



## PLANNING COMMISSION STAFF REPORT

|   |  |                         |
|---|--|-------------------------|
| Originator<br><b>Cary Teague</b><br>Community Development<br>Director | Meeting Date<br><b>February 11, 2015</b> | Agenda #<br><b>VI.A</b> |
|---|--|-------------------------|

### INFORMATION/BACKGROUND

#### Project Description

Andrew Akins is proposing to add two surface parking lots to the existing apartment building located at 4000 Hazelton Road. To accommodate the request, the following variances are required:

- Front street setback variances from 20 feet to 1, 2 and 12 feet; and
- A side yard setback variance from 10 feet to 5 feet.

The site exists today with a 3-story, 16-unit apartment building with two detached garages that total 16 stalls. Each unit contains two bedrooms. Currently there are no surface-parking stalls on the site. Tenants of the building complain that there is not enough off-street parking stalls associated with the apartment. Some residents are forced to park on the street. With the winter parking ban on the street, this becomes problematic for residents. (See site location, plans and narrative on pages A1 – A20.)

There is an existing triangular shaped pool on the west side of the building that is in a very poor state of repair. (See page A14.) The applicant is proposing to remove the pool and construct a new surface lot, and add additional surface parking stalls adjacent to the detached garages. (See page A5.) In all, the applicant is proposing 13 new surface parking stalls for the residents of the building.

### SUPPORTING INFORMATION

#### Surrounding Land Uses

- Northerly: Small apartment buildings; zoned PRD-4, Planned Residential District and guided High Density Residential.
- Easterly: The Cremation Society; zoned POD-1, Planned Office District, and guided Office Residential.

Southerly: Sunrise Senior Housing; zoned PSR-4, Planned Senior Residential and guided Office Residential.  
Westerly: Vacant lowland owned by the City of Edina, and used as storm water retention area.

### **Existing Site Features**

The subject property is .89 acres in size, is relatively flat and contains a 16-unit apartment building with detached garages. (See pages A13–A17.)

### **Planning**

Guide Plan designation: HDR – High Density Residential. (See page A2b.)  
Zoning: PRD-4, Planned Residential District (See page A2a.)

### **Site Circulation**

Access to the site would continue to be from Hazelton Road. A new curb cut would be added for the new west parking lot. Residents could access the building from a sidewalks leading to the front and rear of the building. (See page A5.)

### **Parking**

Sec. 36-1311 of the Zoning Ordinance requires that apartment buildings in the PRD district be required 1.25 fully enclosed spaces and 0.75 exposed spaces per dwelling unit. The existing apartment is a legal existing nonconforming following use, as only 1 fully enclosed space is provided now, with no exposed spaces. The variances would allow 13 exposed stalls on the site, which would result in compliance with the required surface parking lot requirement.

### **Landscaping**

Based on the perimeter of the site, the applicant is required to have 21 over story trees and a full complement of under story shrubs. The site contains 29 trees on the site today. The proposed plan would require 12 trees to be removed. A full complement of understory landscaping, shrubs and perennials are to be planted around the proposed parking lots. (See page A7.) A final landscape plan would be required, subject to review and approval of the City Forester to ensure compliance with all landscaping requirements.

## **Grading/Drainage/Utilities**

The city engineer has reviewed the proposed plans and found them to be acceptable subject to the comments and conditions outlined on the attached page A21. A rain garden is proposed adjacent to each new parking area, as required by the Nine Mile Creek Watershed District. The proposed plans would be subject to final review and approval of the Nine Mile Creek Watershed District. Any approvals should also be conditioned on the conditions outline in the director of engineering's memo dated January 5, 2015.

## **Variance**

Per the Zoning Ordinance, a variance should not be granted unless it is found that the enforcement of the ordinance would cause practical difficulties in complying with the zoning ordinance and that the use is reasonable. As demonstrated below, staff believes the proposal does meet the variance standards, when applying the three conditions:

**Minnesota Statues and Edina Ordinances require that the following conditions must be satisfied affirmatively. The Proposed Variance will:**

***1) Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.***

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with the code and that the proposed use is reasonable. "Practical difficulties" may include functional and aesthetic concerns.

Staff believes the proposed variance is reasonable. The existing property is nonconforming, as there are no surface-parking stalls today. City Code would require 12 surface stalls for the 16 units on the site. The proposed 13 parking stalls would meet the code requirement. There is not room on the site today, to locate the code required amount of parking stalls without the need for setback variances. The practical difficulty is caused by the small lot size and the existing location of the apartment building and detached garages. Additionally there would still be 16 feet of green space between the parking lot and the Hazelton Road, and 14 feet of green space between the nearest drive aisle to the north. (See page A6.)

***2) There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?***

Yes. The unique circumstance is that there are no exterior parking spaces on the site with not room to locate the required number without the need for variances. The most impacted or nearest property is the vacant park land across the street. The proposed variances would have no impact on the adjacent property. To the south is the Sunrise senior housing project. That structure is nearly 200 feet away.

**3) *Will the variance alter the essential character of the neighborhood?***

No. A surface parking lot would not be out of character on Hazelton Road. Each nearby property contains a surface lot adjacent to Hazelton Road. (See page A2.) The proposed new structure would be designed to be integrated and complement the existing 12-story building. The new 4-story building being brought up close to York Avenue would be consistent with recent development on France and York being brought close to the street to engage it and create a more pedestrian friendly environment.

**Staff Recommendation**

Approve the requested variances for 4000 Hazelton Road.

Approval is subject to the following findings:

1. There are no surface-parking stalls on the site today.
2. City Code requires 12 surface parking stalls, based on the 16 unit apartment building.
3. There is no room on the site to construct the required stall without the need for variances.
4. The practical difficulty is caused by the small size of the lot and the location of the existing building and detached parking garages.
5. The proposed request is reasonable given the large green space located within the right-of-way and between the proposed parking lot on the west side of the building and the drive-aisle on the adjacent property to the north.

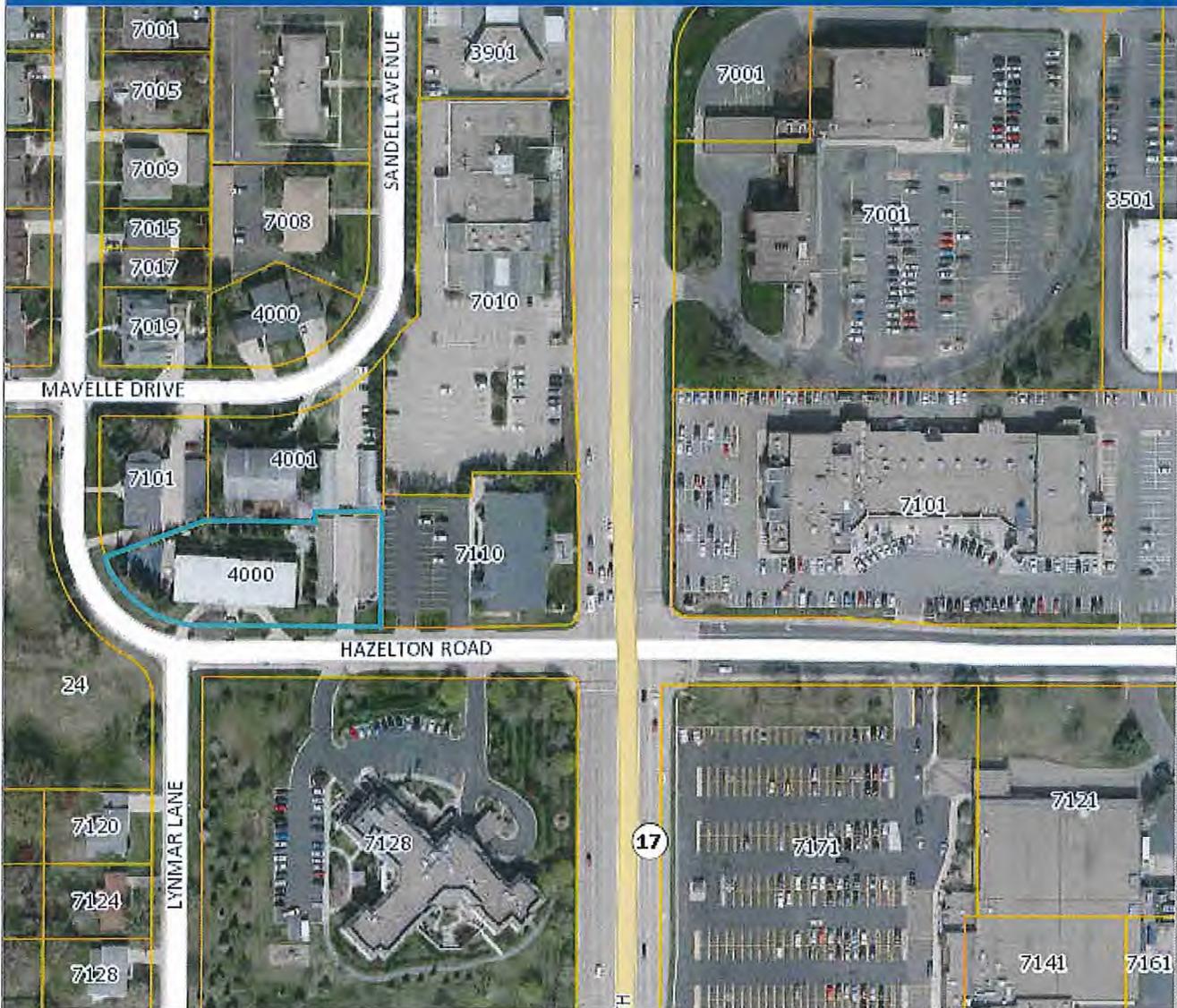
Approval is subject to the following Conditions:

1. The site work must be consistent with the plans date stamped January 12, 2015.

2. The Final Landscape Plan must meet all minimum landscaping requirements per Chapter 36 of the Zoning Ordinance, and subject to review and approval of the city forester.
3. Compliance with all of the conditions outlined in the director of engineering's memo dated February 5, 2015.
4. Review and approval of the Nine Mile Creek Watershed District.

