



## PLANNING COMMISSION STAFF REPORT

Originator <b>Cary Teague</b> Community Development Director	Meeting Date <b>November 12, 2014</b>	Agenda # <b>VII.D.</b>
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### INFORMATION/BACKGROUND

#### Project Description

The applicant, 7200 LLC is requesting to redevelop the property at 7200 France. (See property location on pages A1-A5.) The proposal is to tear down the existing office building on the site, and redevelop it with a four and five-story mixed use development project that would include the following:

- 160 unit luxury apartment, 32 units of which would be for affordable housing.
- 20,000 square feet of retail space including two restaurants and retail/office space.
- A two-level, 500 stall underground parking ramp.

The retail space would be located on the France Avenue side of the project. Access to the retail space would be off France Avenue. Access to the residential use would be off 72<sup>nd</sup> Street. The existing vegetation and trees on the west side of the site would remain to provide screening from the residential area to the west. (See applicant narrative and plans on pages A13 – A56 and in the attached development plan book.)

To accommodate the request, three amendments to the Comprehensive Plan are required:

- Building Height – from 4 stories and 48 feet to 5 stories and 76.5 feet.
- Housing Density – from 30 units per acre to 50 units per acre.
- Floor Area Ratio – from .5 to 1.49.

In addition, the following land use applications are requested:

- Preliminary Rezoning from POD-1, Planned Office District to PUD, Planned Unit Development; and
- Preliminary Development Plan.

This "preliminary" review is the first step of a two-step process of City review. Should the Comprehensive Plan Amendment and the Preliminary Rezoning be approved by the City Council; the second step would be Final Rezoning to PUD and Final Site Plan review which would again require review by both the Planning Commission and City Council. A Zoning Ordinance Amendment to establish the PUD District would be included in the second step.

The applicant has gone through the Sketch Plan process before the Planning Commission and City Council. (See the sketch plans on pages A57–A61; and the minutes from those meetings on pages A62–A67.) The applicant has developed the proposed plans by attempting to address the issues raised by the Planning Commission and City Council at Sketch Plan. Some of the most significant changes include:

- Reduction in the number of units from 195 to 160.
- Reducing the building height from 6 stories to 5; and reduced the townhome height on the west side from 4 to 3 stories.
- Reducing floor area ratio from 1.88 to 1.49.
- Increased the podium height on France by 10 feet.
- Increased landscaping.
- Created a green boulevard on 72<sup>nd</sup> Street which serves to prevent left turn out movements from the site. This would eliminate some traffic in the low density residential area to the west.
- Increased the setback on the west boundary from 60 feet to 75 feet.
- Reduced the commercial space from 26,500 to 20,000 square feet.

## **SUPPORTING INFORMATION**

### **Surrounding Land Uses**

- Northerly: Sunrise Senior Assisted Living; zoned PSR, Planned Senior Residential District and guided Office Residential.
- Easterly: Macy's Home Store; zoned PCD-3, Planned Commercial District and guided CAC, Community Activity Center. (See pages A3–A5.)
- Southerly: An Office Building; zoned Planned Office District and guided Office Residential.
- Westerly: Duplexes and single family homes; zoned R-1 & R-2, Single and Double Dwelling Unit District and guided Low Density Residential.

### **Existing Site Features**

The subject property is 3.51 acres in size, contains a multi-story office building with a low drainage area on the west side of the property that is wooded. (See page A2.)

## **Planning**

Guide Plan designation: OR – Office Residential. (See page A5.)  
Zoning: POD-1, Planned Office District (See page A3.)

## **Site Circulation**

Access to the commercial portion of the development would be from France Avenue only. A new curb cut to France would be required. France Avenue is a County roadway, therefore would require Hennepin County approval. This access would be right-in and right-out only and would lead to the underground parking area. (See page A22.) There is an existing turn in lane on France Avenue that would remain. This could be used as a drop off area, and valet parking.

Hennepin County has provided a preliminary review of the plans, and has indicated that they would not approve the right-in and right-out access to the retail, and would like to eliminate the existing turn in lane on France Avenue. Should these access points not be allowed; the entire project may have to be re-configured.

Access to the residential portion of the development would be from 72<sup>nd</sup> Street. There would be full access in, and right out only. (See page A22.)

Extensive pedestrian paths are planned for the site. A new north/south sidewalk, separated from the street, would be created along France Avenue. As recommended in the Sketch Plan review, the sidewalk has been separated from the turn in lane along France Avenue.

A new east/west sidewalk, separated from the street would be built along 72<sup>nd</sup> Street. (See page A21.) There would also be an interior circular sidewalk in the court yard area inside the residential portion of the site. (See page A21.)

## **Traffic & Parking Study**

Wenck and Associates conducted a traffic study. (See the attached study on pages A\_73–A94.) The study concludes that the proposed development could be supported by the existing adjacent roadways. There would not be a change to the current level of service on the roads. No improvements would be needed to the roadway, other than what is proposed on 72<sup>nd</sup> Street.

However, as mentioned above, Hennepin County has indicated that they would not allow the access on France Avenue as proposed. Any condition of approval would require County approval or a re-working of the development to provide other access points off 72<sup>nd</sup>.

## **Shadow Study**

The applicant completed a shadow study to determine impacts the height of the building might have on the surrounding area. (See pages A54–A56.) As demonstrated, the biggest impact would only be for a few hours roughly from 9 am to noon in the winter months when shadows would be cast over the single family homes to the northwest. (See page A54.)

## **Landscaping**

Based on the perimeter of the site, the applicant is required to have 40 over story trees and a full complement of understory shrubs. The applicant is proposing 77 overstory trees, including existing and proposed. The trees would include a mixture of Oak, Maple, Hackberry, Spruce, Honeylocust Aspen, and Linden. (See pages A36–A37, and the development plan book.) A full complement of understory landscaping is proposed around the buildings. Final Landscaping would be more closely reviewed with the Final Site Plan. The west side of the property is a wooded area that would remain to provide a natural buffer area to the low-density residential area to the west.

## **Loading Dock/Trash Enclosures**

Loading for both the retail and residential space would take place from the courtyard area, and would be located inside the building. (See page A22.) Trash would be collected within the buildings and would also pick up from within the courtyard area.

## **Grading/Drainage/Utilities**

The city engineer has reviewed the proposed plans and has a few concerns. (See the engineer's memo on pages A68-A72.) These issues should be addressed at the time of Final Plan review.

Any approvals should be conditioned on the conditions outline in the director of engineering's memo dated November 3, 2014.

## **Building/Building Material**

The building would be constructed of brick, limestone, stucco, composite panels, precast concrete, and glass; "Edina" limestone is proposed at the street level on France Avenue. (See renderings on pages A17–A19 and A23-A26.) A materials board would be presented at the Final Site Plan phase.

## Signage

The underlying zoning of the property would be POD-1, therefore, would be subject to signage requirements of that zoning district. Should this project be approved by the City Council; staff would recommend a full signage plan be submitted as part of the Final Development Plan. Plans should specifically include location and size of monument signs and way finding signage. Specific signage regulations would be incorporated into the PUD Zoning District including way finding signage.

## Setback from Single Family Homes

Within the underlying POD-1 zoning district, the Edina City Code requires that buildings five stories tall be required to be setback twice the height of the building from the property line of single family homes. The five-story portion of the building would be setback 320 feet from the nearest R-1 property. (See page A2a.) Based on the height of the five-story portion of the building, the required setback is 153 feet.

## Comprehensive Guide Plan/Density

To accommodate the request, three amendments to the Comprehensive Plan are requested:

- Building Height – from 4 stories and 48 feet to 5 stories and 76.5 feet.
- Housing Density – from 30 units per acre to 50 units per acre.
- Floor Area Ratio – from .5 to 1.49.

**Density.** The proposed density of 50 units per acre exceeds the density range for the City's Office Residential area in the Comprehensive Plan by 20 units per acre. (See recent Comprehensive Plan Amendment for Approved Density in the OR District on page A10.) The proposed 50 units per acre density is on the higher end of existing development, but generally consistent with recent development projects.

Development	Address	Units	Units Per Acre
Yorktown Continental (Senior Housing)	7151 York	264	45
The Durham	7201 York	264	46
6500 France (Senior Housing)	6500 France	179	76
York Plaza Condos	7200-20 York	260	34
York Plaza Apartments	7240-60 York	260	29

Edina Place Apartments	7300-50 York	139	15
Walker Elder Suites (Senior)	7400 York	72	40
7500 York Cooperative	7500 York	416	36
Edinburgh Condos	76xx York	392	36
South Haven	3400 Parklawn	100	42
69 <sup>th</sup> & York Apartments	3121 69 <sup>th</sup> Street	114	30
Lennar	6725 York	240	52
71 France (Byerly's)	71 France	234	23
Beacon	66 France	39	43

The applicant has attempted to address the density concern that was raised at the Sketch Plan review by reducing the number of units from 190 to 160.

**Floor Area Ratio (FAR).** The proposed floor area ratio is 1.49. Under the current zoning district regulations of the POD-1 District, the maximum FAR allowed is .5. The applicant has attempted to address the FAR concern raised at Sketch Plan by reducing the floor area ratio from 1.88 to 1.49.

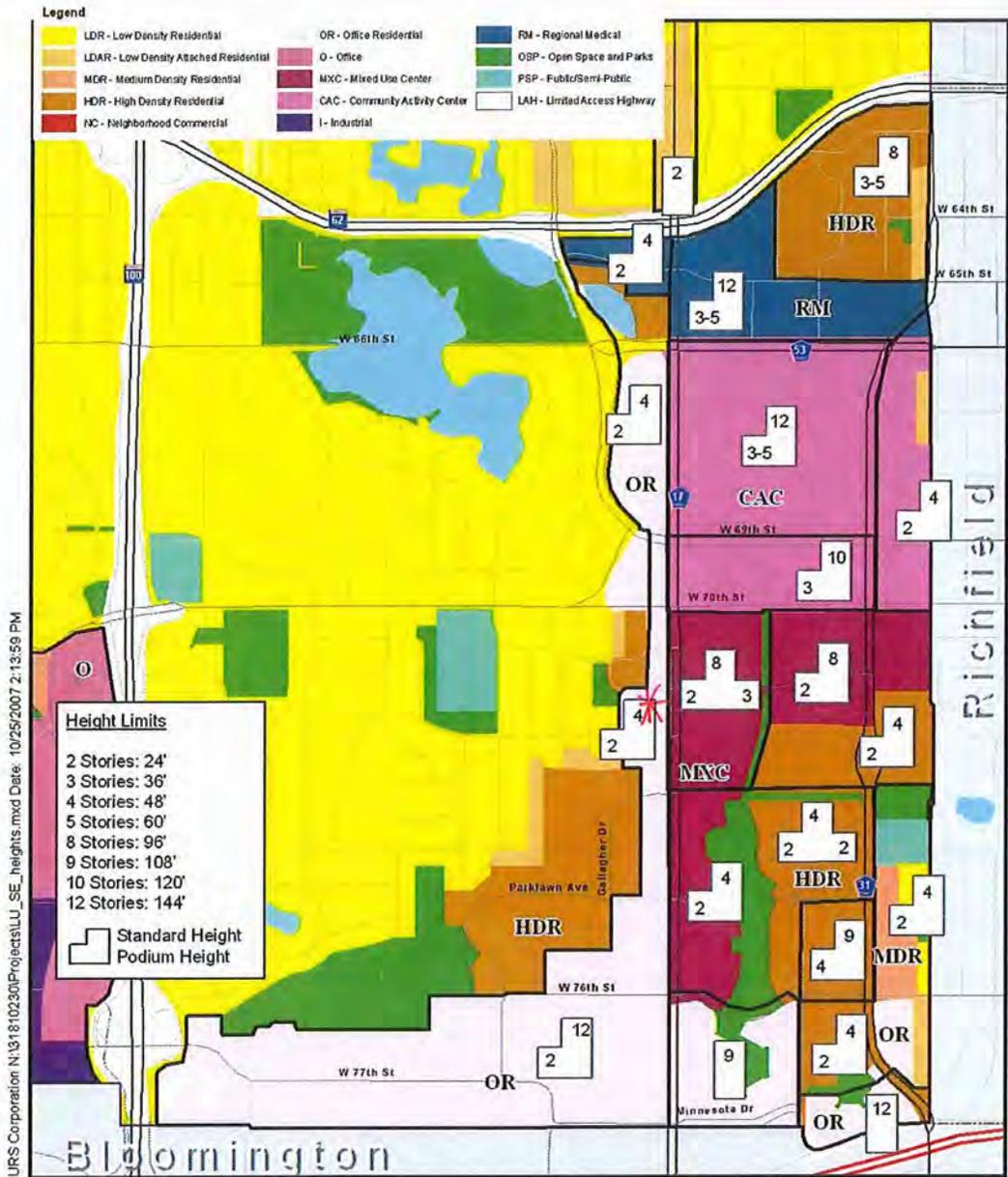
Based on the above information, the following is the suggested Comprehensive Plan Amendment language, as recommended by staff. The text highlighted in red would be added to the existing text. Staff would further suggest flexibility in regard to density for housing in the CAC District.

Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
<p><b>OR</b></p> <p><b>Office-Residential</b></p> <p>No current examples in City. Potential examples include Pentagon Park area and other I-494 corridor locations</p>	<p>Transitional areas along major thoroughfares or between higher-intensity districts and residential districts. Many existing highway-oriented commercial areas are anticipated to transition to this more mixed-use character.</p> <p>Primary uses are offices, attached or multifamily housing.</p> <p>Secondary uses: Limited retail and service uses (not including "big box" retail), limited industrial (fully</p>	<p>Upgrade existing streetscape and building appearance, improve pedestrian and transit environment.</p> <p>Encourage structured parking and open space linkages where feasible; emphasize the enhancement of the pedestrian environment.</p>	<p>12-30 residential dwelling** units/acre</p> <p>Floor to Area Ratio-Per current Zoning Code: maximum of 0.5 to 1.0**</p> <p><b>** Residential density may be increased to 50 units per acre and 1.5 floor area ratio with the provision of a minimum of 20% of the dwelling units being for affordable housing as defined by the Metropolitan Council.</b></p>

	enclosed), institutional uses, parks and open space. Vertical mixed use should be encouraged, and may be required on larger sites.		
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Using the above amended text as a basis for review of the subject project, a case could be made to support the proposed high density through the PUD Zoning process.

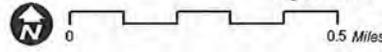
**Height.** At Sketch Plan review, the Planning Commission and City Council expressed some concern in regard to six-stories on the site. Podium height was recommended to minimize the height. The applicant has attempted to address the issue by increasing the podium height on France by 10 feet; and reduced the height from six-to-five stories. (See comparison on page A27.) Should the Planning Commission and City Council choose to support the proposed height increase; staff would recommend the following amendment to the Comprehensive Plan:



**City of Edina**  
2008 Comprehensive Plan Update

Data Source: URS

**Future Land Use Plan with Building Heights**  
Southeast Quadrant  
Figure 4.6B



**\* Height may be increased to five stories if podium height is utilized on France Avenue and adjacent to low-density residential uses.**

## Planned Unit Development (PUD)

Section 36-253 of the Edina City Code provides the following regulations for a PUD:

1. ***Purpose and Intent. The purpose of the PUD District is to provide comprehensive procedures and standards intended to allow more creativity and flexibility in site plan design than would be possible under a conventional zoning district. The decision to zone property to PUD is a public policy decision for the City Council to make in its legislative capacity. The purpose and intent of a PUD is to include most or all of the following:***
  - a. ***provide for the establishment of PUD (planned unit development) zoning districts in appropriate settings and situations to create or maintain a development pattern that is consistent with the City's Comprehensive Plan;***
  - b. ***promote a more creative and efficient approach to land use within the City, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the City;***
  - c. ***provide for variations to the strict application of the land use regulations in order to improve site design and operation, while at the same time incorporate design elements that exceed the City's standards to offset the effect of any variations. Desired design elements may include: sustainable design, greater utilization of new technologies in building design, special construction materials, landscaping, lighting, stormwater management, pedestrian oriented design, and podium height at a street or transition to residential neighborhoods, parks or other sensitive uses;***
  - d. ***ensure high quality of design and design compatible with surrounding land uses, including both existing and planned;***
  - e. ***maintain or improve the efficiency of public streets and utilities;***
  - f. ***preserve and enhance site characteristics including natural features, wetland protection, trees, open space, scenic views, and screening;***
  - g. ***allow for mixing of land uses within a development;***

- h. encourage a variety of housing types including affordable housing; and***
- i. ensure the establishment of appropriate transitions between differing land uses.***

The proposal would meet the purpose and intent of the PUD, as most of the above criteria would be met. The site is guided in the Comprehensive Plan as “Office Residential - OR,” which allows residential use and retail on a limited basis. Mixed uses are encouraged.

The primary use would be residential; and the retail use would be secondary, and serve not only the new residential use, but residential uses and office uses in the area. The site would be very pedestrian friendly with extensive pedestrian paths planned for the site. A new north/south sidewalk, separated from the street, would be created along France Avenue; a new east/west sidewalk, separated from the street would be built along 72<sup>nd</sup> Street, and interior sidewalks would be provided. (See page A21.)

As recommended in the Comprehensive Plan, and by the Planning Commission and City Council as part of the Sketch Plan review, podium height would be utilized on France Avenue and from the low-density residential area to the west to lessen impact to the single-family and two-family homes to the west. There would be three-story apartments on the west side; and the wooded area on the west side of the site would also be preserved to screen the use. (See page A20.)

The applicant is also proposing sustainability principles within their project narrative. (See page A14.) The project would include high efficiency mechanical equipment, appliances and electrical fixtures. Roof mounted photovoltaic panels for electrical energy generation are proposed. The applicant is pledging an energy savings 20% over current energy code requirements.

The proposed buildings would be a high quality brick, limestone, precast concrete, composite metal panel and glass building. “Edina” limestone is proposed at the street level on France. (See pages A24–A26.)

The most significant element of the plan, in regard to PUD requirements, is providing 20% of the units for affordable housing. That would be 32 units toward the city’s goal of 212 units by the year 2020 as established with the Metropolitan Council.

## 2. *Applicability/Criteria*

- a. ***Uses. All permitted uses, permitted accessory uses, conditional uses, and uses allowed by administrative permit contained in the various zoning districts defined in Section 850 of this Title shall be treated as potentially allowable uses within a PUD district, provided they would be allowable on the site under the Comprehensive Plan. Property currently zoned R-1, R-2 and PRD-1 shall not be eligible for a PUD.***

The proposed uses, residential and limited retail are uses allowed in the Office Residential area, as described in the Comprehensive Plan.

- b. ***Eligibility Standards. To be eligible for a PUD district, all development should be in compliance with the following:***
  - i. ***where the site of a proposed PUD is designated for more than one (1) land use in the Comprehensive Plan, the City may require that the PUD include all the land uses so designated or such combination of the designated uses as the City Council shall deem appropriate to achieve the purposes of this ordinance and the Comprehensive Plan;***

The site is guided in the Comprehensive Plan as "Office Residential – OR," which encourages the mixing of uses. In this instance the uses are residential and limited retail. The proposed uses are therefore, consistent with the Comprehensive Plan.

- ii. ***any PUD which involves a single land use type or housing type may be permitted provided that it is otherwise consistent with the objectives of this ordinance and the Comprehensive Plan;***

Again, the proposal is for a mixture of land uses.

- iii. ***permitted densities may be specifically stated in the appropriate planned development designation and shall be in general conformance with the Comprehensive Plan; and***

The proposed density is not consistent with the Comprehensive Plan. The Comprehensive Plan would have to be amendment for the proposed development to be built.

- iv. ***the setback regulation, building coverage and floor area ratio of the most closely related conventional zoning***

***district shall be considered presumptively appropriate, but may be departed from to accomplish the purpose and intent described in #1 above.***

Below is a compliance table demonstrating how the proposed new building would comply with the underlying POD-1 Zoning Ordinance Standards. Should the City decide to rezone this site to PUD, the proposed setbacks, height of the building and number of parking stalls would become the standards for the lots. Please note that a few City Standards are not met under conventional zoning. However, by relaxing these standards, the purpose and intent, as described in #1 above would be met.

**Compliance Table**

	<b>City Standard (POD-1)</b>	<b>Proposed</b>
<b><u>Building Setbacks</u></b> Front – France Avenue Front – 72 <sup>nd</sup> Street Side – South Rear – West	77 feet 77 feet 77 feet 34 & 46 feet	<b>26 feet*</b> <b>27 feet*</b> <b>5 feet*</b> 75 feet
Building Height	Four stories and 48 feet	<b>Five Stories &amp; 77 feet*</b>
Maximum Floor Area Ratio (FAR)	.5%	<b>1.49%*</b>
Parking Stalls	440 total 200 – retail/restaurant 240 enclosed (residential)	506 spaces total 201 retail 305 enclosed residential
Parking Stall Size	8.5' x 18'	8.5 x 18'
Drive Aisle Width	24 feet	24 feet

***\* Variance would be required under POD-1 Zoning (See page A21a.)***

## PRIMARY ISSUES/STAFF RECOMMENDATION

### Primary Issues

- **Is the PUD Zoning District appropriate for the site?**

Yes. Staff believes that the PUD is appropriate for the site for the following reasons:

1. As highlighted above, the proposal meets the City's criteria for PUD zoning. In summary the PUD zoning would:
  - a. Provide a development that includes 20% (32 units) of the residential units as affordable housing. This project would help the City toward meeting its goal of creating 212 additional affordable housing units by the year 2020. Given the City of Edina's high cost of land, it has been difficult in achieving affordable housing. The increase in floor area ratio and density is required to make the development work.
  - b. Provide a mixture of use within the building with residential and retail.
  - c. Create a pedestrian friendly development with extensive pedestrian paths planned for the site. A new north/south sidewalk, separated from the street, would be created along France Avenue; and a new east/west sidewalk, separated from the street would be built along 72<sup>nd</sup> Street. (See page A21.) There would be additional sidewalks provided within the courtyard area that would connect residents to the retail uses on France. (See page A21.)
  - d. Podium Height would be used on both France Avenue and the west side of the development toward the low-density residential area.
  - e. The applicant is also proposing some sustainability principles within their project narrative. (See page A14.) The proposal includes high efficiency mechanical equipment, appliances and fixtures, high performing fiberglass and storefront window that meet Energy Star requirements. The applicant proposes a 20% improvement over current energy code requirements.
  - f. Ensure that the building proposed would be the only building built on the site, unless an amendment to the PUD is approved by City Council.
2. The proposed uses would fit in to the neighborhood. The proposed residential use with limited retail would fit this neighborhood. Mixed use is encouraged within the OR, Office Residential area.

3. The existing roadways would support the project. Wenck and Associates conducted a traffic impact study, and concluded that the proposed development could be supported by the existing roads subject to conditions.
4. Assuming the adoption of the proposed Comprehensive Plan Amendment, the proposed project would meet the following goals and policies of the Comprehensive Plan:
  - a. Building Placement and Design. Where appropriate, building facades should form a consistent street wall that helps to define the street and enhance the pedestrian environment.
  - b. Movement Patterns.
    - Provide sidewalks along primary streets and connections to adjacent neighborhoods along secondary streets or walkways.
    - A Pedestrian-Friendly Environment.
  - c. Encourage infill/redevelopment opportunities that optimize use of city infrastructure and that complement area, neighborhood, and/or corridor context and character.
  - d. Support and enhance commercial areas that serve the neighborhoods, the city, and the larger region.
  - e. Increase mixed use development where supported by adequate infrastructure to minimize traffic congestion, support transit, and diversify the tax base.
  - f. Increase pedestrian and bicycling opportunities and connections between neighborhoods, and with other communities, to improve transportation infrastructure and reduce dependence on the car.
  - g. Incorporate principles of sustainability and energy conservation into all aspects of design, construction, renovation and long-term operation of new and existing development.
  - h. Buildings should be placed in appropriate proximity to streets to create pedestrian scale. Buildings “step down” at boundaries with lower-density districts and upper stories “step back” from street.
  - i. Provide affordable housing.
  - J. Create podium height.

- **Are the proposed Comprehensive Plan Amendments reasonable to allow the proposed development?**

No. For the following reasons, staff believes the proposal development is too dense for this site:

1. The proposed development would allow for a floor area ratio that would be nearly three times the floor area ratio currently allowed for this site. Under the current POD-1 zoning classification; a floor area ratio of .5 is allowed. The proposed FAR is 1.49. When comparing the recent comprehensive plan amendment that was approved for the Lennar project at 6725 York Avenue; the amount of floor area ratio over and above the City Code and Comprehensive Plan requested here is far greater. For the Lennar project, the allowed FAR was 1.0 and the proposed FAR was 1.27.
2. The proposed density is nearly double allowed by the Comprehensive Plan. A maximum of 30 units per acre is allowed, and 50 are proposed.
3. This area on the west side of France Avenue is seen as a transition area from the low density residential to the west and the higher intensity commercial area on the east side of France. (See page A5 and A10 of the Comprehensive Plan.) The Comprehensive Plan describes this area as a "transitional area along major thoroughfares or between higher-intensity districts and residential districts." (See page A10.)
4. The proposal may set a precedent for similar development requests at this density. There are several properties within this OR area that have buildings in similar condition, that may be ripe for redevelopment. (See page A5.)
5. The Planning Commission is about to begin a study of the impact on greater development density in the Southdale area, with an emphasis on development in this OR, Office Residential area. Allowing a development within this area prior to completion of an impact study, may be premature.
6. While the applicant has made positive improvements to reduce the size of the development proposed at the sketch plan; staff does not believe they have reduced the size of the development enough to provide a development that is more consistent with the Comprehensive Plan.
7. Preliminary indications from Hennepin County is that they would not allow access to France Avenue.

