 828-8808
10352 Conroy Ln. Eden Prairie, MN 55346

Date:
01-07-2015

SCALE:
1/4" = 1'-0"

SHEET
3
OF
8



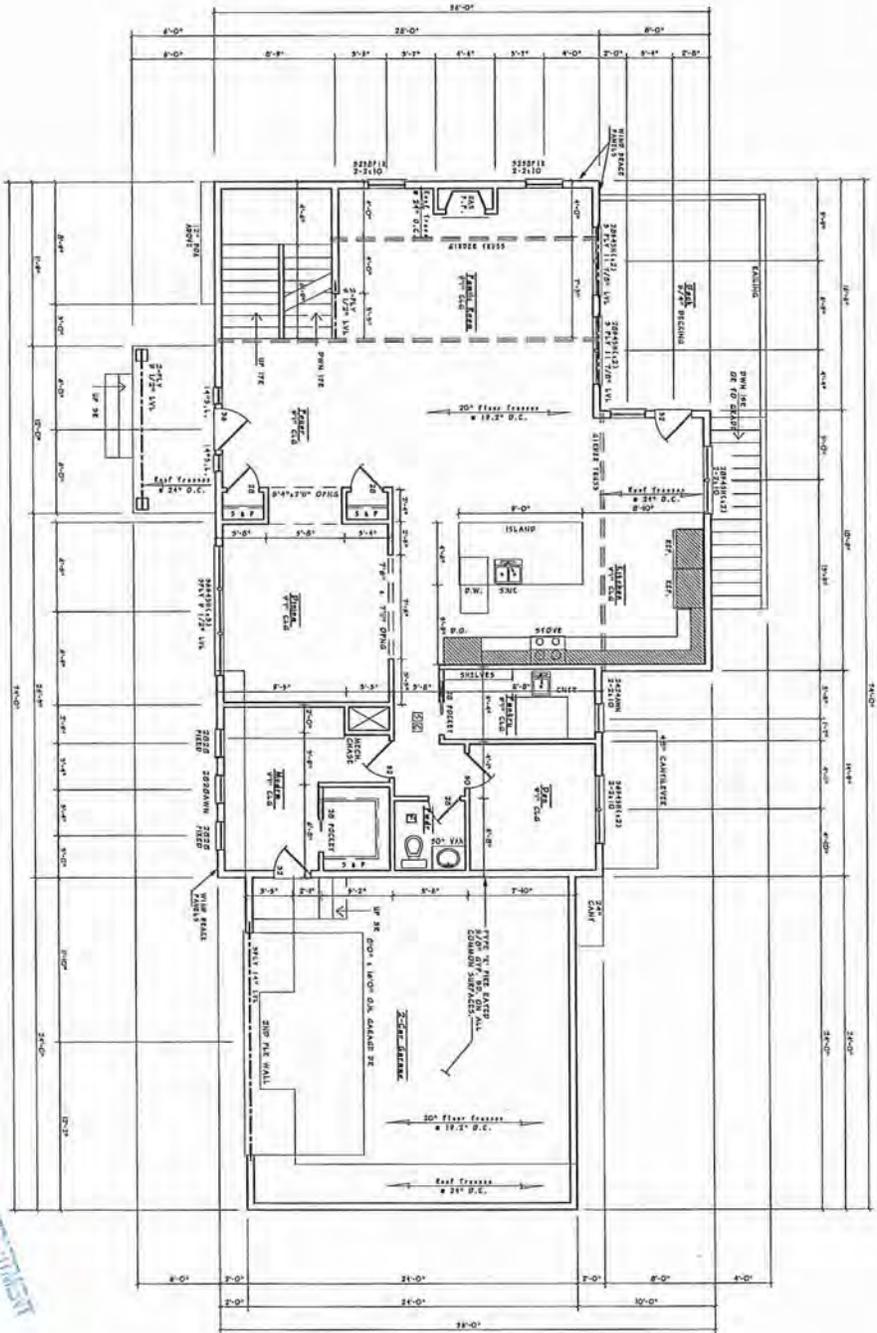
Basement Level Addition/Renov 125 30 R

PLANNING DEPARTMENT
 FEB 10 2015
 CITY OF EDINA

DATE	01-27-2015
SCALE	1/8" = 1'-0"
SHEET	4
OF	8

HART'S DESIGN LLC
 Residential New Home &
 Remodeling Design
 (852) 828 - 8808
 8552 Coulter Ln. Eden Prairie, MN 55548

Project Site:
 4214 Scott Terrace
 Edina, MN 55416



Main Floor
SCALE: 1/8" = 1'-0"

NOTES:
 1. MAIN FLOOR TO BE OF
 1/2" REINFORCED CONCRETE
 ALL WINDOW HEADS TO BE
 HEAVY PRAND ORIENTED
 TWO FULL DEPTH FIVE
 ALL EXTERIOR AND INTERIOR
 FINISHES TO BE AS SHOWN
 UNLESS NOTED OTHERWISE.