**Deadline for a city decision: March 12, 2015**





**Parcel ID:** 31-028-24-11-0084

**Owner Name:** Akins Hazelton Apts Llc

**Parcel Address:** 4000 Hazelton Rd  
Edina, MN 55435

**Property Type:** Apartment

**Homestead:** Non-Homestead

**Parcel Area:** 0.86 acres  
37,295 sq ft

**A-T-B:**

**Market Total:**

**Tax Total:**

**Sale Price:**

**Sale Date:**

**Sale Code:**

**Map Scale:** 1" ≈ 200 ft.

**Print Date:** 2/4/2015

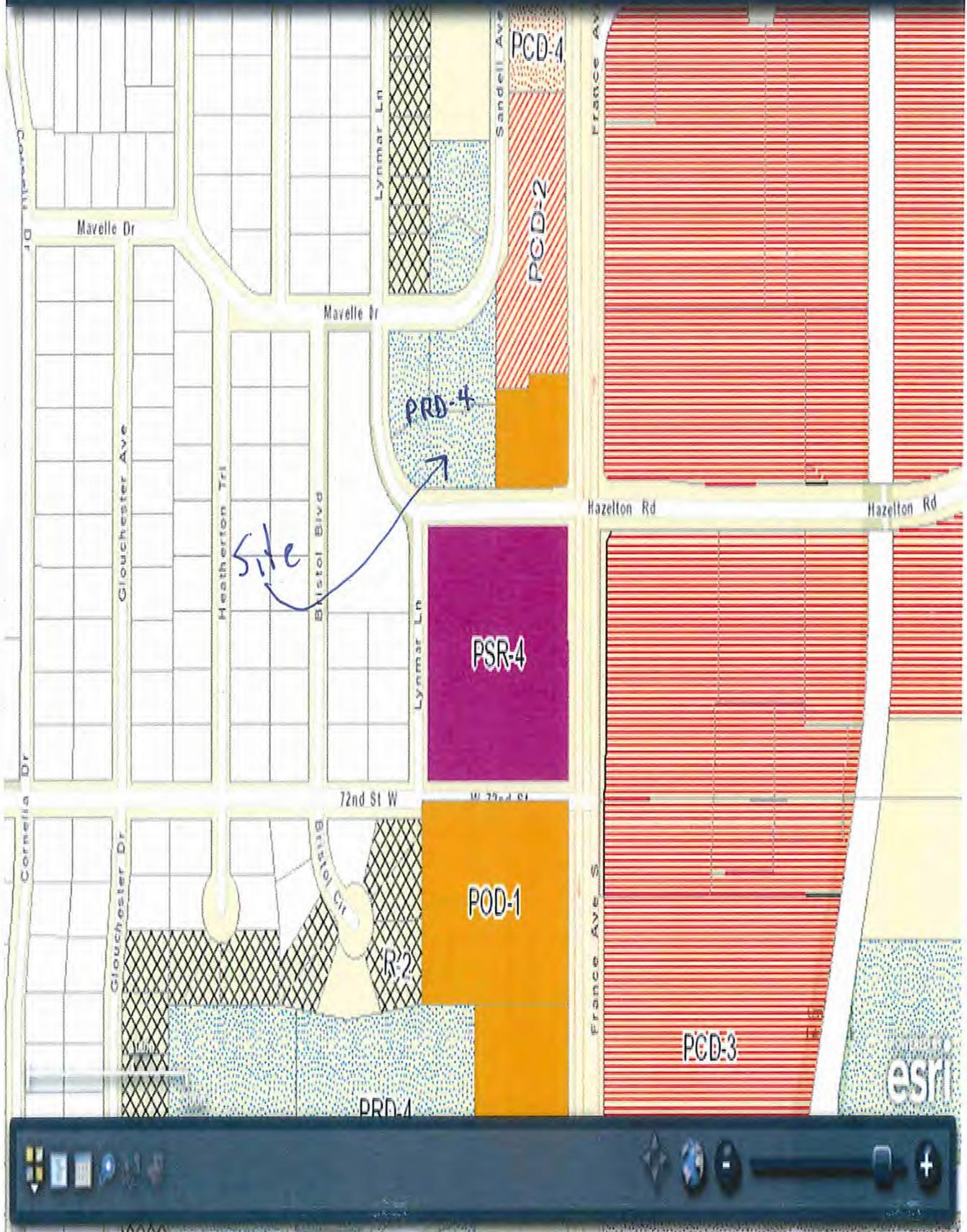


This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.

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A2



A29



Applicant Narrative



PREMIER PROPERTIES, LLC  
Post Office Box 390195  
Edina, Minnesota 55439-0195  
(952) 941-2400 FAX (952) 941-2413

January 12, 2015

Re: 4000 Hazelton Road

Dear Cary Teague and the City of Edina,

Dean Akins or Premier Properties purchased 4000 Hazelton in January of 2014. The building is a beautiful two and half story brick apartment building with 16 two bedroom apartments. Parking is limited to the 16 detached single stalled garages. There is no other off street parking at this location.

The outdoor pool was in such disrepair it was not worth opening. We decided to look into replacing the pool with a parking lot. Anderson Engineering was contacted and different ideas were discussed. Then we learned of the November 1<sup>st</sup> parking ban from midnight to 6:00am. I called our resident manager, inquiring about what was done in the past. She said, they parked 3 cars in the driveway entrances after 7:00pm and then others would park in the Cremation Society lot next door. However, she said, the owner of the Cremation Society did not want us to park there any more due to issues with snow removal and parking needed for their customers. I asked Brian Olson, City of Edina public works director, for a waiver to the parking ban but he could not give us one. Next, I called Kevin at the Cremation Society to see if anything could be worked out but he was sorry he could not help us.

It is very difficult to rent a two bedroom to a resident with only one car. At present we have an apartment vacant and feel the reason it is not renting is the lack of parking.

Roger Anderson, from Anderson Engineering, and I met with Cary Teague to discuss adding off street parking to 4000. From this meeting, we are presenting what we feel is our best option to get twelve off street parking spaces. This requires a variance from the parking set back.

We feel this is a great improvement to the building as well as the neighborhood. It will permanently remove 12 cars from parking on the street. It fits with the building and different properties around it. I have attached a number of pictures of different examples where parking is allowed right to the sidewalk. Also there are pictures that show the neighboring properties to 4000 Hazelton. The Cremation Society parking lot is less than a foot from our lot line. 7101 Lynmar is next door and it has parking allowed right to the city curb. 4001 Mavelle is behind us and has parking right to the street. Finally, attached is a few pictures of some recent construction where parking was allowed very close to the street or property line between 70<sup>th</sup> St. and Parklawn.

Thank you for your time in considering our request, if you have any questions or comments please do not hesitate to call me at 952-941-2400.