## **Staff Recommendation**

### ***Comprehensive Plan Amendments***

While the project does contain a number of components that are desired in the Comprehensive Plan, however, due to the size of the project, staff recommends that the Planning Commission recommend that the City Council deny the requests for Comprehensive Plan Amendments based on the following findings:

1. The proposed development would allow for a floor area ratio that would be nearly three times the floor area ratio currently allowed for this site.
2. The proposed density is nearly double allowed by the Comprehensive Plan. A maximum of 30 units per acre is allowed, and 50 are proposed
3. This area on the west side of France Avenue is seen as a transition area from the low density residential to the west and the higher intensity commercial area on the east side of France. The Comprehensive Plan describes this area as a “transitional area along major thoroughfares or between higher-intensity districts and residential districts.” The proposed development is more for square footage than what would normally be allowed in the POD-1 Zoning District.
4. The proposal may set a precedent for similar development requests at this density. There are several properties within this OR, Office Residential area that have buildings in similar condition that may be ripe for redevelopment.
5. The proposed development is pre-mature given the Planning Commission’s plan to study of the impact on greater development density in the Southdale area, with an emphasis on the west side of France in this OR, Office Residential area.
6. While the applicant has made positive improvements to reduce the size of the development proposed at the sketch plan; staff does not believe they have reduced the size of the development enough to provide a development that is more consistent with the Comprehensive Plan.
7. The availability of access to France Avenue is questionable. If the County does not allow access, the plans may need to be revised.

### ***Preliminary Rezoning to PUD & Preliminary Development Plan***

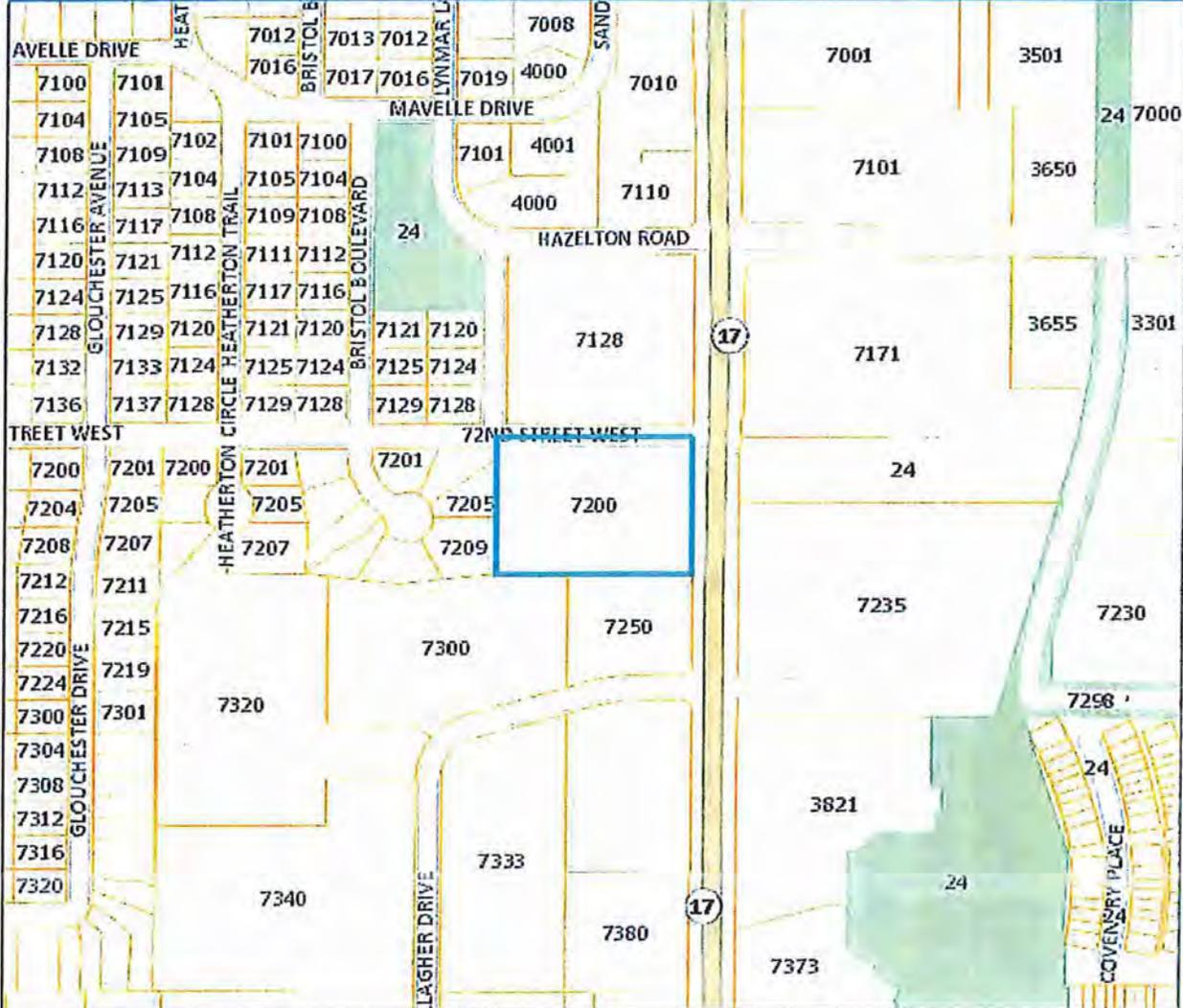
Because of the denial recommendation on the Comprehensive Plan amendments, staff recommends that the Planning Commission recommend the

City Council deny the Preliminary Rezoning from POD-1, Planned Office District to PUD, Planned Unit Development District

Denial is subject to the following findings:

1. The proposed development would allow for a floor area ratio that would be nearly three times the floor area ratio currently allowed for this site.
2. The proposed density is nearly double allowed by the Comprehensive Plan. A maximum of 30 units per acre is allowed, and 50 are proposed
3. This area on the west side of France Avenue is seen as a transition area from the low density residential to the west and the higher intensity commercial area on the east side of France. The Comprehensive Plan describes this area as a “transitional area along major thoroughfares or between higher-intensity districts and residential districts.” The proposed development is more for square footage than what would normally be allowed in the POD-1 Zoning District.
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6. While the applicant has made positive improvements to reduce the size of the development proposed at the sketch plan; staff does not believe they have reduced the size of the development enough to provide a development that is more consistent with the Comprehensive Plan.
7. The availability of access to France Avenue is questionable. If the County does not allow access, the plans may need to be revised.

**Deadline for a city decision: February 1, 2015**



Parcel ID: 31-028-24-14-0001

Owner Name:

Parcel Address: 7200 France Ave S, Edina, MN 55435

Property Type:

Homestead:

Parcel Area: 3.51 acres, 152,751 sq ft

A-T-B: Torrens

Market Total:

Tax Total:

Sale Price:

Sale Date:

Sale Code:

Map Scale: 1" = 400 ft.

Print Date: 6/19/2014

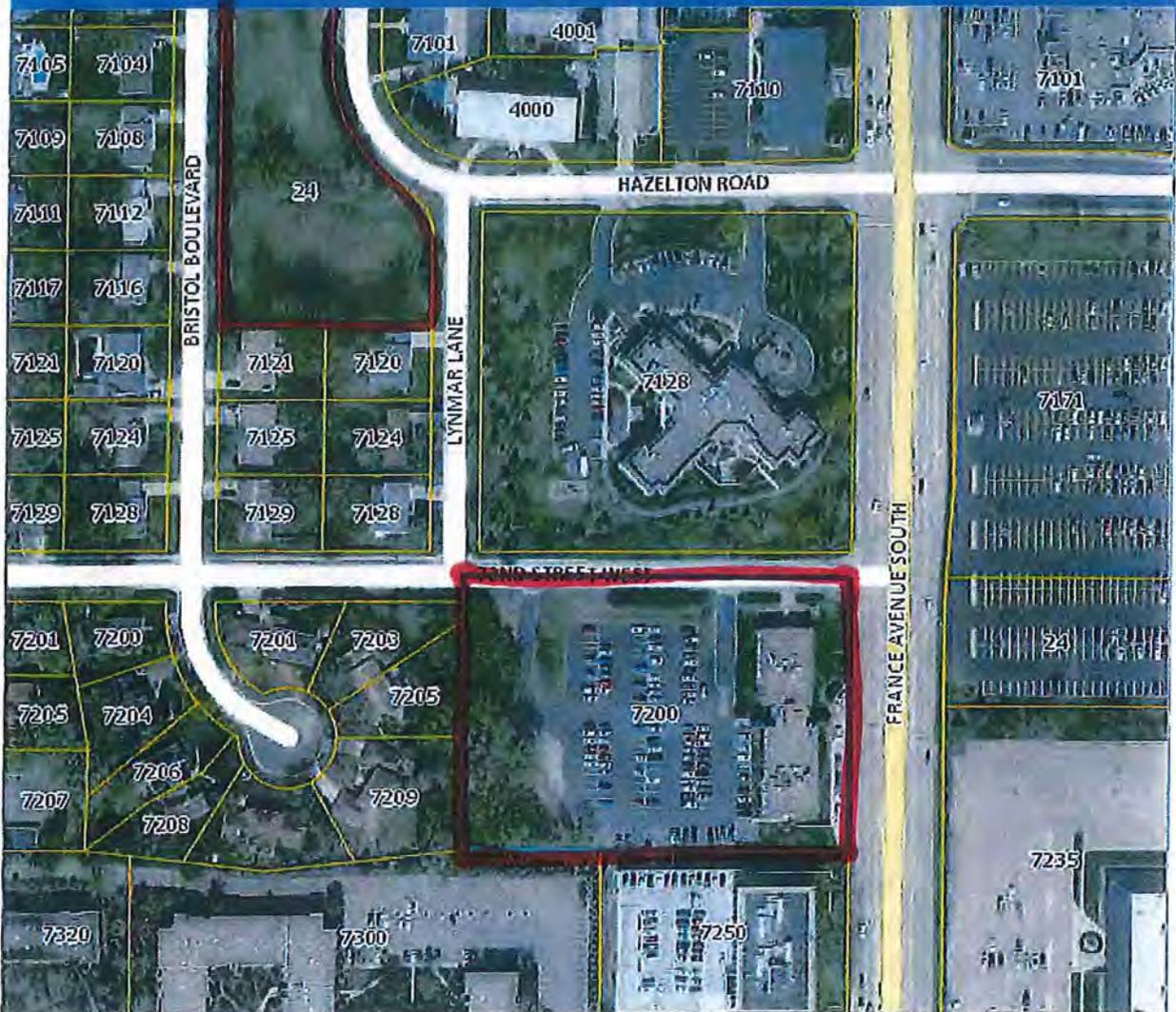


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<p><b>Parcel ID:</b> 31-028-24-14-0001</p> <p><b>Owner Name:</b></p> <p><b>Parcel Address:</b> 7200 France Ave S Edina, MN 55435</p> <p><b>Property Type:</b></p> <p><b>Homestead:</b></p> <p><b>Parcel Area:</b> 3.51 acres 152,751 sq ft</p>	<p><b>A-T-B:</b> Torrens</p> <p><b>Market Total:</b></p> <p><b>Tax Total:</b></p> <p><b>Sale Price:</b></p> <p><b>Sale Date:</b></p> <p><b>Sale Code:</b></p>	<p><b>Map Scale:</b> 1" = 200 ft.</p> <p><b>Print Date:</b> 6/19/2014</p> <p></p> <p><small>This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.</small></p> <p><b>COPYRIGHT © HENNEPIN COUNTY 2014</b></p> <p> Think Green!</p>
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A2