PLANNING DEPARTMENT
 FEB 10 2015
 CITY OF EDINA

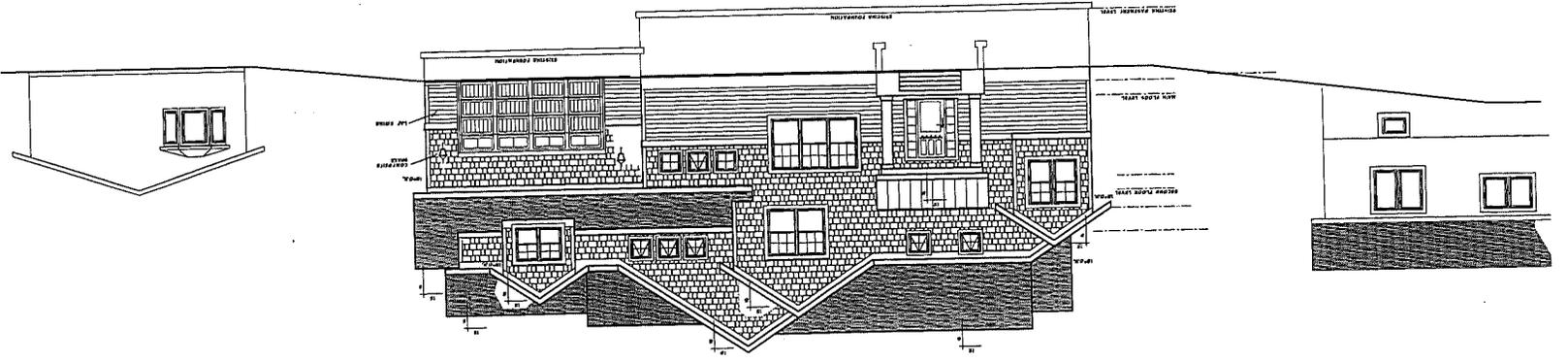
HART'S DESIGN LLC
 Residential New Home &
 Remodeling Design
 (652) 628-0008
 12322 Craftview Ln. Eden Prairie, MN 55214

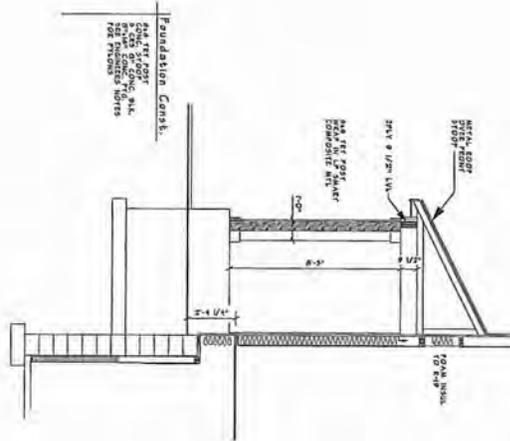
DATE: 01-07-2015
 SCALE: 1/8" = 1'-0"
 SHEET: 5
 OF: 8

Project Site:
 4214 South Terrace
 Edina, MN 55416

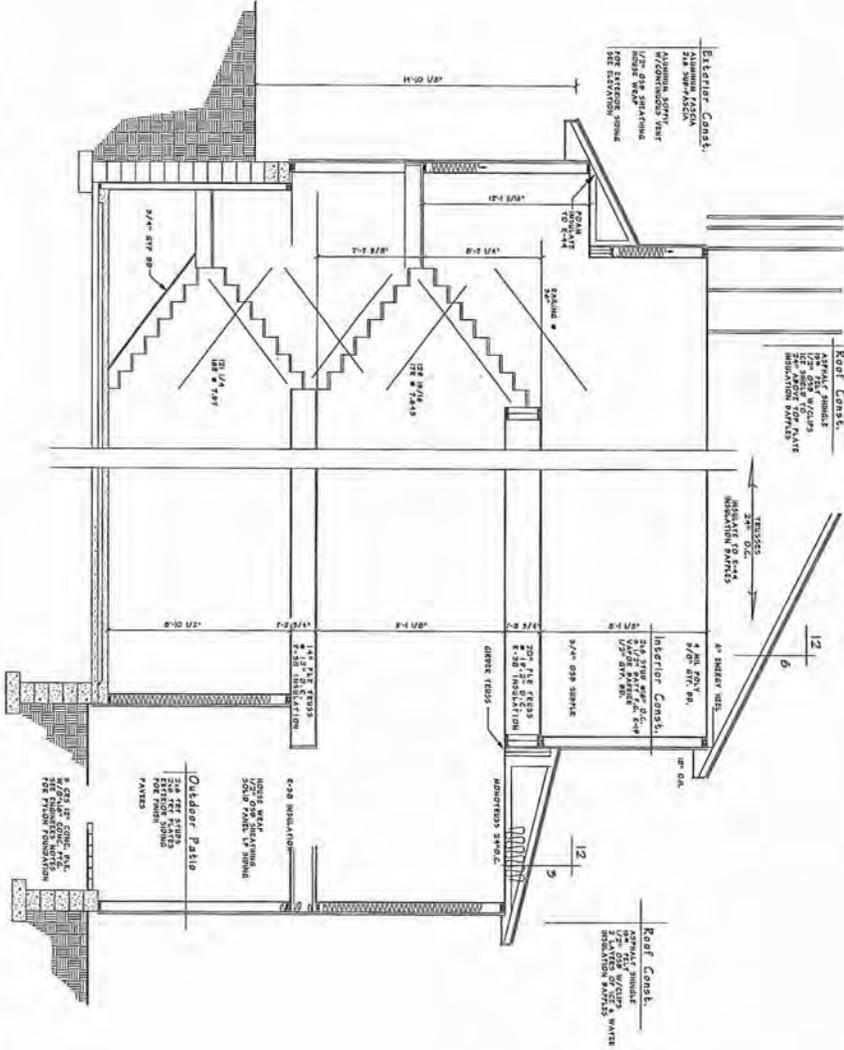
CITY OF EDINA
FEB 10 2015
PLANNING DEPARTMENT

Project Site:
4214 Scott Terrace
Edina, MN 55416





Cross Section
Scale 3/8" = 1'-0"



REVISIONS
 FEB 10 2015
 CITY OF EDINA

HART'S DESIGN LLC
 Residential New Home &
 Remodeling Design
 (952) 628-0000
 1812 Coulter Ln, Eden Prairie, MN 55344

Project Site:
 4214 Scott Terrace
 Edina, MN 55416

DATE: 1-2-15
 SHEET: 8
 OF: 8