Sincerely,

Andrew B. Akins

Premier Properties

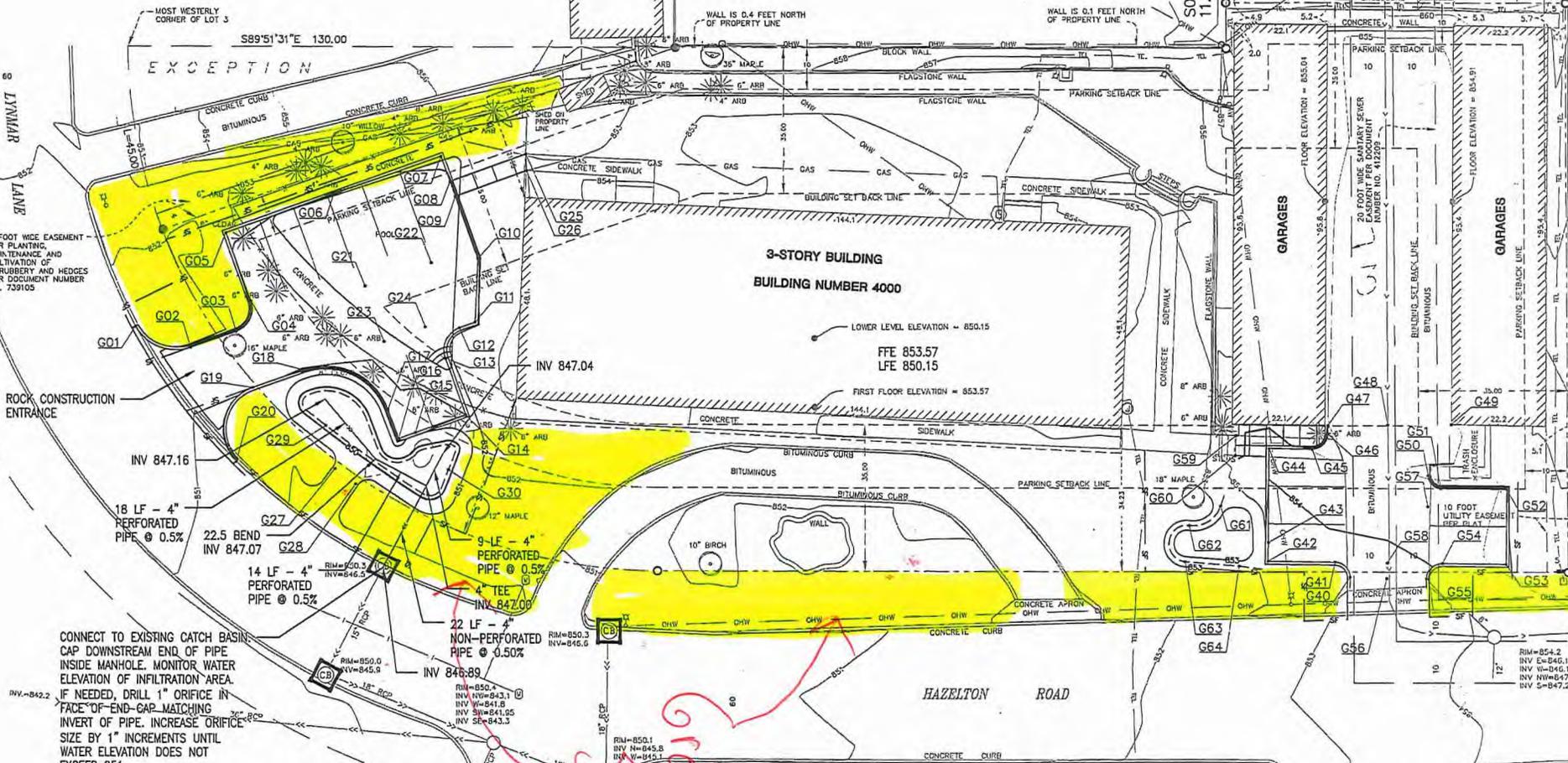
A3



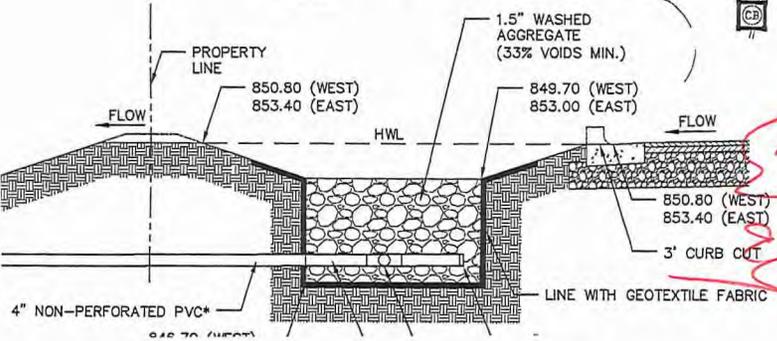


LOT

EXCEPTION



CONNECT TO EXISTING CATCH BASIN CAP DOWNSTREAM END OF PIPE INSIDE MANHOLE. MONITOR WATER ELEVATION OF INFILTRATION AREA. IF NEEDED, DRILL 1" ORIFICE IN FACE OF END-CAP MATCHING INVERT OF PIPE. INCREASE ORIFICE SIZE BY 1" INCREMENTS UNTIL WATER ELEVATION DOES NOT EXCEED 851.



**GRADING NOTES:**

1. ALL PAVEMENTS SHALL SLOPE AWAY FROM EXISTING BUILDING.
2. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY.

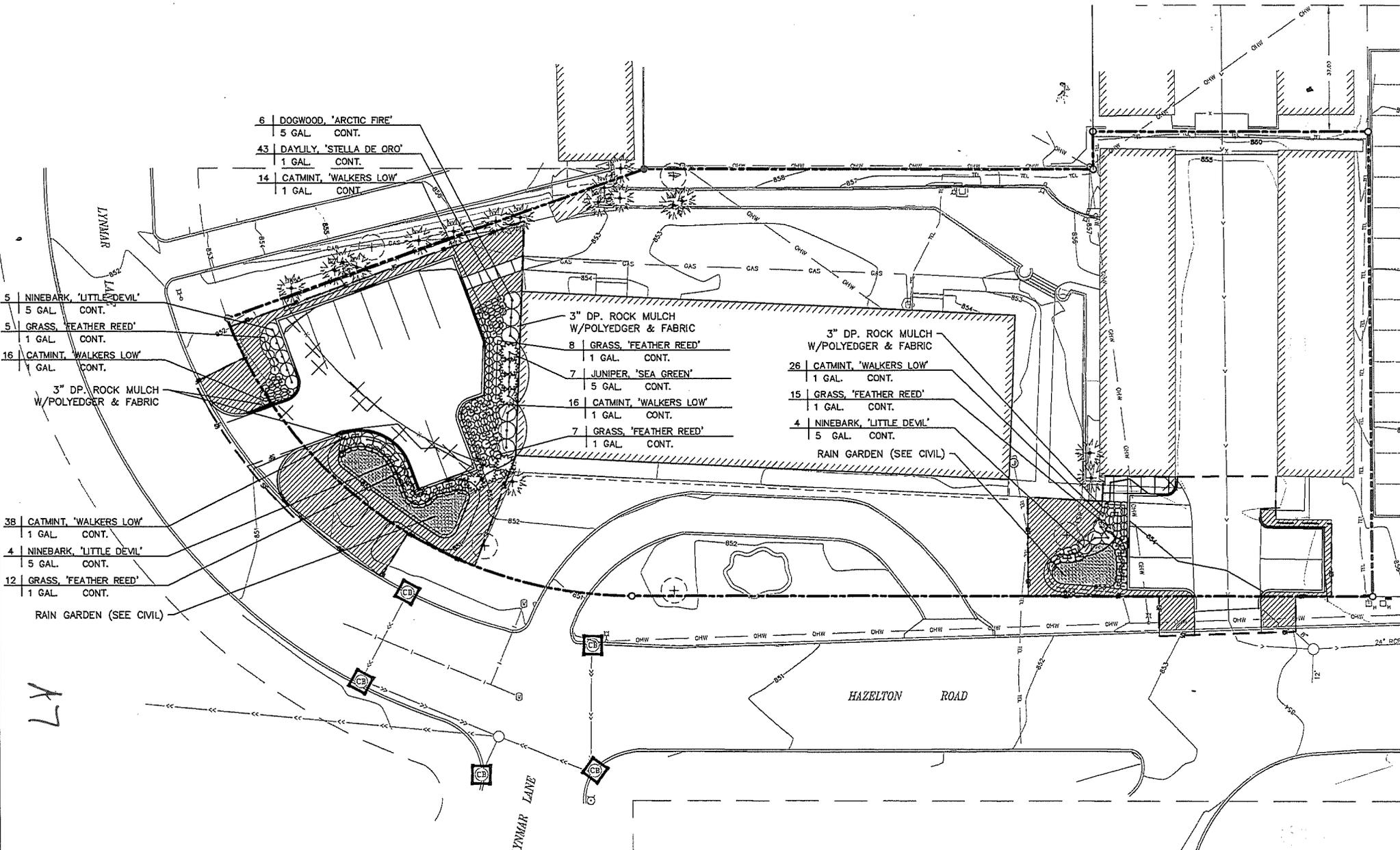
8. SURVEYOR TO VERIFY BENCHMARK ELEVATION PRIOR TO START OF CONSTRUCTION.
9. STRIP TOPSOIL PRIOR TO CONSTRUCTION. REUSE STOCKPILE ON SITE.
10. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR

**GRADING LEGEN**

|     |         |
|-----|---------|
| 900 | EXISTIN |
| 900 | PROPC   |
| FFF | FIRST   |
| LFE | LOW F   |
| G01 | GRADIN  |

*green space right of*

46



- 6 DOGWOOD, 'ARCTIC FIRE'  
5 GAL. CONT.
- 43 DAYLILY, 'STELLA DE ORO'  
1 GAL. CONT.
- 14 CATMINT, 'WALKERS LOW'  
1 GAL. CONT.

- 5 NINEBARK, 'LITTLE DEVIL'  
5 GAL. CONT.
- 5 GRASS, 'FEATHER REED'  
1 GAL. CONT.
- 16 CATMINT, 'WALKERS LOW'  
1 GAL. CONT.

- 38 CATMINT, 'WALKERS LOW'  
1 GAL. CONT.
- 4 NINEBARK, 'LITTLE DEVIL'  
5 GAL. CONT.
- 12 GRASS, 'FEATHER REED'  
1 GAL. CONT.

- 3" DP. ROCK MULCH  
W/POLYEDGER & FABRIC
- 8 GRASS, 'FEATHER REED'  
1 GAL. CONT.
- 7 JUNIPER, 'SEA GREEN'  
5 GAL. CONT.
- 16 CATMINT, 'WALKERS LOW'  
1 GAL. CONT.
- 7 GRASS, 'FEATHER REED'  
1 GAL. CONT.

- 3" DP. ROCK MULCH  
W/POLYEDGER & FABRIC
- 26 CATMINT, 'WALKERS LOW'  
1 GAL. CONT.
- 15 GRASS, 'FEATHER REED'  
1 GAL. CONT.
- 4 NINEBARK, 'LITTLE DEVIL'  
5 GAL. CONT.