4-0001

Ave S  
5435

A-T-B: Torrens

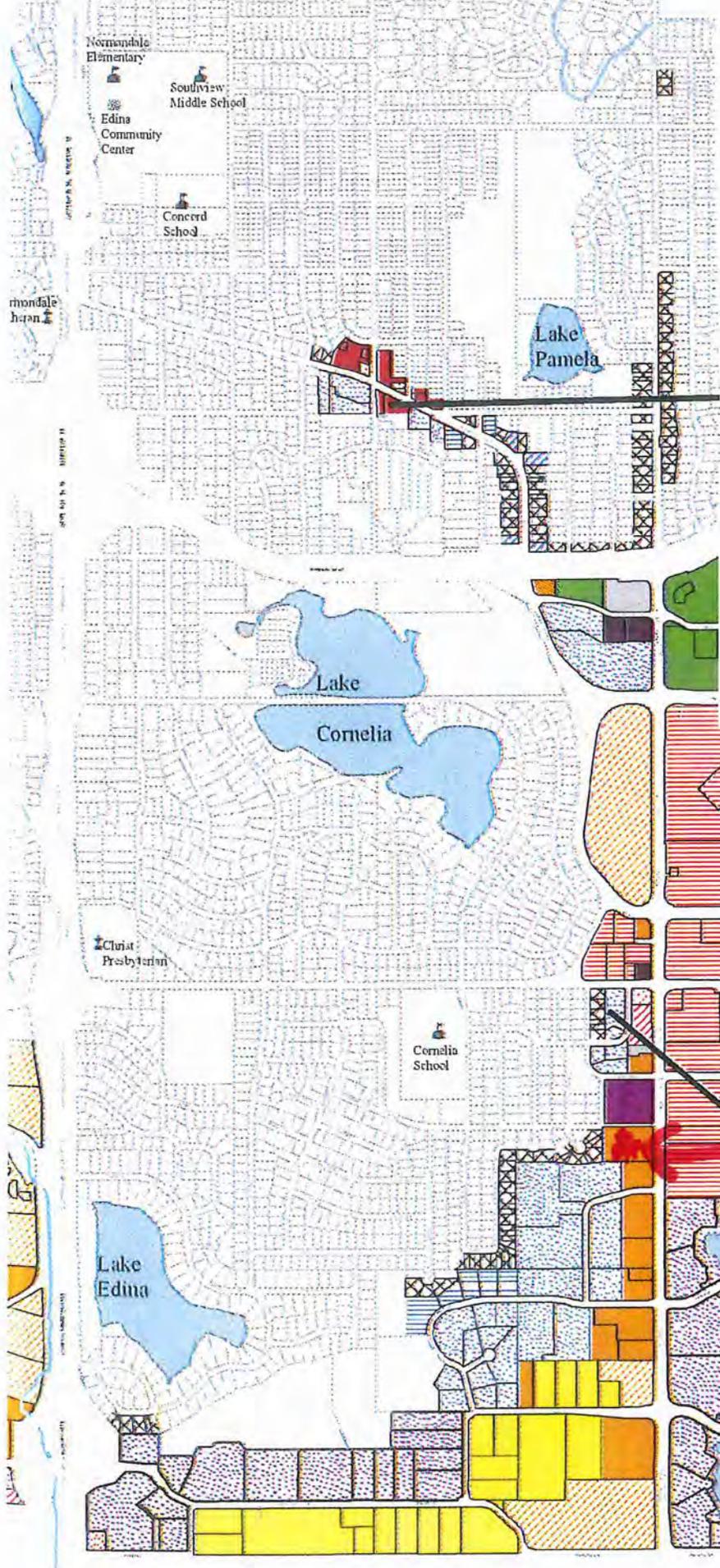
Market  
Total:

Tax  
Total: *Adg*

Map Scale: 1" = 200 ft.  
Print Date: 6/19/2014



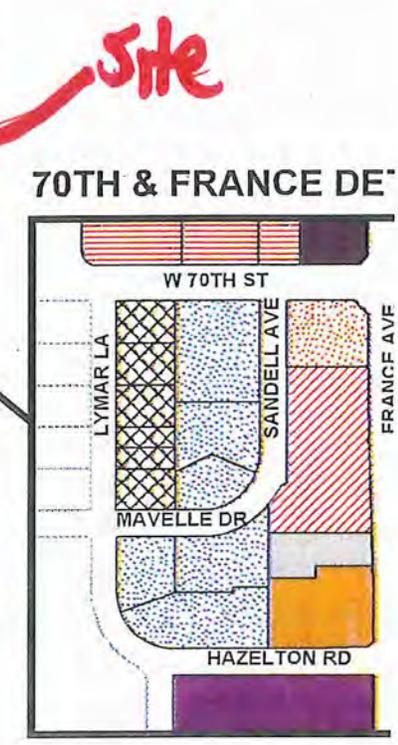
# ZONING



**Legend**

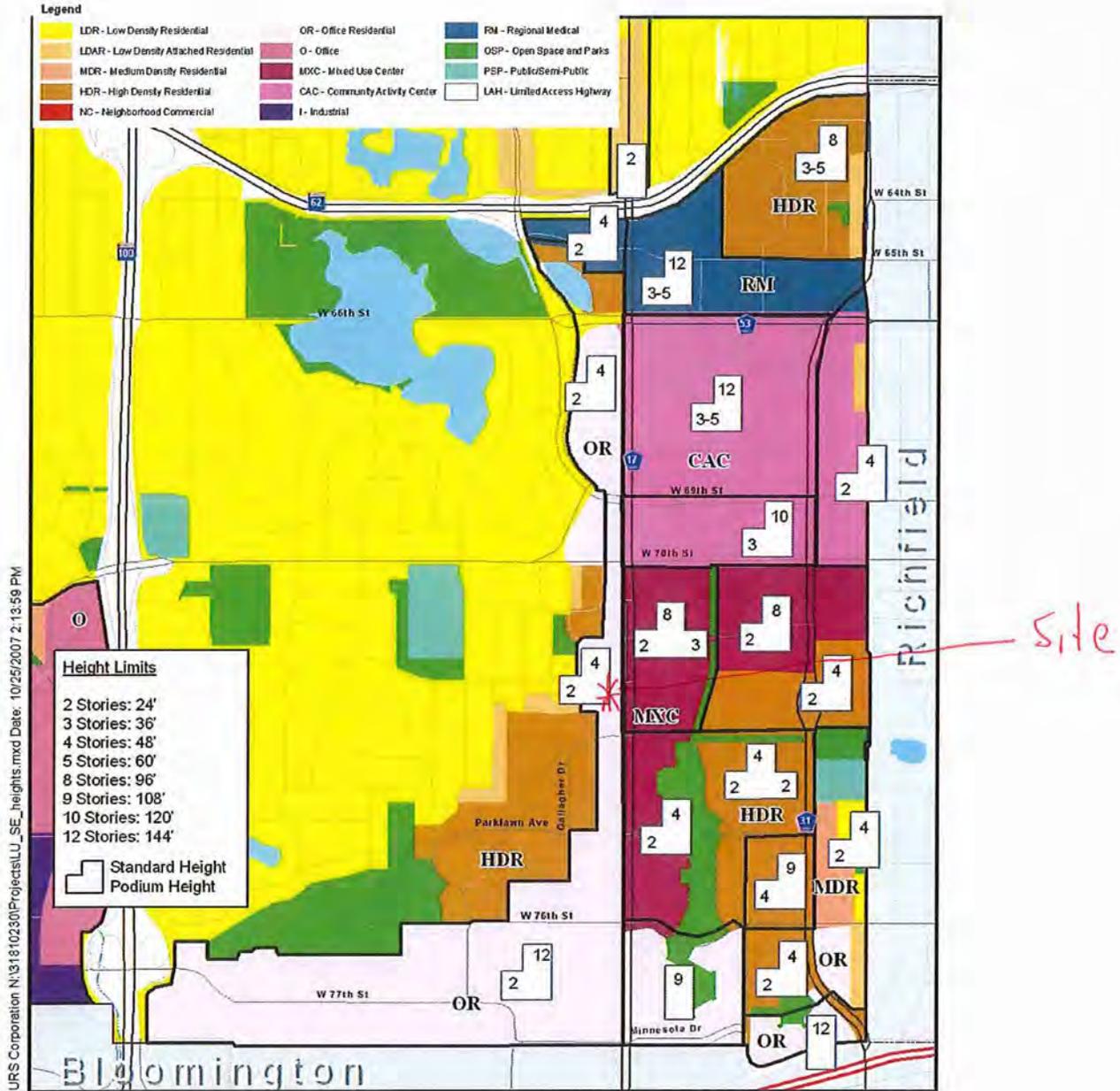
R-1 Single Dwelling Unit Dist.	Church
R-2 Double Dwelling Unit Dist.	City Buildings
PRD-1 Planned Residence Dist.	Private School
PRD-2	Public School
PRD-3	
PRD-4	
PRD-5	
PCD-1 Planned Commercial Dist.	
PCD-2	
PCD-3	
PCD-4	
POD-1 Planned Office Dist.	
POD-2	
RMD Regional Medical Dist.	
PID Planned Industrial Dist.	
PUD Planned Unit Dist.	
APD Automobile Parking Dist.	
EHLD Edina Heritage Landmark Dist.	
PSR-4 Planned Senior Citizen Dist.	
MDD-1 Mixed Development Dist.	
MDD-5	
MDD-6	

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 November, 2012



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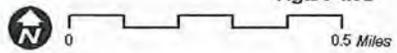




**City of Edina**  
2008 Comprehensive Plan Update

Data Source: URS

**Future Land Use Plan with Building Heights**  
Southeast Quadrant  
Figure 4.6B



A5

**RESOLUTION NO. 2014-68**  
**APPROVING COMPREHENSIVE PLAN AMENDMENTS**  
**REGARDING RESIDENTIAL DENSITY FOR MIXED USE AREAS,**  
**BUILDING HEIGHT, FLOOR AREA RATIO AND LAND USE**

Section 1. BACKGROUND.

- 1.01 The Metropolitan Council has requested that the City of Edina establish new residential density ranges within the City's Comprehensive Plan to better align with the description of the uses allowed within each District. Floor area ratio alone cannot be used to determine densities within mixed use areas as suggested in the text of the Comprehensive Plan.
- 1.02 Lennar Corporation is proposing to tear down the existing retail building at 6725 York Avenue, and single family homes at 6712, 6708, 6704, 6700 and 6628 Xerxes Avenue, and build a six-story, 240 unit upscale apartment building with 11,000 square feet of retail on the first level. To accommodate the request, three amendments to the Comprehensive Plan were approved by the City Council:
1. Building Height - from 4 stories and 48 feet to 6 stories and 70 feet.
  2. Floor Area Ratio - to exceed 1.0 in some instances.
  3. Re-guiding the Land Use Plan for the five single-family homes on Xerxes from Low Density Residential to Community Activity Center.
- 1.03 On June 11, 2014, the Planning Commission recommended approval of the Comprehensive Plan Amendment. Vote: 7 Ayes and 0 Nays.

Section 2. FINDINGS

- 2.01 The Edina Comprehensive Plan is a guide for development and redevelopment in the city that establishes density ranges for the purposes of managing growth. Density in mixed use and planned commercial districts are primarily regulated by Floor Area Ratio within the existing Edina Zoning Ordinance.
- 2.02 Residential density ranges within the City's mixed use areas including CAC, Community Activity Center; MXC, Mixed Use Center; OR, Office Residential; and NC, Neighborhood Commercial District are between 1-2 and 2-3 units per acre, which are not feasible for the intended mixed-use character or opportunity in these areas. The City's LDR, Low Density Residential District allows up to 5 units per acre, which is a higher density than the above mixed use districts. The RM, Regional Medical District does not have a residential density range and senior housing is a permitted use.
- 2.03 By establishing new residential density ranges for these areas, the city would create the feasibility for mixed use projects. Changes to these residential density ranges would be accommodating growth that had already been anticipated and planned for in the City's future population projections.

- 2.04. The Comprehensive Plan recognizes the Southdale area and the CAC as the most intense district in terms of uses, height and coverage. The City allows a floor area ratio of up to 1.5 in other parts of the City, such as 50th France. The floor area ratio maximum in the CAC is 1.0. The suggested density of 2-3 units per acre would result in less density than the City's Low Density Residential area; which allows up to 5 units per acre, would not encourage a mixture of land uses. A density range of 12-75 units per acre in this area is reasonable given the description of this area is the city's most intense district in terms of uses, height and coverage. Floor area ratio would continue to impact densities based on the Zoning Ordinance regulations.
- 2.05. The OR, Office Residential District guides density at a range of 2-3 units per acre in the current Comprehensive Plan. An OR density of 12-30 units per acre would be consistent with High Density Residential District and reasonable to encourage mixed use development.
- 2.06. The MXC, Mixed Use Center district guides density at a range of 1-2 units per acre. These areas include 50<sup>th</sup> & France, Grandview and Centennial Lakes/Greater Southdale area. A Mixed Use Center density of 12-30 units would be consistent with High Density Residential district and reasonable to encourage mixed use development. This density range is consistent with existing densities in all three of these areas, including 50<sup>th</sup> and France Condos (23 units per acre) and 71 France in the Centennial Lakes area (24 units per acre), and Grandview Square (29 units per acre.)
- 2.07. The NC, Neighborhood Commercial District guides density at a range of 1-2 units per acre. A density of 5-12 units would be consistent with Medium Density Residential district and reasonable to encourage mixed use development.
- 2.08. The RM, Regional Medical District is an area that is proposed for senior housing, and does not have a specific range for density. A Comprehensive Plan amendment was approved for the senior housing project at 6500 France. Senior Housing creates a lesser impact on traffic; therefore, higher densities can be supported in this area. Density for senior housing shall also be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art. A density range of 12-80 units per acre is reasonable to encourage that use in the district.
- 2.09. Establishing higher residential density ranges within mixed use areas, align with other elements of the Comprehensive Plan, including growth that had been forecasted by the Metropolitan Council.
- 2.10. The proposed densities using unit per acre are consistent with the existing descriptions of each land use category in the Comprehensive Plan; are consistent with existing development in Edina; and are consistent with the existing Edina Zoning Ordinance.
- 2.11. There is adequate roadway capacity and sewer capacity to support the proposed residential density ranges proposed in these mixed use areas.