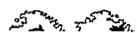
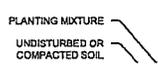
RAIN GARDEN (SEE CIVIL)

RAIN GARDEN (SEE CIVIL)

1 PLANTING PLAN  
SCALE: 1" = 20'

PLANT LIST:

| Qty. | Common & Botanical Names   | Size   | Cont. | Remarks       |
|------|--|--------|-------|---------------|
| 13   | Ninebark, 'Little Devil'<br><i>Physocarpus opulifolius 'Donna May'</i> | 5 Gal. | Cont. | Mln. 5 canes  |
| 7    | Juniper, 'Sea Green'<br><i>Juniperus chinensis 'Sea Green'</i>         | 5 Gal. | Cont. | Mln. 24" dia. |



**SURVEY FOR: PREMIER PROPERTIES**

PROPERTY ADDRESS: 4000 Hazelton Road, Edina, Minnesota.

**LEGAL DESCRIPTION:**

Lot 3, except that part thereof lying north of a line drawn parallel with and distant 37 feet South measured at right angles, from the most northerly line of said Lot 3 and except that part of said lot lying northwesterly of a line running from a point on the southwesterly line of said Lot 3, distant 45 feet southwesterly from the most westerly corner thereof, as measured along said southwesterly line, to a point on the north line of said Lot 3 distant 130 feet east from said most westerly corner thereof, Block 1, STOWS EDGEWOOD ADDITION, BLOCK 9, REPLAT.

**CERTIFICATION:**

I hereby certify that this map was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated: November 24, 2014

Anderson Engineering of Minnesota, LLC

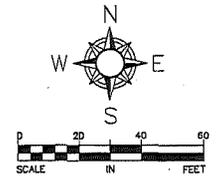
by:

*[Signature]*  
Jack Balke  
Minnesota License No. 20281

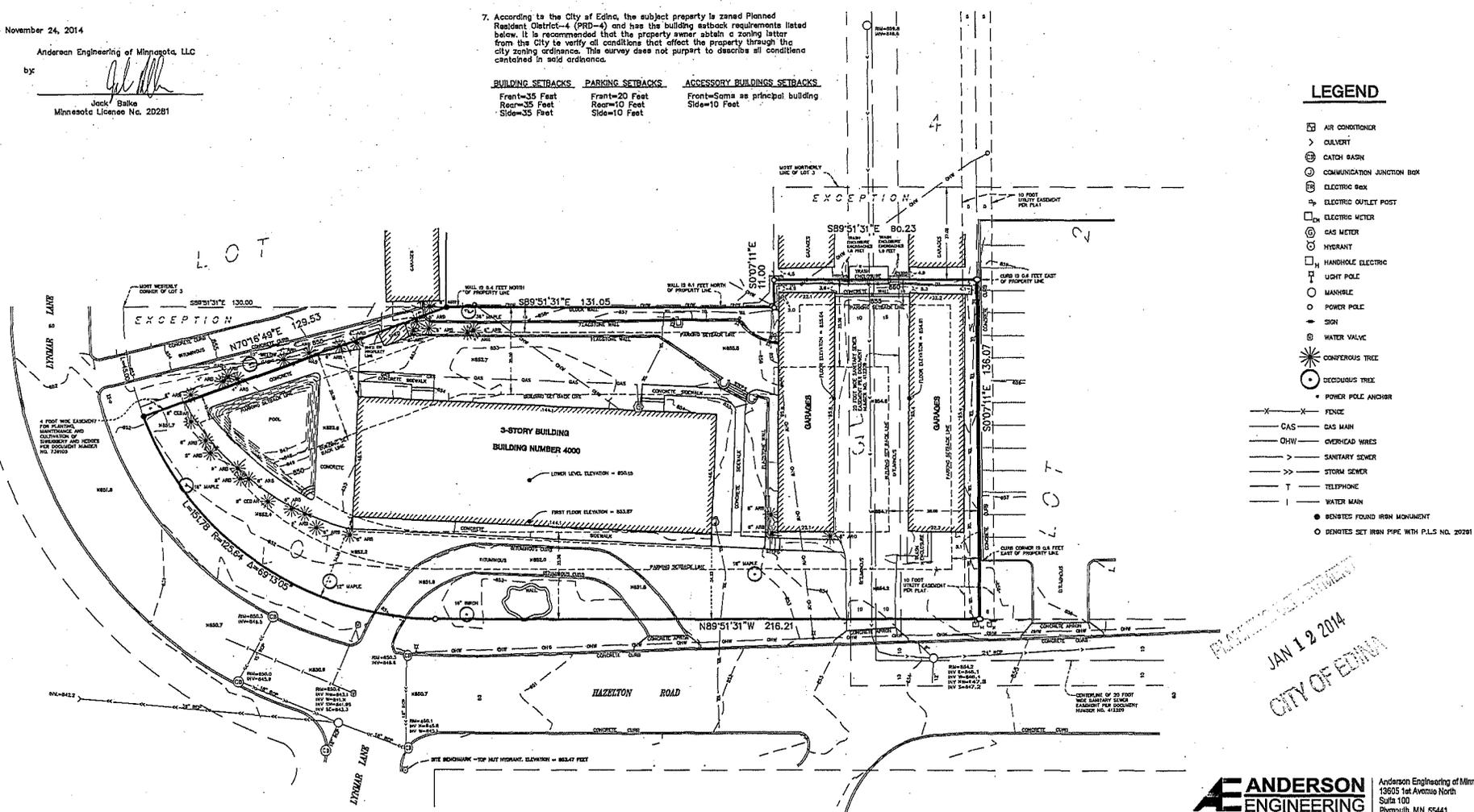
**NOTES:**

- The horizontal datum and basis of bearings is the Hennepin County coordinate system.
- The vertical datum is NAVD 88. The site benchmark is the top nut of the hydrant located at the southeast corner of LYNNAR LANE and HAZELTON ROAD. Elevation = 853.47 feet. (depicted on survey)
- No title work was provided for the preparation of this survey to verify the legal description or the existence of any encumbrances. The property description and easement information are based on Certificate of Title Number 1380889.
- The area of the property described herein is 37,294 square feet or 0.8561 acres.
- The location and extent of underground utilities, if shown, are based upon existing drawings provided by the utility companies, above ground evidence and Copier State One Call markings per ticket number 14322085. There is no guarantee as to the accuracy or the completeness of this information. The size and location should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with Minnesota Statute, the location of utilities shall be confirmed prior to any demolition or construction.
- The tree information shown herein was collected during the field survey by non-forestry trained Anderson Engineering of Minnesota survey personnel. Tree sizes are estimates and locations are accurate to plus or minus three feet.
- According to the City of Edina, the subject property is zoned Planned Resident District-4 (PRD-4) and has the building setback requirements listed below. It is recommended that the property owner obtain a zoning letter from the City to verify all conditions that affect the property through the city zoning ordinance. This survey does not purport to describe all conditions contained in said ordinance.

| BUILDING SETBACKS | PARKING SETBACKS | ACCESSORY BUILDINGS SETBACKS     |
|-------------------|------------------|----------------------------------|
| Front=35 Feet     | Front=20 Feet    | Front=Same as principal building |
| Rear=35 Feet      | Rear=10 Feet     | Side=10 Feet                     |
| Side=35 Feet      | Side=10 Feet     |                                  |



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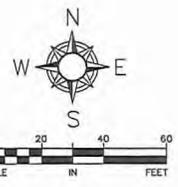
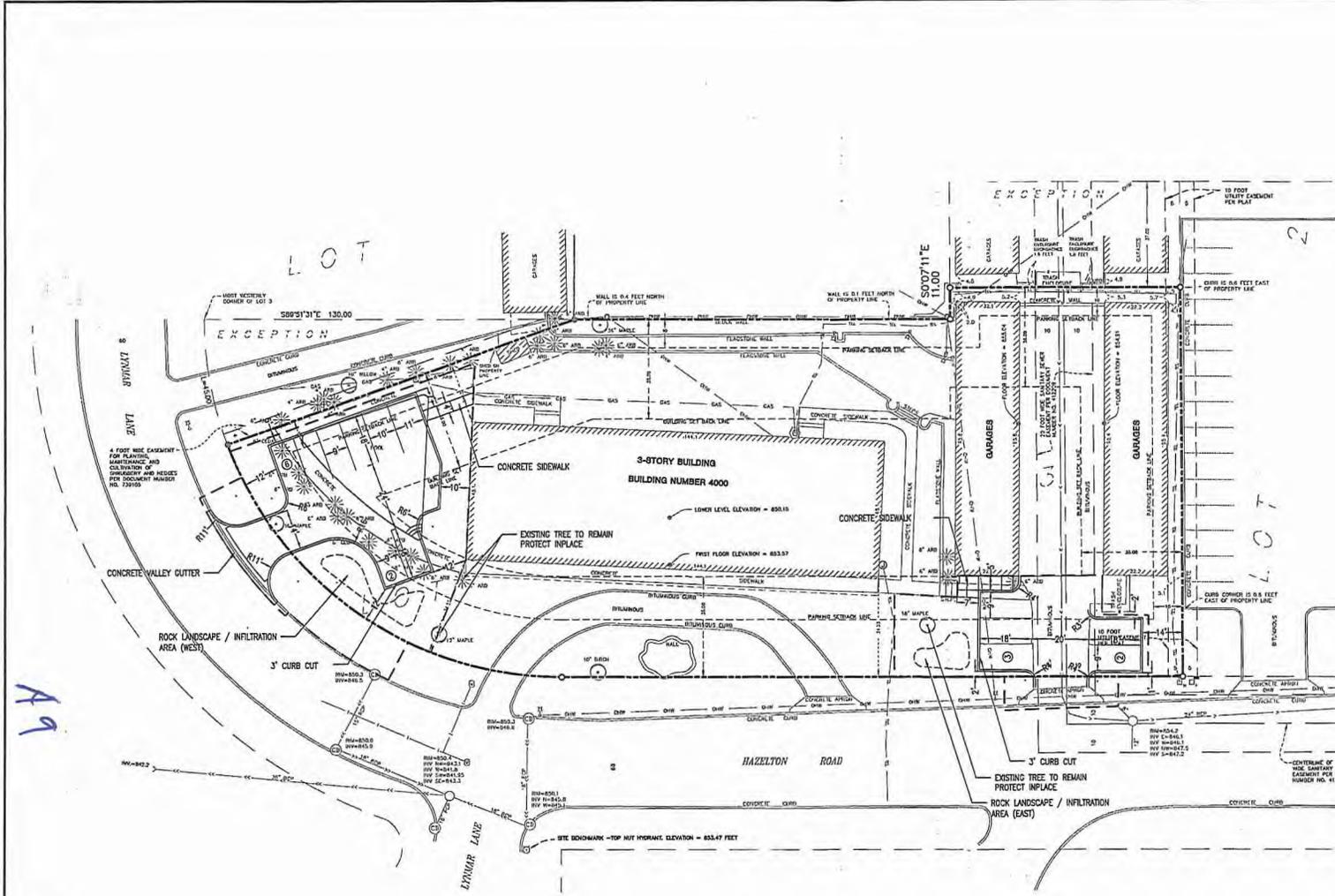


**LEGEND**

- ⊠ AIR CONDITIONER
- > CULVERT
- CATCH BASIN
- ⊞ COMMUNICATION JUNCTION BOX
- ⊞ ELECTRIC BOX
- ⊞ ELECTRIC OUTLET POST
- ⊞ ELECTRIC METER
- ⊞ GAS METER
- ⊞ HYDRANT
- ⊞ HANGHOLE ELECTRIC
- ⊞ LIGHT POLE
- MANHOLE
- POWER POLE
- ⊞ SIGN
- ⊞ WATER VALVE
- ⊞ CONIFEROUS TREE
- ⊞ DECIDUOUS TREE
- ⊞ POWER POLE ANCHOR
- ⊞ FENCE
- ⊞ GAS MAIN
- ⊞ OVERHEAD WIRES
- ⊞ SANITARY SEWER
- ⊞ STORM SEWER
- ⊞ TELEPHONE
- ⊞ WATER MAIN
- REMOVES FOUND IRON MONUMENT
- REMOVES SET IRON PIPE WITH P.L.S. NO. 20281

PLANNING AND ZONING DEPARTMENT  
JAN 12 2014  
CITY OF EDINA

11. 2014-4-20-00  
 C:\Users\jason\Documents\Projects\13751\13751\_001\13751\_001.dwg  
 13751\_001.dwg  
 13751\_001.dwg  
 13751\_001.dwg



- SITE LEGEND:**
- EXISTING PROPERTY LINE / R.O.W.
  - - - BUILDING SETBACK
  - - - PARKING SETBACK
  - ==== 6012 CURB AND GUTTER
  - ROCK LANDSCAPE / RAIN GARDEN
  - CONSTRUCTION LIMITS

- SITE NOTES:**
1. DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB.
  2. CONTINUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A FIVE FOOT TRANSITION.
  3. ALL CONCRETE CURB AND GUTTER ADJACENT TO CONCRETE WALK BE SEPARATED BY A 1/2 INCH EXPANSION JOINT.
  4. ALL CURB AND GUTTER WITHIN R.O.W. TO BE PER CITY STANDARDS.
  5. STRIPING SHALL BE 4 INCH WHITE.
  6. ALL WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY ENGINEERING DESIGN STANDARDS.
  7. ALL CURB AND GUTTER TO BE CONCRETE 6012 CURB UNLESS NOTED OTHERWISE, PER CITY STANDARDS.
  8. ALL CONCRETE WALK TO BE 4" CONCRETE (MNDOT 2521) ON 4" CLASS 5 AGGREGATE BASE (MNDOT 3136).
  9. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING GUTTER GRADES AT THE PROPOSED DRIVEWAYS, PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.

|   |  |             |  |
|---|--|-------------|--|
| 5 |  | DESIGNED:   |  |
| 4 |  | DRAWN:      |  |
| 3 |  | CHECKED BY: |  |
| 2 |  |             |  |
| 1 |  |             |  |

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: ROBERT W. JOHNSON, PE  
 SIGNATURE: NOT FOR CONSTRUCTION (CHECK ONLY)  
 DATE: 01-08-2014 LICENSE # 20547

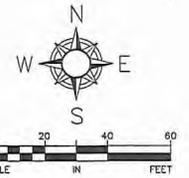


Anderson Engineering of Minnesota, LLC  
 13205 161 Avenue North  
 Suite 100  
 Plymouth, MN 55441  
 763-412-4000 (6) 763-412-4000 (f)  
 www.ae-pel.com

PREMIER PROPERTIES  
 4000 HAZELTON ROAD  
 EDINA, MN 55435

SITE PLAN

|              |       |          |     |
|--------------|-------|----------|-----|
| CONTRACT NO. | 13751 | PLOTTED: |     |
| DRAWING NO.  |       |          |     |
|              |       |          | C-1 |



| WEST PARKING LOT |             |           |        |             |
|------------------|-------------|-----------|--------|-------------|
| PT#              | TOP OF CURB | FLOW LINE | SPOT   | NOTES       |
| G01              | 851.85      | 851.35    |        |             |
| G02              | 852.05      | 851.55    |        |             |
| G03              | 852.21      | 851.71    |        |             |
| G04              | 852.33      | 851.83    |        |             |
| G05              | 852.56      | 852.06    |        |             |
| G06              | 852.42      | 851.92    |        |             |
| G07              | 852.56      | 852.06    |        |             |
| G08              | 852.46      | 851.96    |        |             |
| G09              | 852.40      | 851.90    |        |             |
| G10              | 852.15      | 851.65    |        |             |
| G11              | 851.91      | 851.41    |        |             |
| G12              | 851.85      | 851.35    |        |             |
| G13              | 851.72      | 851.22    |        |             |
| G14              | 851.50      | 851.00    |        |             |
| G15              | 850.80      | 850.80    |        | 3' CURB CUT |
| G16              | 851.32      | 850.82    |        |             |
| G17              | 851.35      | 850.85    |        |             |
| G18              | 851.48      | 850.98    |        |             |
| G19              | 851.54      | 851.04    |        |             |
| G20              | 851.30      | 850.80    |        |             |
| G21              |             |           | 851.40 |             |
| G22              |             |           | 851.58 |             |
| G23              |             |           | 851.23 |             |
| G24              |             |           | 851.28 |             |
| G25              |             |           | 852.00 | MATCH       |
| G26              |             |           | 850.00 | MATCH       |
| G27              |             |           | 850.80 |             |
| G28              |             |           | 850.80 |             |
| G29              |             |           | 849.70 |             |
| G30              |             |           | 849.70 |             |

| EAST PARKING LOT |             |           |        |             |
|------------------|-------------|-----------|--------|-------------|
| PT#              | TOP OF CURB | FLOW LINE | SPOT   | NOTES       |
| G40              | 854.17      | 853.67    |        |             |
| G41              | 854.21      | 853.71    |        |             |
| G42              | 853.97      | 853.47    |        |             |
| G43              | 853.40      | 853.40    |        | 3' CURB CUT |
| G44              | 854.79      | 854.29    |        |             |
| G45              | 855.19      | 854.69    |        |             |
| G46              | 855.42      | 854.92    |        |             |
| G47              | 855.50      | 855.00    |        | MATCH       |
| G48              |             |           | 854.51 | MATCH       |
| G49              |             |           | 855.36 | MATCH       |
| G50              | 855.12      | 854.62    |        |             |
| G51              | 855.09      | 854.59    |        |             |
| G52              | 855.39      | 854.89    |        |             |
| G53              | 854.81      | 854.31    |        |             |
| G54              | 854.59      | 854.09    |        |             |
| G55              | 854.38      | 853.88    |        | MATCH       |
| G56              |             |           | 853.85 | MATCH       |
| G57              |             |           | 853.90 |             |
| G58              |             |           | 853.90 |             |
| G59              |             |           | 855.09 | MATCH       |
| G60              |             |           | 855.08 | MATCH       |
| G61              |             |           | 853.40 |             |
| G62              |             |           | 853.40 |             |
| G63              |             |           | 853.40 |             |
| G64              |             |           | 853.40 |             |

**GRADING LEGEND**

- 100 EXISTING CONTOUR
- 100 PROPOSED CONTOUR
- FFE FIRST FLOOR ELEVATION
- LFE LOW FLOOR ELEVATION
- G01 GRADING POINT
- 18" STORM SEWER
- 18" SILT FENCE
- 18" INLET PROTECTION