Existing language xxxx

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- 2.12. The proposed land use change of the single family homes on Xerxes Avenue are consistent with existing and proposed land uses in this area. The City of Richfield has guided the single family homes on the east side of Xerxes as medium density residential, and the property to the north west and south in Edina are guided CAC, Community Activity Center; therefore, the long term vision of both Edina and Richfield in this area is for higher densities.
- 2.13. Podium height is proposed on both Xerxes and York as recommended in the Comprehensive Plan. The six story portion of the building is stepped back into the site to minimize impact on adjacent property.
- 2.14. The Comprehensive Plan recognizes the Southdale area and the CAC as the most intense district in terms of uses, height and coverage. The City allows a floor area ratio of up to 1.5 in other parts of the City, such as 50th France; therefore, the floor area ratio of the proposed use at 1.27, which is predominantly residential, is appropriate for the area.
- 2.15. The traffic and parking study done by WSB concludes that the existing roadways can support the proposed project, and there would be adequate parking provided.

NOW THEREFORE, be it resolved by City Council of the City of Edina, Minnesota as follows:

3.01 Resolution 2014-51 is rescinded.

3.02 The following Comprehensive Plan Amendments are approved subject to review by the Metropolitan Council pursuant to Minnesota Statutes §473.864:

**A. Future Land Use Categories.** The categories in the table below apply to the Future Land Use Plan. It is important to note that land use categories are not zoning districts – they are broader and more long-term in scope. The land use plan and the zoning ordinance should be consistent with one another, but are not identical. Each land use category may be implemented through more than one zoning district, allowing for important differences in building height, bulk and coverage in different areas of the city. Some revisions to existing zoning districts or creation of new districts may ultimately be needed as part of the implementation of the land use plan.

Land uses are characterized primarily by range of densities or intensities. For residential uses, density is defined in terms of dwelling units per net acre (exclusive of road rights-of-way and public lands). For nonresidential and mixed uses, intensity is typically defined in terms of floor-to-area ratio, or FAR, which refers to the ratio of a building’s floor area to the size of its lot. **A density unit per acre range is listed below, however, in practice FAR limits the density in the Edina Zoning Ordinance based on site size.** Thus, a maximum FAR of 1.0 could allow for a two-story building covering 50% of the lot; a 3-story building on one-third of the lot, and so on. Building heights are not specified in the table, because height will vary within and between categories, based on neighborhood context, infrastructure, and community design goals. (See the discussion later in this section.)

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The "Development Guidelines" in the table below are intended to highlight important design considerations for each land use category, but are not regulatory in nature. **When residential development is proposed in a mixed use district, the residential density range shall apply, in addition to the FAR requirement. Residential development is not required in mixed use areas.**

Residential Categories	Description, Land Uses	Development Guidelines	Density Range
<b>LDR</b> Low Density Residential	Applies to largely single-family residential neighborhoods, encompassing a variety of lot sizes and street patterns (see "Character Districts" for more detail). Typically includes small institutional uses such as schools, churches, neighborhood parks, etc.	Massing standards (under development) and impervious coverage limitations would apply to ensure compatibility of infill construction.	<b>1 - 5 units/acre</b> Floor to Area Ratio: per current Zoning Code*
<b>LDA</b> Low-Density Attached Residential	Applies to two-family and attached dwellings of low densities and moderate heights. This category recognizes the historical role of these housing types as transitional districts between single-family residential areas and major thoroughfares or commercial districts. May include single-family detached dwellings.	Introduction of more contemporary housing types, such as low-density townhouses, may be an appropriate replacement for two-family dwellings in some locations, provided that adequate transitions to and buffering of adjacent dwellings can be achieved.	<b>4 - 8 units/acre</b> Floor to Area Ratio: per current Zoning Code*
<b>MDR</b> Medium-Density Residential	Applies to attached housing (townhouses, quads, etc.) and multi-family complexes of moderate density.  May also include small institutional uses, parks and open space	In new development or redevelopment, improve integration of multi-family housing into an interconnected street network and work to create an attractive, pedestrian-friendly street edge.	<b>5 - 12 units/acre</b> Floor to Area Ratio: per current Zoning Code*
<b>HDR</b> High-Density Residential	Existing "high-rise" and other concentrated multi-family residential, some of which may contain a mixed use component. May also include limited office, service or institutional uses primarily to serve residents' needs, parks and open space	Provide incentives for updating older multifamily buildings.  Work to create an attractive, pedestrian-friendly street edge and provide convenient access to transit, schools, parks, and other community	<b>12 - 30 units/acre</b> Density for senior housing may be increased to over 30 units per acre, based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow

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		destinations.	greater density for senior housing would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.  Floor to Area Ratio: per current Zoning Code*
Nonresidential and Mixed Use Categories	Description, Land Uses	Development Guidelines	Density Guidelines
<p><b>NC</b> <b>Neighborhood Commercial</b> Current examples:</p> <ul style="list-style-type: none"> <li>• Morningside commercial core</li> <li>• Valley View and Wooddale</li> <li>• 70<sup>th</sup> &amp; Cahill</li> </ul>	<p>Small- to moderate-scale commercial, serving primarily the adjacent neighborhood(s). Generally a 'node' rather than a 'corridor.' Primary uses are retail and services, offices, studios, institutional uses. Residential uses permitted.</p> <p>Existing and potential neighborhood commercial districts are identified for further study.</p>	<p>Building footprints generally less than 20,000 sq. ft. (or less for individual storefronts). Parking is less prominent than pedestrian features.</p> <p>Encourage structured parking and open space linkages where feasible; emphasize enhancement of the pedestrian environment.</p>	<p>2–3 <b>5-12 residential dwelling units</b>/acre Floor to Area Ratio-Per current Zoning Code: maximum of 1.0*</p>
<p><b>OR</b> <b>Office-Residential</b> No current examples in City. Potential examples include Pentagon Park area and other I-494 corridor locations</p>	<p>Transitional areas along major thoroughfares or between higher-intensity districts and residential districts. Many existing highway-oriented commercial areas are anticipated to transition to this more mixed-use character.</p> <p>Primary uses are offices, attached or multifamily housing.</p> <p>Secondary uses: Limited retail and service uses (not including "big box" retail), limited industrial (fully enclosed), institutional uses, parks and open space. Vertical mixed use should be encouraged, and may be required on larger sites.</p>	<p>Upgrade existing streetscape and building appearance, improve pedestrian and transit environment.</p> <p>Encourage structured parking and open space linkages where feasible; emphasize the enhancement of the pedestrian environment.</p>	<p>2–3 <b>12-30 residential dwelling units</b>/acre Floor to Area Ratio-Per current Zoning Code: maximum of 0.5 to 1.0*</p>
<p><b>O</b> <b>Office</b> Current examples include the office</p>	<p>This designation allows for professional and business offices, generally where retail services do not occur within the development</p>	<p>Provide buffer/transition to adjacent residential uses. Use high quality</p>	<p>Floor to Area Ratio - Per Zoning Code: Maximum of 0.5</p>



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<p>buildings on the west side of TH 100 between 70<sup>th</sup> and 77<sup>th</sup> Streets.</p>	<p>unless they are accessory uses that serve the needs of office building tenants. Vehicle access requirements for office uses are high; however, traffic generation from office buildings is limited to morning and evening peak hours during weekdays. Office uses should be located generally along arterial and collector streets.</p>	<p>permanent building materials and on-site landscaping. Encourage structured parking.</p>	
<p>Nonresidential and Mixed Use Categories</p>	<p>Description, Land Uses</p>	<p>Development Guidelines</p>	<p>Density Guidelines</p>
<p><b>MXC</b>  <b>Mixed-Use Center</b>                  Current examples:  <ul style="list-style-type: none"> <li>• 50<sup>th</sup> and France</li> <li>• Grandview</li> </ul> </p>	<p>Established or emerging mixed use districts serving areas larger than one neighborhood (and beyond city boundaries).                  Primary uses: Retail, office, service, multifamily residential, institutional uses, parks and open space.                  Vertical mixed use should be encouraged, and may be required on larger sites.</p>	<p>Maintain existing, or create new, pedestrian and streetscape amenities; encourage or require structured parking. Buildings “step down” in height from intersections.                  4 stories at 50<sup>th</sup> &amp; France; 3-6 stories at Grandview</p>	<p><del>1</del>—2 <b>12-30 residential dwelling</b> units/acre                  Floor to Area Ratio-Per current Zoning Code: maximum of 1.5</p>
<p><b>CAC</b>  <b>Community Activity Center</b>                  Example: Greater Southdale area (not including large multi-family residential neighborhoods such as Centennial Lakes)</p>	<p>The most intense district in terms of uses, height and coverage.                  Primary uses: Retail, office, lodging, entertainment and residential uses, combined or in separate buildings.                  Secondary uses: Institutional, recreational uses.                  Mixed use should be encouraged, and may be required on larger sites.</p>	<p>Form-based design standards for building placement, massing and street-level treatment.                  Buildings should be placed in appropriate proximity to streets to create pedestrian scale. Buildings “step down” at boundaries with lower-density districts and upper stories “step back” from street.                  More stringent design standards for buildings &gt; 5 stories.                  Emphasize pedestrian circulation; re-introduce finer-grained circulation patterns where feasible.</p>	<p>2—3 <b>12-75 residential dwelling</b> units/acre                  Floor to Area Ratio-Per current Zoning Code: maximum of 0.5 to 1.0*                  Floor to Area Ratio may exceed 1.0 on a case by case basis, subject to proximity to utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density <b>or density on the high end of the residential housing range above</b>, would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, provision of public art, pedestrian circulation, and podium height.</p>

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 Language recommended **xxxx**  
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<p><b>I Industrial</b></p>	<p>Applies to existing predominantly industrial areas within the City. Primary uses: industrial, manufacturing. Secondary uses: limited retail and service uses.</p>	<p>Performance standards to ensure compatibility with adjacent uses; screening of outdoor activities.</p>	<p>Floor to Area Ratio: Per Zoning Code: 0.5*</p>
<p><b>Nonresidential and Mixed Use Categories</b></p>	<p><b>Description, Land Uses</b></p>	<p><b>Development Guidelines</b></p>	<p><b>Density Guidelines</b></p>
<p><b>RM Regional Medical</b></p>	<p>Hospitals, <b>senior housing*</b>, medical and dental offices and clinics, and laboratories for performing medical or dental research, diagnostic testing, analytical or clinical work, having a direct relationship to the providing of health services. General office uses are permitted.</p> <p>* Senior housing may include: independent living, assisted living, memory care, and skilled nursing.</p>	<p>Form-based design standards for building placement, massing and street-level treatment. Pedestrian circulation and open space amenities should be provided for larger sites.</p>	<p><b>12-80 senior residential dwelling units/acre</b> Floor to Area Ratio - Per current Zoning Code: maximum of 1.0 For medical office uses.</p> <p>Density for senior housing shall be based on proximity to hospitals, proximity to low density uses, utilities capacity, level of transit service available, and impact on adjacent roads. Other desired items to allow greater density would include: Below grade parking, provision of park or open space, affordable housing, sustainable design principles, and provision of public art.</p>
<p><b>OSP Open Space and Parks</b></p>	<p>Applies to major parks and protected open space that is publicly owned. May not include all small parks, since some are included in residential land use districts.</p>	<p>Performance and buffering standards for intensive outdoor recreation, parking.</p>	<p>N/A</p>
<p><b>PSP Public/Semi-Public</b></p>	<p>Applies to schools, large institutional uses (churches, cemeteries) and semi-public uses such as country clubs. Some small uses of these types may be integrated into other land use districts.</p>	<p>Performance and buffering standards for intensive outdoor recreation, parking.</p>	<p>To be determined - may require review of large-scale development or institutional expansion</p>

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 Language recommended **xxxx**  
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October 10, 2014

Cary Teague, Planning Director  
Planning Department  
Edina City Hall  
4801 W. 50th St.  
Edina, MN 55424

Project: **Element - Mixed-Use Redevelopment**

Location: **7200 France Avenue South**

Subject: **Project Narrative**

**Proposed Redevelopment:**

The proposed project is a new 5 story mixed use project redevelopment of the site at 7200 France Avenue South. The proposal is to replace the existing office building and construct a mixed-use development of approximately 207,000 SF with site improvements. The proposed project includes approximately 160 residential units, 20,000 SF of restaurant/retail/office space and approximately 500 parking spaces in two levels of underground parking.

**Summary of Modifications from Sketch Plan Review:**

- Reduced building height from 6 stories to 5 stories and reduced townhomes on the west side from 4 stories to 3 stories.
- Reduced Unit count from 195 units to 160 units
- Increased the podium setback on France Avenue by 10 feet
- Increased landscaping and setback along France Avenue and introduced green boulevard on 72<sup>nd</sup> Street,
- Increased setback on western boundary from 60 feet to 75 feet.
- Reduced FAR from 1.88 to 1.49.
- Reduced Commercial space from 26,500 to 20,000 SF

**City and Neighborhood Betterment:**

The proposed redevelopment of this parcel from office to residential and retail uses will benefit the city and area surrounding the project in the following ways:

- Provide housing in close proximity to commercial services and office sectors (80%/20% split of market rate to affordable housing)
- Provide convenient retail/commercial uses for the area.
- Locates both residential and commercial parking within the building creating a better visual environment unlike the vast majority of commercial projects along France Avenue.
- Improve the site with more vibrant uses and an attractive building
- Create a greener and more environmentally friendly development improving storm water rates through retained green space, green roofs and rain gardens.
- Alternative energy options including photovoltaics are being pursued to lower the projects carbon footprint.
- Sustainable design strategies will be incorporated into the project such as efficient lighting, mechanical systems, and rainwater harvesting for irrigation.