**STORMWATER DATA:**

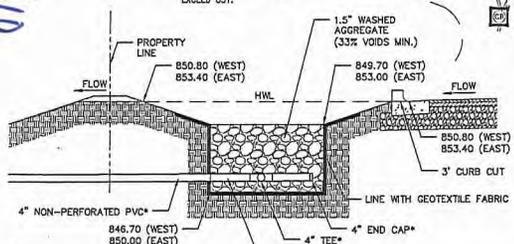
DISTURBED AREA: 0.22 AC  
 NEW IMPERVIOUS AREA: 0.12 AC  
 RETENTION REQUIRED: 429 CF  
 (1" RUNOFF FOR NEW IMPERVIOUS SURFACES)

2.5" RUNOFF VOLUME: 566 CF  
 RETENTION PROVIDED: 1,014 CF

RUNOFF RATES:

|          | EXISTING | PROPOSED |
|----------|----------|----------|
| 2-YEAR   | 1.18 CFS | 1.10 CFS |
| 10-YEAR  | 2.82 CFS | 2.32 CFS |
| 100-YEAR | 5.22 CFS | 5.19 CFS |

- GRADING NOTES:**
- ALL PAVEMENTS SHALL SLOPE AWAY FROM EXISTING BUILDING.
  - THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY.
  - NOTIFY Gopher State One Call, at (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
  - ALL IMPROVEMENTS TO CONFORM WITH CITY AND COUNTY CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
  - ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
  - CONTRACTOR TO KEEP A COPY OF THE FINAL DRAINAGE REPORT ON SITE AT ALL TIMES.
  - CONTRACTOR TO SEED ALL ROUGH GRADED AREAS & FUTURE PAD SITES WITH APPROVED MNDOT TEMPORARY SEED MIX.
  - SURVEYOR TO VERIFY BENCHMARK ELEVATION PRIOR TO START OF CONSTRUCTION.
  - STRIP TOPSOIL PRIOR TO CONSTRUCTION. REUSE STOCKPILE ON SITE.
  - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
  - CONTRACTOR TO DETERMINE MINIMUM MATERIAL AND STRENGTH OF PERFORATED PIPE WITH MANUFACTURER SPECIFICATIONS TO PROPERLY SUSTAIN INSTALLATION IN ROCK.



- NOTES:**
- KEEP HEAVY EQUIPMENT OFF ROCK LANDSCAPE / INFILTRATION AREA TO AVOID SOIL COMPACTION.
  - PRIOR TO LANDSCAPE INSTALLATION, CONTRACTOR SHALL RIP ROCK LANDSCAPE / INFILTRATION AREA TO A MINIMUM DEPTH OF 18 INCHES.
  - MAINTAIN PERIMETER LANDSCAPE TO A NEAT APPEARANCE ANNUALLY. REMOVE LANDSCAPE DEBRIS EVERY SPRING.
  - WEST INFILTRATION AREA ONLY

**ROCK LANDSCAPE / INFILTRATION AREA**

NOT TO SCALE

|   |  |             |  |
|---|--|-------------|--|
| 5 |  | DESIGNED:   |  |
| 4 |  | DRAWN:      |  |
| 3 |  | CHECKED BY: |  |
| 2 |  |             |  |
| 1 |  |             |  |

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: ROBERT J. JENSEN, PE  
 SIGNATURE: NOT FOR CONSTRUCTION (REVIEW ONLY)



Anderson Engineering of Minnesota, LLC  
 13855 1st Avenue North  
 Suite 100  
 Plymouth, MN 55441  
 763-412-4000 (o) 763-412-4000 (f)

PREMIER PROPERTIES  
 4000 HAZELTON ROAD  
 EDINA, MN 55435

**GRADING PLAN**

COMM. NO. 13751  
 PLOTTED:  
 DRAWING NO.  
 C-2

**STORM WATER POLLUTION PREVENTION PLAN NOTES:**

- GRADING CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION WHERE UTILITIES ARE LOCATED BY STATE ONE-CALL SERVICE. THE CONTRACTOR SHALL EMPLOY A LOCATOR AT OWN EXPENSE.
- ALL EROSION CONTROL MEASURES CALLED FOR ON THESE PLANS AND SPECIFICATIONS, WHICH MAY INCLUDE SILT FENCE, SEDIMENTATION BASINS OR TEMPORARY SEDIMENT TRAPS, SHALL BE CONSTRUCTED AND SERVICEABLE IN THE FOLLOWING ORDER:
  - ROCK CONSTRUCTION ENTRANCES (A MINIMUM OF 50 FEET)
  - SILT FENCE
  - COMMON EXCAVATION AND EMBANKMENT (GRADING)
  - SEED AND MULCH OR SOD
  - BIO-RDLL BARRIERS, EROSION CONTROL BLANKETS, AND DITCH CHECKS IN FINISHED GRADED AREAS
  - INLET AND OUTLET FACILITIES SUBSEQUENT TO STORM SEWER WORK
- GRADING CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY AND NPDES PHASE II PERMITTING REQUIREMENTS AS WELL AS EROSION CONTROL MEASURES AS MAY BE SHOWN ON THESE PLANS OR SPECIFICATIONS. GRADING CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED TO PROTECT ADJACENT PROPERTY.
- ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR DURING GRADING OPERATIONS. ANY TEMPORARY FACILITIES WHICH ARE TO BE REMOVED AS CALLED FOR ON THESE PLANS AND SPECIFICATIONS SHALL BE REMOVED BY THE GRADING CONTRACTOR WHEN DIRECTED BY THE COR AFTER TURF ESTABLISHMENT. THE GRADING CONTRACTOR SHALL THEN RESTORE THE SUBSEQUENTLY DISTURBED AREA IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- THE GRADING CONTRACTOR SHALL SCHEDULE THE TESTING LABORATORY SO THAT CERTIFICATION OF ALL FILLS WILL BE FURNISHED TO THE OWNER DURING AND UPON COMPLETION OF THE PROJECT.
- ALL DISTURBED AREAS, EXCEPT AREAS TO BE PAVED AND/OR SPECIFICALLY DESIGNED BY A LANDSCAPE PLAN, SHALL BE COVERED WITH A MINIMUM 6" OF TOP SOIL. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AT THE PRESCRIBED RATES WITHIN 72 HOURS OF FINAL GRADING UNLESS OTHERWISE NOTED.

ALL EXPOSED SOIL AREAS WITH A CONTINUOUS POSITIVE SLOPE WITHIN 200 LINEAL FEET OF ANY SURFACE WATER, MUST HAVE TEMPORARY EROSION PROTECTION OR PERMANENT COVER FOR THE EXPOSED SOIL AREAS YEAR ROUND, ACCORDING TO THE FOLLOWING TABLE OF SLOPES AND TIME FRAMES.

| TYPE OF SLOPE     | TIME*   |
|-------------------|---------|
| STEEPER THAN 3:1  | 7 DAYS  |
| 10:1 TO 3:1       | 14 DAYS |
| FLATTER THAN 10:1 | 14 DAYS |

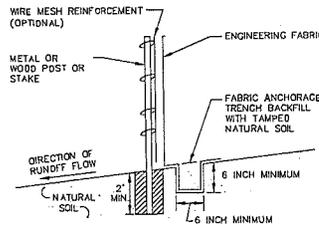
\*MAXIMUM TIME AN AREA CAN REMAIN OPEN WHEN THE AREA IS NOT ACTIVELY BEING WORKED.

- THE EXISTING TOPOGRAPHY AND CONTOUR ELEVATIONS SHOWN ON THE PLANS ARE PROVIDED AS CURRENT AND ACCURATE. CONTRACTOR TO FIELD VERIFY SITE CONDITIONS.
- CONTRACTORS GRADING AND EROSION CONTROL OPERATIONS SHALL TAKE PLACE WITHIN THE CONSTRUCTION LIMITS.
- IT IS REQUIRED THAT SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES BE CLEANED DAILY FROM PAVED ROADWAY SURFACES THROUGHOUT THE DURATION OF CONSTRUCTION. PAVED ROADS WITH TRACKED SEDIMENT SHALL BE SWEEPED DAILY WITH A PICK-UP STYLE BROOM.
- PROVIDE TEMPORARY SEDIMENTATION BASIN AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL VERIFY OR OBTAIN ALL NECESSARY PERMITS PRIOR TO GRADING ACTIVITY. ALL FEES FOR PERMITS YET TO BE OBTAINED AND FINES PERTAINING TO STORM WATER MANAGEMENT INCLUDING THE WATERSHED, LOCAL, STATE, AND NATIONAL, ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- DEWATERING AND/OR BASIN DRAINING DISCHARGE SHALL BE DIRECTED TO SEDIMENTATION BASINS WHEREVER POSSIBLE. ALL DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION & SCOUR THROUGH USE OF APPROVED ENERGY DISSIPATION DEVICES.
- ALL SOLID WASTE/ CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL & STATE REQUIREMENTS. HAZARDOUS MATERIALS SHALL BE STORED/ DISPOSED OF IN COMPLIANCE WITH LOCAL REGULATIONS.
- THE WORK TO MAINTAIN CONFORMANCE WITH THE CITY AND NPDES IF PERMIT REQUIREMENTS, SHALL CONSIST OF OPERATIONS NECESSARY TO RAPIDLY STABILIZE SMALL CRITICAL AREAS TO PREVENT OFF SITE SEDIMENTATION AND/OR TO COMPLY WITH PERMIT REQUIREMENTS. THE WORK MAY BE PERFORMED AT ANY TIME DURING THE CONTRACT AND DURING NORMAL WORKING HOURS. THIS WORK WILL BE CONDUCTED ON SMALL AREAS THAT MAY OR MAY NOT BE ACCESSIBLE WITH NORMAL EQUIPMENT. THIS WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE MINNESOTA DOT STANDARD SPECIFICATIONS, THE DETAILS SHOWN IN THE PLANS, AND THE FOLLOWING:
 

THERE ARE FIVE STABILIZATION METHODS APPROVED FOR THESE OPERATIONS. THESE METHODS MAY BE CONDUCTED INDEPENDENTLY OR IN COMBINATION.

METHOD #1 APPLY TYPE 1 MULCH AND DISC ANCHOR  
 METHOD #2 APPLY TYPE 1 MULCH AND TACK WITH TYPE 5 HYDRAULIC SOIL STABILIZER  
 METHOD #3 HYDROSPREAD SEED, FERTILIZER AND TYPE 5 HYDRAULIC SOIL STABILIZER  
 METHOD #4 HAND INSTALL SEED, FERTILIZER AND EROSION CONTROL BLANKET CATEGORY 3  
 METHOD #5 PLACE GEOTEXTILE AND RIP RAP IN VARIOUS CONFIGURATIONS

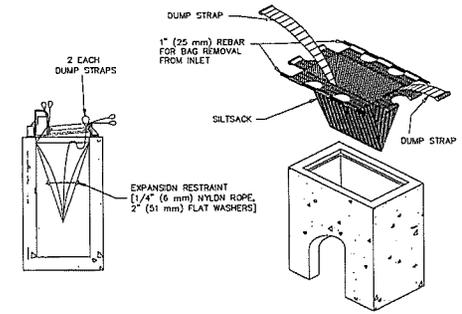
THESE EFFORTS WILL BE INCIDENTAL TO THE PROJECT.
- CONTRACTOR SHALL PROVIDE A TEMPORARY SEDIMENTATION BASIN ON SITE FOR CONSTRUCTION WASH OUT USE. TEMPORARY BASIN SHALL BE LOCATED AS TO PROVIDE EASY ACCESS FOR CONSTRUCTION VEHICLES AND CONCRETE TRUCKS AS NECESSARY. CONCRETE WASHOUT REQUIRED FOR EQUIPMENT AND CONCRETE WASHING.
- INLET SEDIMENTATION CONTROL IS TO BE PROVIDED TO ALL STORM SEWER CATCH BASINS THROUGHOUT CONSTRUCTION. MEASURES APPLIED SHALL BE APPROPRIATE FOR EACH PHASE OF CONSTRUCTION.
- INSPECT EROSION CONTROL MEASURES ROUTINELY AND FREQUENTLY AND PER LOCAL STATE AND PERMIT REQUIREMENTS.
- CONTRACTOR TO PROVIDE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION ACTIVITY AND MODIFY ACCORDINGLY DURING CONSTRUCTION PHASING. ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AFTER CONSTRUCTION.



NOTE: - DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH THE WIRES, OR WOOD POSTS WITH STAPLES.

TYPICAL INSTALLATION

**1 EROSION CONTROL FENCE**  
C-2 NOT TO SCALE



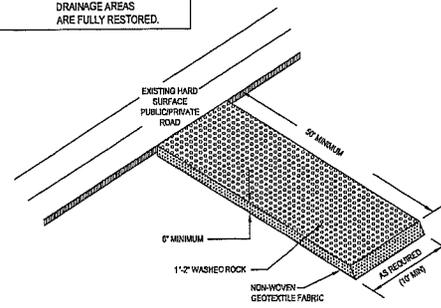
NOTE: - TO BE UTILIZED AT ALL INLETS WHEN PAVEMENT OR GRAVEL BASE IS IN PLACE.

**2 INLET PROTECTION - SILT SACK**  
C-2 NOT TO SCALE

| ITEM                 | INSTALLATION                               | INSPECTION & MAINTENANCE   | REMOVAL  |
|----------------------|--|--|--|
| SILT FENCE           | PRIOR TO COMMENCE OF EARTHWORK OPERATIONS. | INSPECT & MAINT. AFTER EACH RUN-OFF EVENT. REMOVE SEDIMENTS AS REQUIRED. | AFTER TRIBUTARY DRAINAGE AREA IS RESTORED.         |
| ROCK CONST. ENTRANCE | PRIOR TO ANY EARTHWORK OPERATIONS          | INSPECT REGULARLY. MAINTAIN AS NEEDED.                                   | PRIOR TO PAVING OR AFTER CONSTRUCTION ACTIVITIES.  |
| LANDSCAPE SOD        | AFTER FINAL GRADING OPERATIONS             | INSPECT REGULARLY. MAINTAIN AS NEEDED.                                   | NONE   |
| INLET PROTECTION     | PRIOR TO COMMENCE OF EARTHWORK OPERATIONS  | WHEN 1/3 CAPACITY OF BMP IS REACHED                                      | AFTER TRIBUTARY DRAINAGE AREAS ARE FULLY RESTORED. |

NOTES:

- ESTABLISH STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INITIATION OF SITE CONSTRUCTION ACTIVITIES.
- CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT WATERBODIES.
- CARE SHOULD BE TAKEN TO MAINTAIN EXISTING ROADSIDE DRAINAGE VIA CULVERT INSTALLATION.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ADJACENT ROADS AND PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN VISIBLE DIRT AND DEBRIS ARE CARRIED ONTO ADJACENT ROADS OR AS REQUIRED BY THE COR, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO ADJACENT ROADS.
- WHEEL WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR BASIN.
- EXTEND GEO-TEXTILE FABRIC 2' BEYOND ROCK ON THREE SIDES.
- A MUD MAT IS AN ALTERNATIVE CONSTRUCTION ENTRANCE TO CONTROL MUD AND SOIL CARRIERS. SUBMIT SHOP DRAWING FOR APPROVAL PRIOR TO BEGINNING WORK.



**3 ROCK CONSTRUCTION ENTRANCE**  
C-2 N.T.S.

|   |              |  |
|---|--------------|--|
| 5 | DESIGNED BY: | I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. |
| 4 | DRAWN BY:    |  |
| 3 | CHECKED BY:  |  |
| 2 | PRINT NAME:  | ROBERT J. JENSEN, PE   |
| 1 | SIGNATURE:   | NOT FOR CONSTRUCTION (REVIEW ONLY)   |

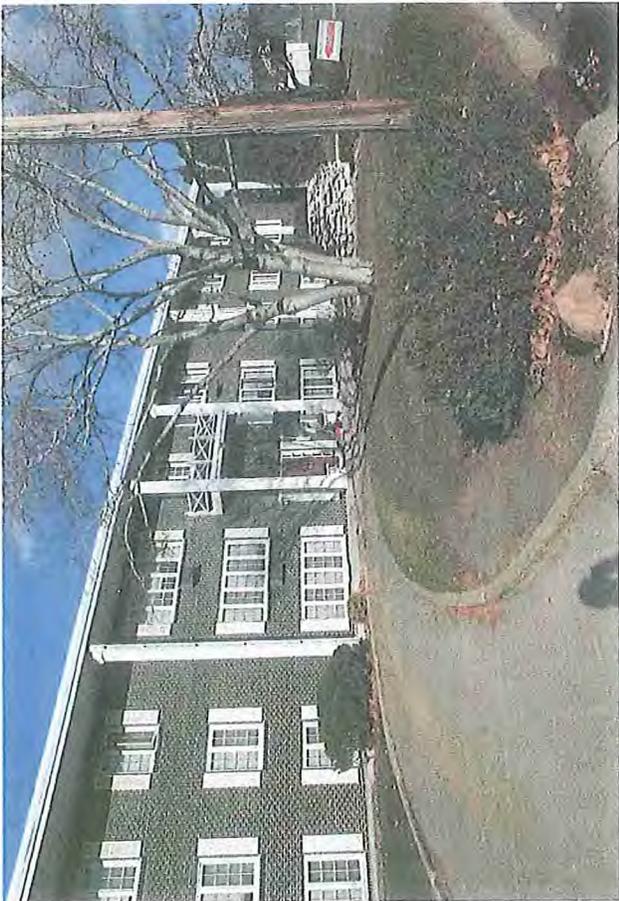
**ANDERSON ENGINEERING**  
 ANDERSON ENGINEERING OF MINNESOTA, LLC  
 13005 1st Avenue North  
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 763-412-4000 (t) 763-412-4096 (f)  
 www.ae-mn.com

PREMEIR PROPERTIES  
 4000 HAZELTON ROAD  
 EDINA, MN 55435

EROSION & SEDIMENT CONTROL  
 NOTES & DETAILS

|             |         |
|-------------|---------|
| COMM. NO.   | 13751   |
| PLOTTED:    | 1:37:51 |
| DRAWING NO. | C-3     |