## 7200 France Avenue South – Preliminary Development Narrative

- Detailed and landscaped plaza courtyard beautifies the 72<sup>nd</sup> Street.
- Provides small scale neighborhood serving retail and office uses
- Adds new businesses to the Edina.

### **Sustainability**

Sustainability is a key component of the project, both in the importance of being a good steward of the environment as well as being a good neighbor. The key sustainable strategies of the project can be categorized in the following design elements:

#### Storm water:

The current site has an impervious coverage of 56% without any comprehensive storm water strategies except the catchment basin on the west side and a couple of inlets on the south side which do not provide any rate or quality control for storm water. The proposed project incorporates the following improvements to the existing condition.

- 1) The project preserves the 60 foot buffer of native vegetation on the west side of the site including an existing storm water catchment area and lift station which will naturally enable storm water collection and filtration.
- 2) The heavily landscaped courtyard area over the parking decks will hold and clean the majority of rainfall in that area much like the natural buffer to the west. Soil depths of 12-30 inches of soil allow the absorption and holding of run-off in this area irrigating the native selections of vegetation and keeping the rainwater out of the storm system.
- 3) South side of the parking structure is also covered with green roofing providing retention and the potential for resident gardens.
- 4) New storm water infiltration tanks will be located on the west side of the building capturing excess storm water not used for irrigation or captured by the landscaped areas of the courtyard.
- 5) The proposed site reduces impervious surface to 48% of the site; an improvement of 11,000 SF.

#### Energy Efficiency & Generation:

- 1) High efficiency mechanical equipment
- 2) High efficiency appliances and electrical fixtures
- 3) Roof mounted photovoltaic panels for electrical energy generation
- 4) High performing fiberglass and storefront windows that meet Energy Star requirements
- 5) Improved insulation & advanced detail techniques equating to a 20% improvement over current energy code requirements

#### Water Efficiency:

- 1) Rainwater for irrigation
- 2) Drip irrigation w/drought tolerant planting to additionally reduce watering
- 3) Low flow plumbing fixtures and appliances – this decreases water use and waste water

### **PUD / Zoning:**

The project proposes to change the zoning of the site from POD-1 to a PUD using the MDD-6 as a basis for the zoning entitlements. The application for a PUD is based largely around a desire to develop a more pedestrian friendly development, a mixture of uses and a greater density for the site. The proposed building will enclose the majority of parking below grade and maintain a 75'-0" setback and existing vegetative buffer from the residential neighborhood to the west. In addition, the site is designed to keep the higher height and density toward France Avenue with the lowest height toward the residential neighborhood.

The effective site size is 3.18 acres (138,650 SF). The proposed development not including garage space is 206,900 GSF for a proposed FAR of 1.49. The overall density of the site is largely mitigated by the stepping down of the height from France Avenue to the west toward the single family housing. The landscaped courtyard in the center off of 72<sup>nd</sup> street also scales the building to the neighborhood and provides a welcoming entry to residential visitors and the neighborhood.

### **Comprehensive Plan / Greater Southdale Area Land Use and Parking Final Report**

The current comprehensive plan has recommended office and high density residential uses for this site area and neighborhood from 69<sup>th</sup> street south to Parklawn (Edge West District) in the Greater Southdale Area Land Use report. In addition, the site is within the Southdale area of mixed-use region around the mall in the character defining areas in the Comprehensive Plan and a “Potential Area of Change”. The proposed project is in keeping with that mixture of uses as its scale transitions from the higher density toward France Avenue while tapering down toward the residential neighborhood behind. The distribution of uses follows this form by keeping the commercial uses and traffic on France Avenue as well.

#### **Traffic:**

Housing at this location will be able to take full advantage of the recent pedestrian and bike improvements completed by the city. The range of goods and services within an easy ½ mile radius of the site offers a built in amenity to residents. Their proximity also lessens the demands for vehicle trips decreasing the car traffic to and from the site.

The project’s site improvements along France Avenue offer an amenity for pedestrians and bicyclists by creating a protected walkway away from France Avenue vehicular traffic and lined with landscaping and other pedestrian improvements. The introduction of a sidewalk on the south side of 72<sup>nd</sup> street also reinforces this pedestrian connection, coupled with the new median at 72<sup>nd</sup> street will create a completely different pedestrian environment in the immediate area.

Residential and commercial vehicular traffic at the site is split between two entries to the underground garages. Commercial traffic will enter via a right in / right out access to the upper garage level. Residential resident and guest parking will enter from 72<sup>nd</sup> street to the courtyard garage entry. On grade convenience parking for guests and move-ins are located in the courtyard. This approach greatly reduces traffic in the South Cornelia Neighborhood to the west and keeps all commercial traffic at France Avenue.

#### **Affordable Housing:**

As part of a commitment to provide affordable housing to all people in the community, the project is proposing 32 units for residents who meet certain income thresholds. This type of housing is targeted to working adults or small families who earn less than the median income of the community. They provide an opportunity for young people starting their careers, teachers and service workers a chance to stay in the community they work. The site is uniquely situated where residents can easily access the commercial shops and services of the Southdale area without requiring the use of a car.

#### **Landscape**

The proposed landscape at Element will be clean and contemporary, with over-story boulevard trees on the north and east sides along 72<sup>nd</sup> Street and France Avenue, with upright planters near building entrances with seasonal annuals for color. The parking area will contain a mixture of over story and under-story trees with a full accompaniment of shrubs and perennial plants. The proposed planting palette is comprised of native and adapted plant materials, which will use less water and require less maintenance over time.

To the west, the existing storm pond and existing wooded area will be left as-is, providing a natural buffer and giving residents both a sense of scale and allowing for a natural privacy screen along the entire west façade. The southern façade will feature a terraced green roof, with limited access and the opportunity for community farming in raised planters, irrigated utilizing site-harvested rain water.

7200 France Avenue South – Preliminary Development Narrative

We believe the redevelopment of this site would be an improvement for the city and one that will enhance not only the character of the area, but also the city itself.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sheldon Berg', with a long horizontal stroke extending to the right.

Sheldon Berg, AIA  
Principal

Cc: Adam Seraphine, NHH Properties  
Lori Boisclair, Boisclair Corporation

P:\djr-arch\2014\114-0015.0 - Boisclair - 72nd & France Mixed Use\Word\Design\Zoning & Planning\Preliminary Applications and docs\7200 France Ave - Narrative.doc

A17



EXISTING VIEW

PROPOSED VIEW DOWN W. 72ND STREET

NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.



**BOISCLAIR**  
CORPORATION



A18

NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

 **BOISCLAIR**  
CORPORATION

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NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

 **BOISCLAIR**  
CORPORATION

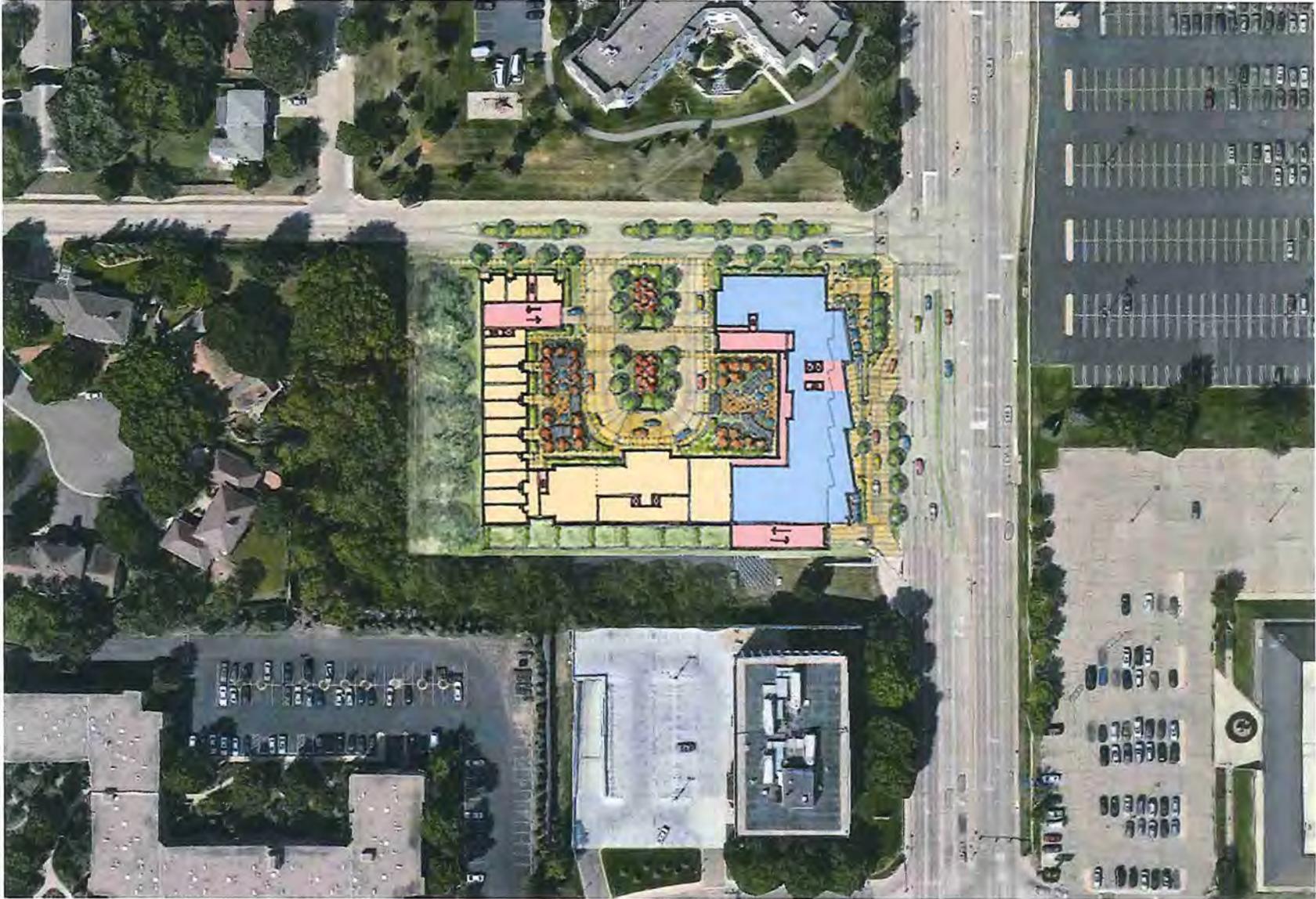
SITE SPECIFICATIONS

AREA 138,650 SF  
ACRES 3.18

BUILDING SIZE 206,952 SF  
F.A.R. 1.49

DWELLING UNITS/ACRE = 50

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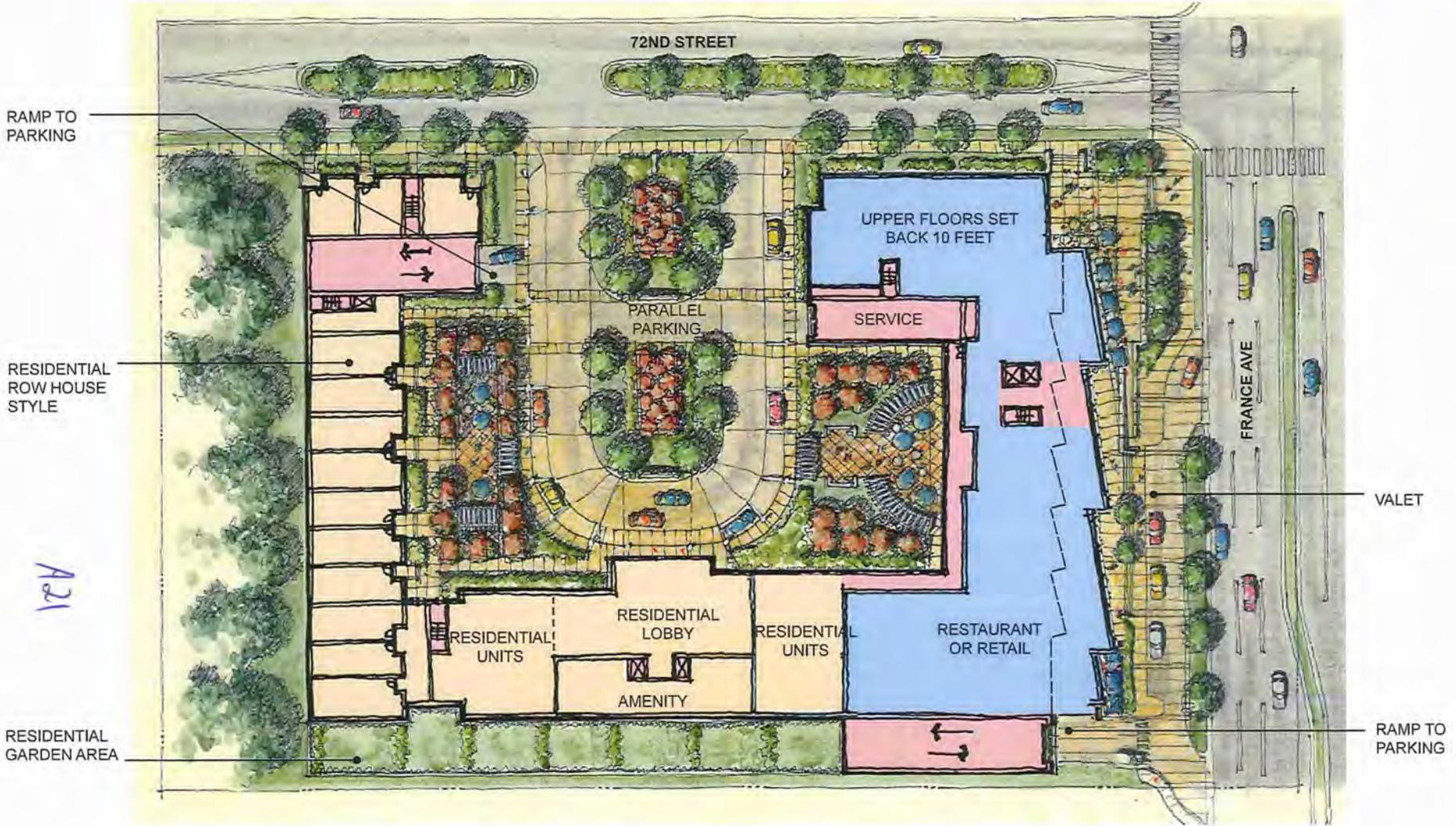


NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

 **BOISCLAIR**  
CORPORATION

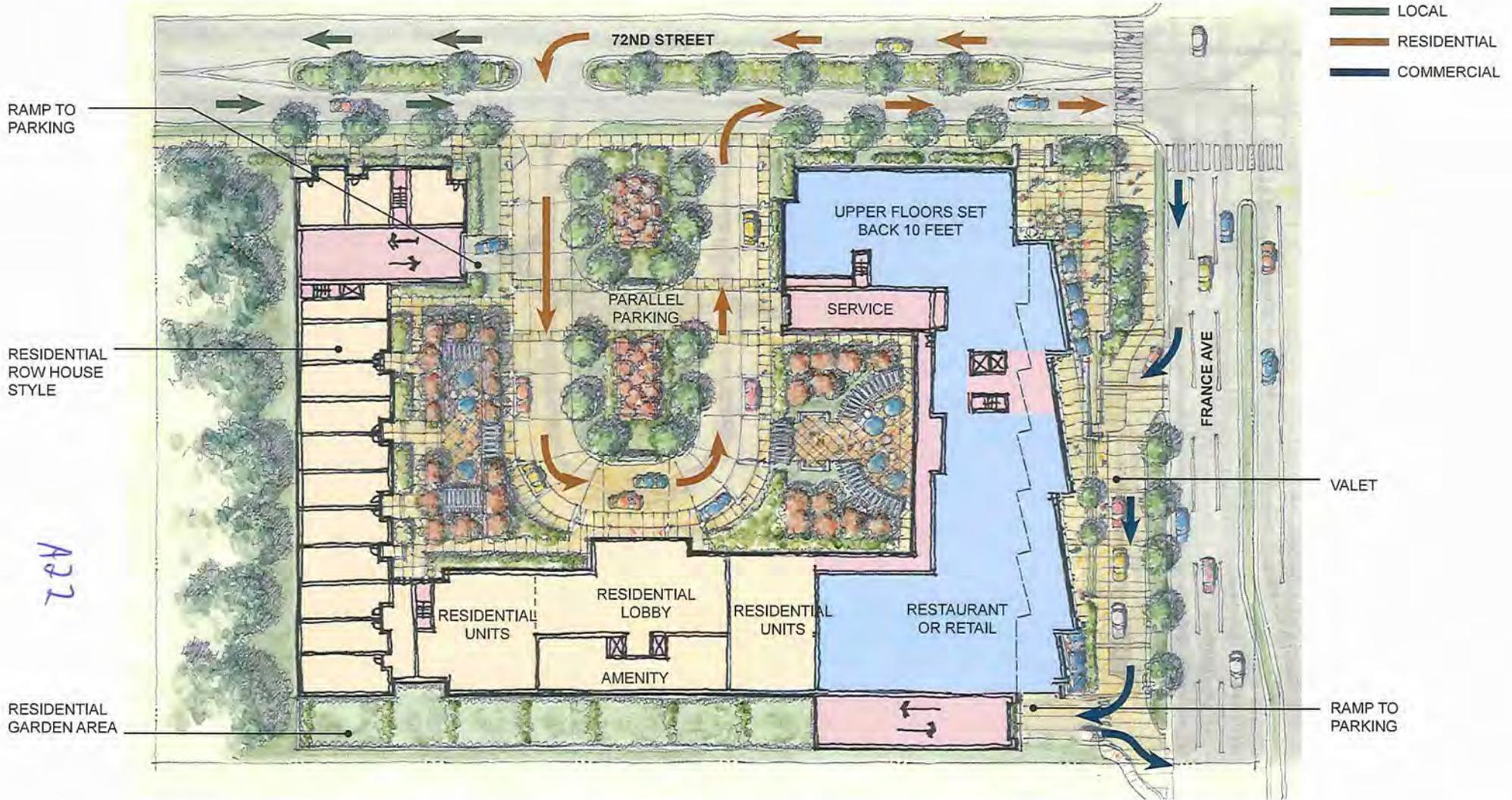


NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

**BOISCLAIR**  
CORPORATION



NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

**BOISCLAIR**  
CORPORATION



A23



NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

 **BOISCLAIR**  
CORPORATION

A&F



NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

**BOISCLAIR**  
CORPORATION

AR5



NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

 **BOISCLAIR**  
CORPORATION

A26

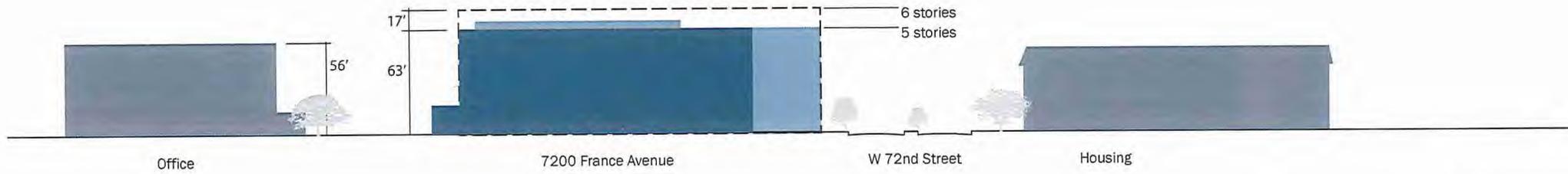
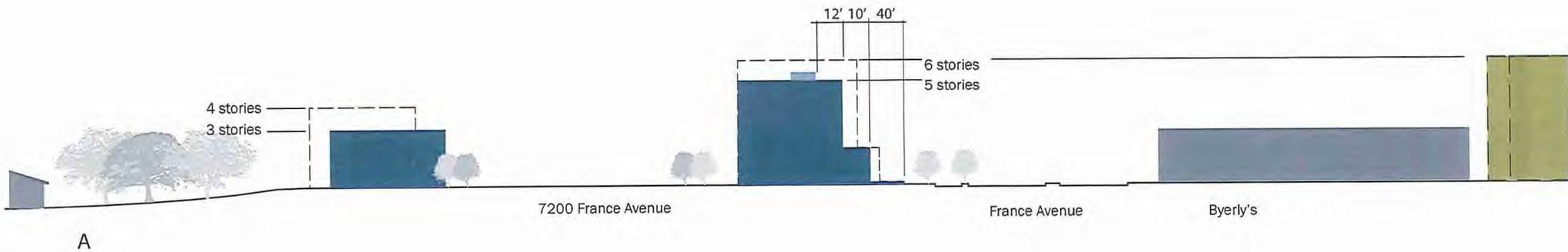


NHH PROPERTIES

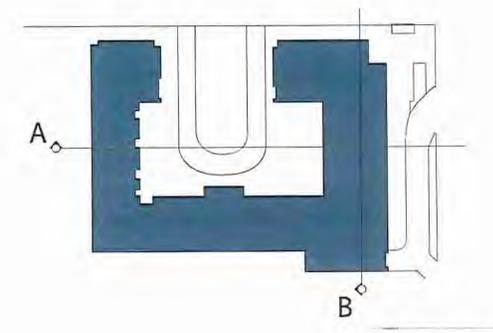
DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

 **BOISCLAIR**  
CORPORATION



A27







# ALTA/ACSM LAND TITLE SURVEY

PROPERTY ADDRESS: #7200 FRANCE AVE. SO., EDINA, MN 55435

~for~ #7200 France LLC & Anchor Bank, N.A. & Commercial Partners Title, LLC, Old Republic National Title Insurance Company & NHH Companies L.L.C.

## GENERAL NOTES

- Bearings shown herein are on assumed datum.
- Boundary area of surveyed premises: 152,022 sq. ft. (3.482 acres)
- The surveyed premises has access to 72nd St. West & France Avenue South, both publicly dedicated right-of-ways.
- Utilities shown herein are observed. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown herein and underground utilities and/or structures may be encountered. Contact Greater State Soil Notification Center at (651) 454-0022 for verification of utility type and field location prior to excavation.
- Subsurface and environmental conditions were not examined or considered during the process of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of the surveyed property.
- There is no observable evidence of building construction or building additions within recent memory. There is no observable evidence of site use as a solid waste dump, dump or sanitary landfill. There is no observable evidence of recent street or alleyway repave within recent memory.
- Bearings shown are on assumed datum.
- SMALL UTILITIES LOCATED AND LOCATE HEREON FOR OTHER STATE ONE CALL TICKET #42820667. CITY UTILITIES PER CITY PLANS AND FIELD OBSERVATIONS. VERIFY WITH CITY PLANS IN DESIGN PROCESS.

P.I.D.#31-028-24-14-0001

**BENCHMARK**  
BASIS FOR ELEVATION, NAVD 83 (VIA REAL-TIME GPS)  
MEASUREMENTS IN EDINBURGH, MINNESOTA  
(DEPARTMENT OF TRANSPORTATION 5405 RAILWORK)



ASO

- ### LEGEND
- DENOTES IRON MONUMENT FOUND
  - DENOTES SANITARY SEWER MANHOLE
  - DENOTES STORM SEWER MANHOLE
  - DENOTES CATCH BASIN
  - ⊕ DENOTES FIRE HYDRANT
  - ⊕ DENOTES STORM SEWER
  - DENOTES CONCRETE
  - DENOTES BITUMINOUS
  - DENOTES GAS METER/BOX
  - DENOTES UTILITY BOX
  - DENOTES RETAINING WALL
  - DENOTES EXISTING FENCE
  - DENOTES UNDERGROUND TELEPHONE/FIBER OPTIC
  - DENOTES UNDERGROUND GAS
  - DENOTES UNDERGROUND ELECTRIC
  - DENOTES WATERMAIN
  - DENOTES SANITARY SEWER

### PROPERTY DESCRIPTION

Parcel 1:  
The East 1045 feet of the South Half of the Northeast Quarter of Section 31, Township 75, Range 24, according to the Government survey thereof, except that part embraced within the plat of Cedar Heights, First Addition, Hennepin County, Minnesota, Tarrant Property, Tarrant Certificate No. 189714.

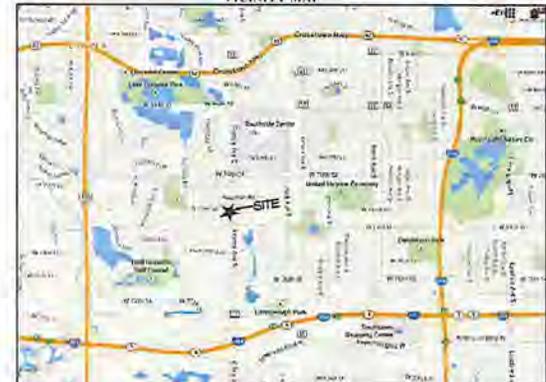
Parcel 2:  
Together with the benefit of easements for drainage, drainage and storage of surface waters contained in the Cedar Heights Second Addition, 20, 1972, filed February 6, 1972, as Document No. 1522263.

Parcel 3:  
Together with the benefit of the easements for drainage, drainage and storage of surface waters contained in the Cedar Heights Second Addition, 20, 1972, filed February 6, 1972, as Document No. 1522263.