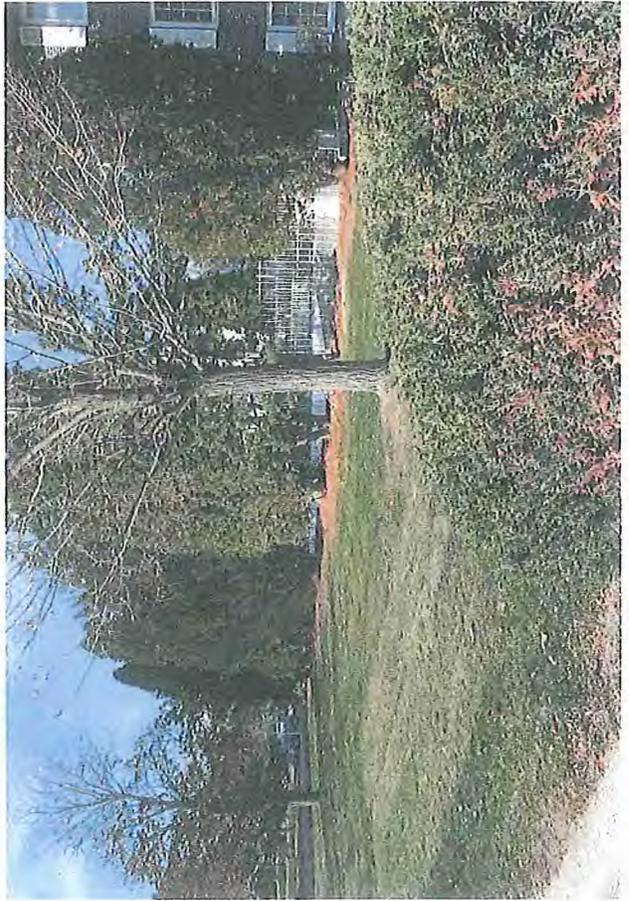




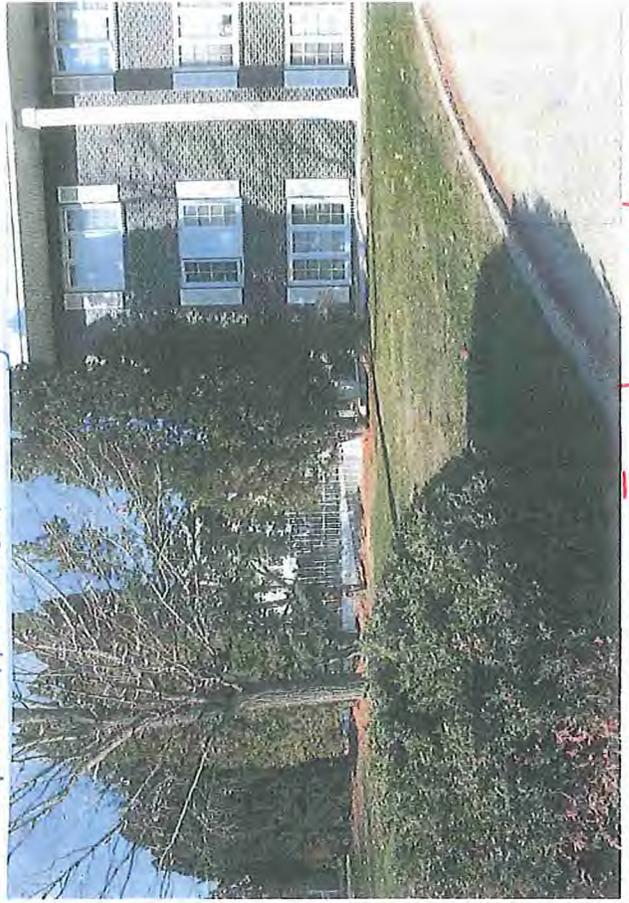
4000 Hazelton



4000 Hazelton Looking west



4000 Hazelton pool



Existing site



A14



All 4 are 4000 Hazeltan Pool



A15



NO PARKING  
ENDS  
HERE

A16



127



4000 Parklawn



4351 Parklawn



4415 Parklawn



4480 Parklawn



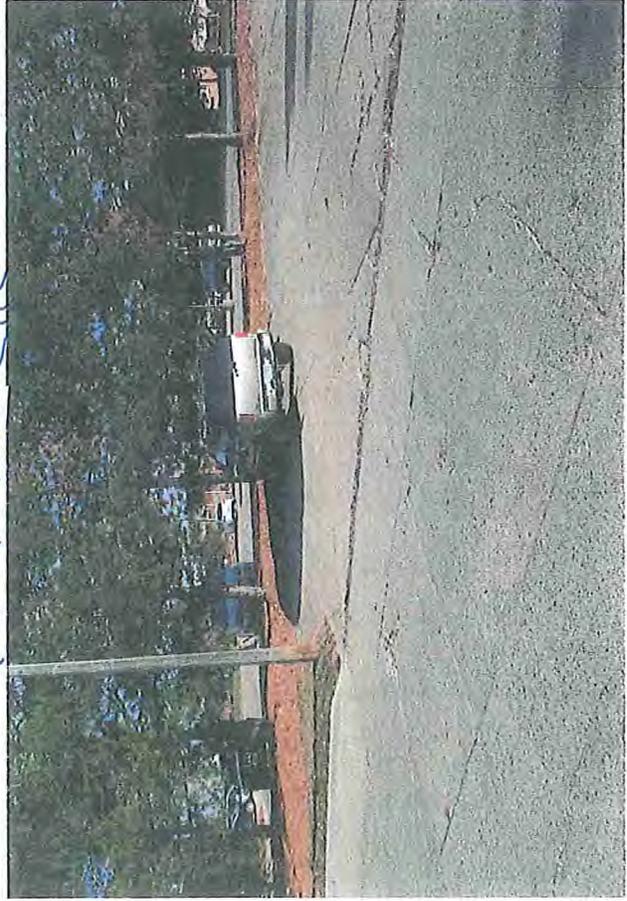
7101 Lynmar



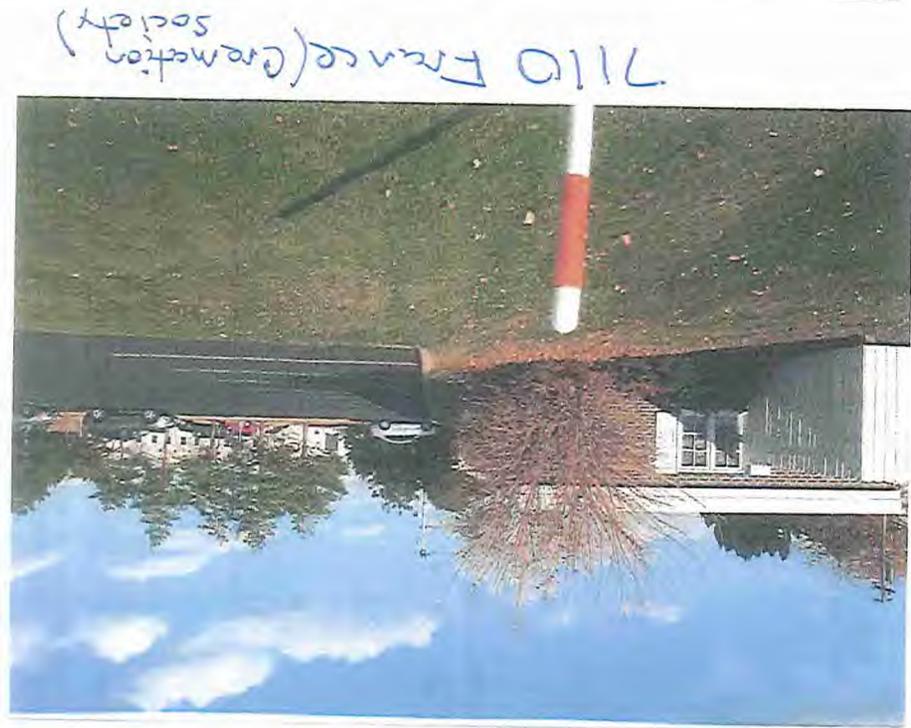
7101 Lynmar



4001 Mavelle



4001 Mavelle



7110 France (Creation Society)



7235 France

024



6996 France



6996 France



**DATE:** February 5, 2015

**TO:** Cary Teague – Planning Director

**CC:** Chad Millner – City Engineer  
Ross Bintner – Environmental Engineer

**FROM:** Charlie Gerk EIT - Environmental Engineer Technician

**RE:** **4000 Hazelton Road - Variance Review**

The Engineering Department has reviewed the subject property for street and utility concerns, grading, storm water, erosion and sediment control and for general adherence to the relevant ordinance sections. This review was performed at the request of the Planning Department; a more detailed review will be performed at the time of building permit application.

#### *Survey*

No comments

#### *Soils*

1. A soil boring will be required to determine proper infiltration rate.

#### *Details*

No comments

#### *Traffic and Street*

2. Curb cut permit will be required for new curb cut. Follow standards in curb cut permit application: [http://edinamn.gov/edinfiles/files/City\\_Offices/Public\\_Works/CurbCutApplication.pdf](http://edinamn.gov/edinfiles/files/City_Offices/Public_Works/CurbCutApplication.pdf)

#### *Sanitary and Water Utilities*

No Comments

#### *Storm Water Utility*

3. Rate control structure will need to be in the rain garden, not placed in the storm sewer structure.
4. Meet Nine Mile Creek Watershed requirements.
5. The city storm sewer structure located on the southwest side of the project that is proposed to have the 4" perforated pipe connected to it will need to have a new type 3067 casting installed.
6. 4" perforated pipe in public right of way to remain private and the responsibility of the projects owner.

#### *Grading, Erosion and Sediment Control*

7. The area 100-year flood elevation for sub-watershed LE\_24 is 853'. No fill is allowed below this elevation without and equal cut on site.

#### *Other Agency Coordination*

8. Nine Mile Creek Watershed permit is required prior to issuance of any building permit or grading permit.

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#### **ENGINEERING DEPARTMENT**

7450 Metro Boulevard • Edina, Minnesota 55439  
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392

421