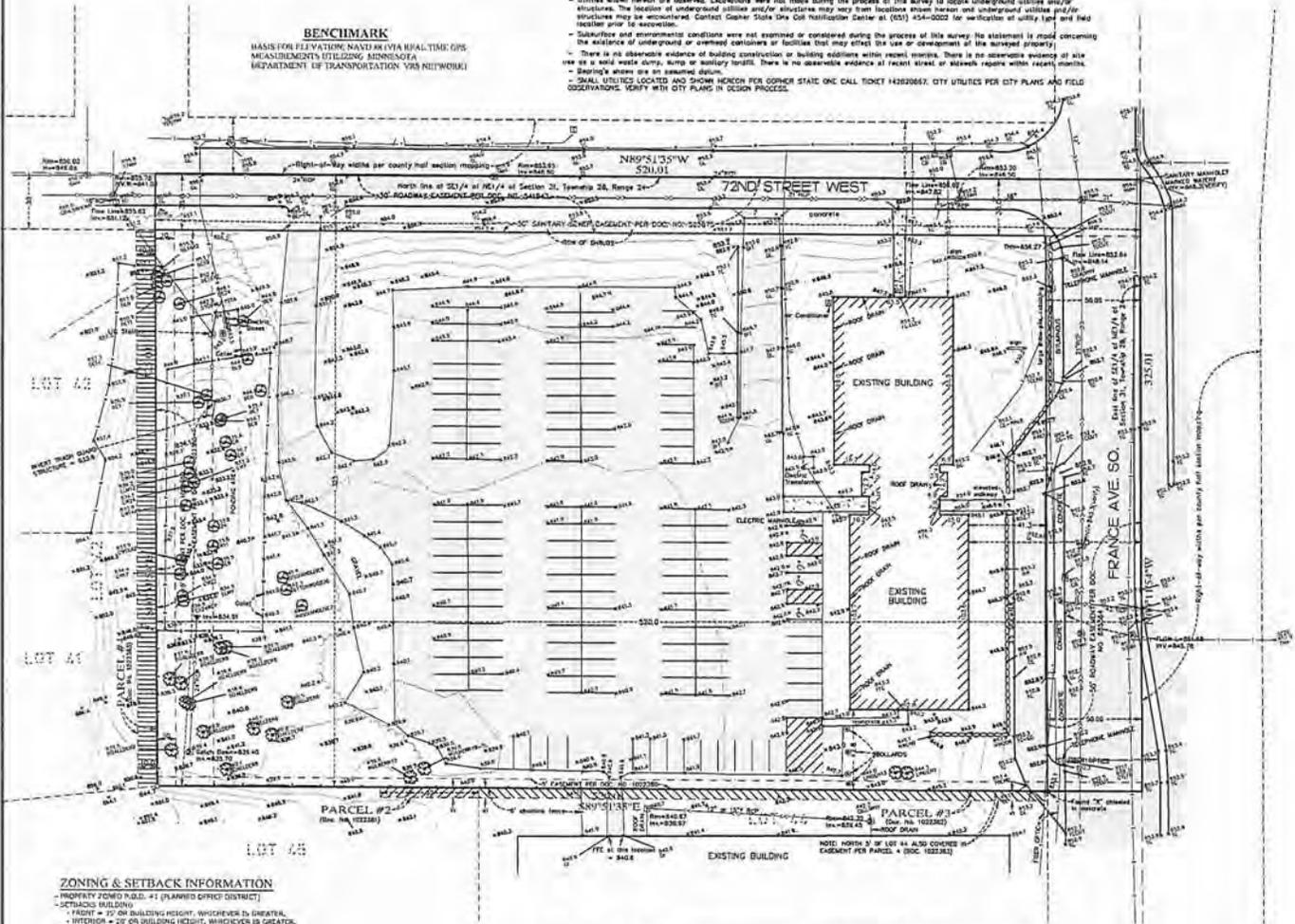
Parcel 4:  
Together with the benefit of the easements for drainage, drainage and storage of surface waters contained in the Cedar Heights Second Addition, 20, 1972, filed February 6, 1972, as Document No. 1522263.

Local descriptions per site commission.

### VICINITY MAP



City of Edina, Minnesota (No Scale)



### ZONING & SETBACK INFORMATION

- PROPERTY ZONED P.D. #1 (PLANNED OFFICE DISTRICT)
- STRADDLE BUILDING
- HEIGHT = 15' OR BUILDING HEIGHT, WHICHEVER IS GREATER.
- INTERIOR = 20' OR BUILDING HEIGHT, WHICHEVER IS GREATER.
- FRONTAL SETBACKS:
  - 10' FROM STREET
  - 20' FROM WEST RESIDENTIAL AREA
  - 10' FROM SOUTH
- \*ADDITIONAL INFORMATION PER "CARRY FORWARD" OF CITY PLANNING DEPARTMENT (651-426-0400) 8/19/14.

I hereby certify to #7200 France LLC & Anchor Bank, N.A. & Commercial Partners Title, LLC, Old Republic National Title Insurance Company & NHH Companies L.L.C. in fact, accuracy and amount, that I have surveyed the property for the purposes stated herein, that the survey is a true, correct and accurate drawing and representation of said property and the boundaries thereof, that the map and plat were made in accordance with the Minnesota Standard Detail Requirements for ALTA/ACSM Land Title Surveys, as jointly established and submitted by ALTA and ACSM in 2011, and adopted by Minnesota Statutes 24A.25, 24A.30, 24A.31, 24A.32, 24A.33, 24A.34, 24A.35, 24A.36, 24A.37, 24A.38, 24A.39, 24A.40, 24A.41, 24A.42, 24A.43, 24A.44, 24A.45, 24A.46, 24A.47, 24A.48, 24A.49, 24A.50, 24A.51, 24A.52, 24A.53, 24A.54, 24A.55, 24A.56, 24A.57, 24A.58, 24A.59, 24A.60, 24A.61, 24A.62, 24A.63, 24A.64, 24A.65, 24A.66, 24A.67, 24A.68, 24A.69, 24A.70, 24A.71, 24A.72, 24A.73, 24A.74, 24A.75, 24A.76, 24A.77, 24A.78, 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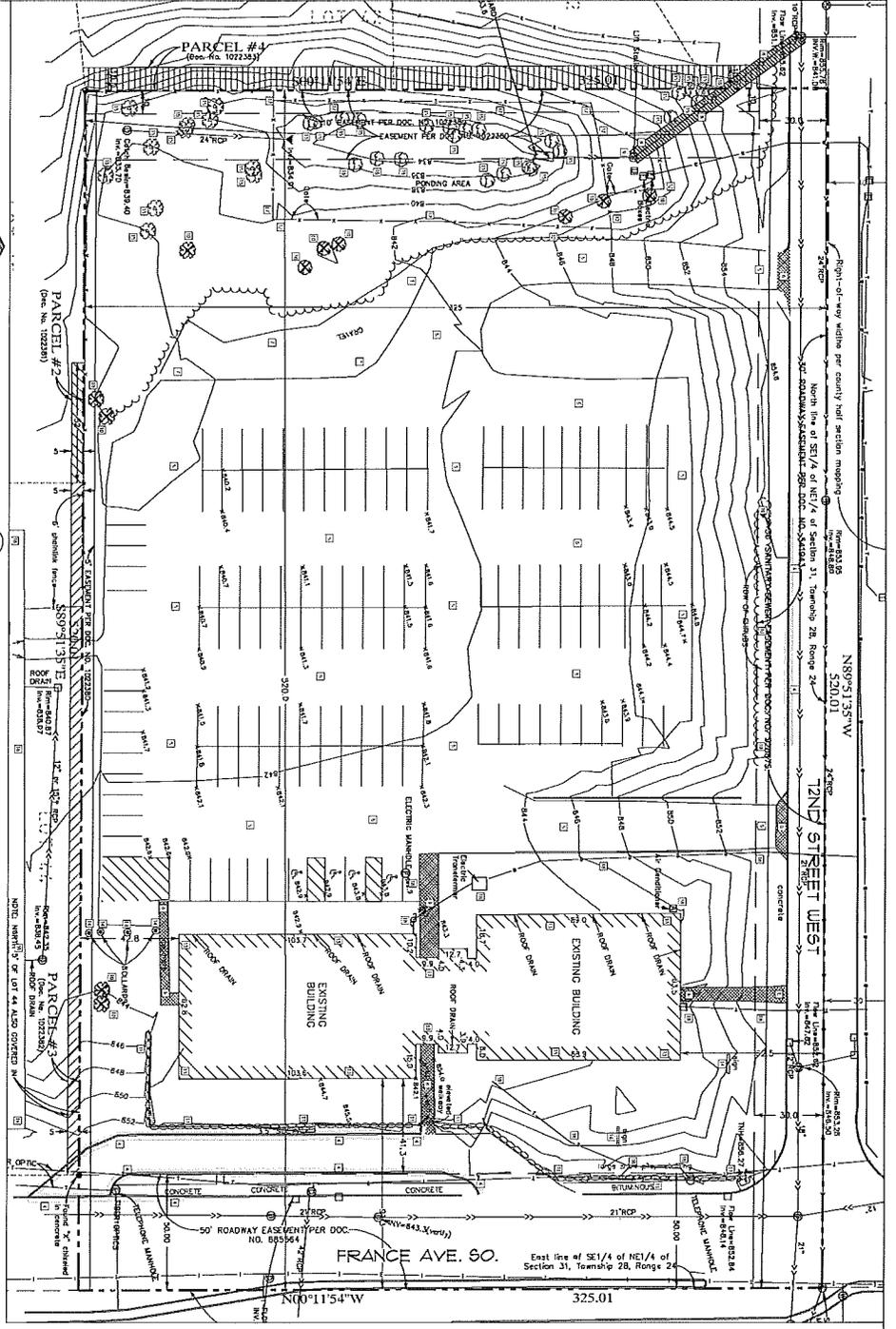
ACRE LAND SURVEYING  
Serving Twin Cities Metro  
Area and beyond  
763-455-2067 acrelandsurveying@gmail.com

REV. 10/07/14, ENGINEER COMMENTS  
REV. 07/18/14, ENGINEER COMMENTS  
REV. 07/19/14, ADDITIONAL UTILITY INFO.

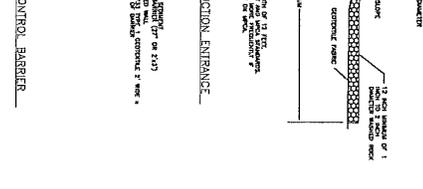
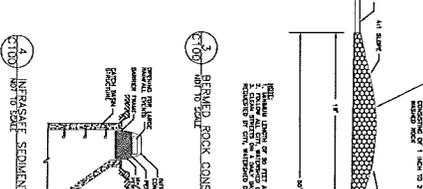
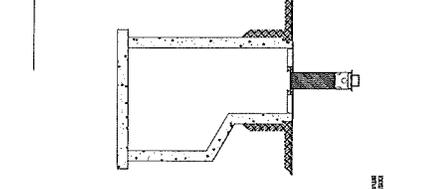
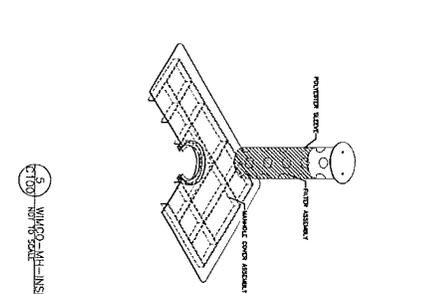
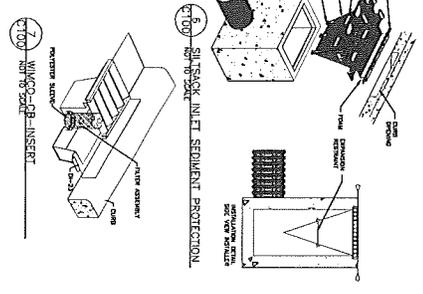
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JOB #14081

A31



1 DEMOLITION AND EROSION CONTROL PLAN



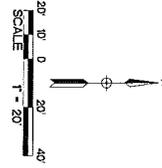
EXISTING BUILDING	
CONCRETE	---
BRICK	---
WOOD	---
ASPH/FLT	---
GLASS	---
STEEL	---
CONCRETE	---
BRICK	---
WOOD	---
ASPH/FLT	---
GLASS	---
STEEL	---

APPROXIMATE DISTURBED AREA	
1.5% DISTURBED	---
3.0% DISTURBED	---
5.0% DISTURBED	---
10.0% DISTURBED	---
15.0% DISTURBED	---
20.0% DISTURBED	---
25.0% DISTURBED	---
30.0% DISTURBED	---
35.0% DISTURBED	---
40.0% DISTURBED	---
45.0% DISTURBED	---
50.0% DISTURBED	---
55.0% DISTURBED	---
60.0% DISTURBED	---
65.0% DISTURBED	---
70.0% DISTURBED	---
75.0% DISTURBED	---
80.0% DISTURBED	---
85.0% DISTURBED	---
90.0% DISTURBED	---
95.0% DISTURBED	---
100.0% DISTURBED	---

PROPOSED EROSION CONTROL	
DEMOLITION	---
CONCRETE	---
BRICK	---
WOOD	---
ASPH/FLT	---
GLASS	---
STEEL	---
CONCRETE	---
BRICK	---
WOOD	---
ASPH/FLT	---
GLASS	---
STEEL	---



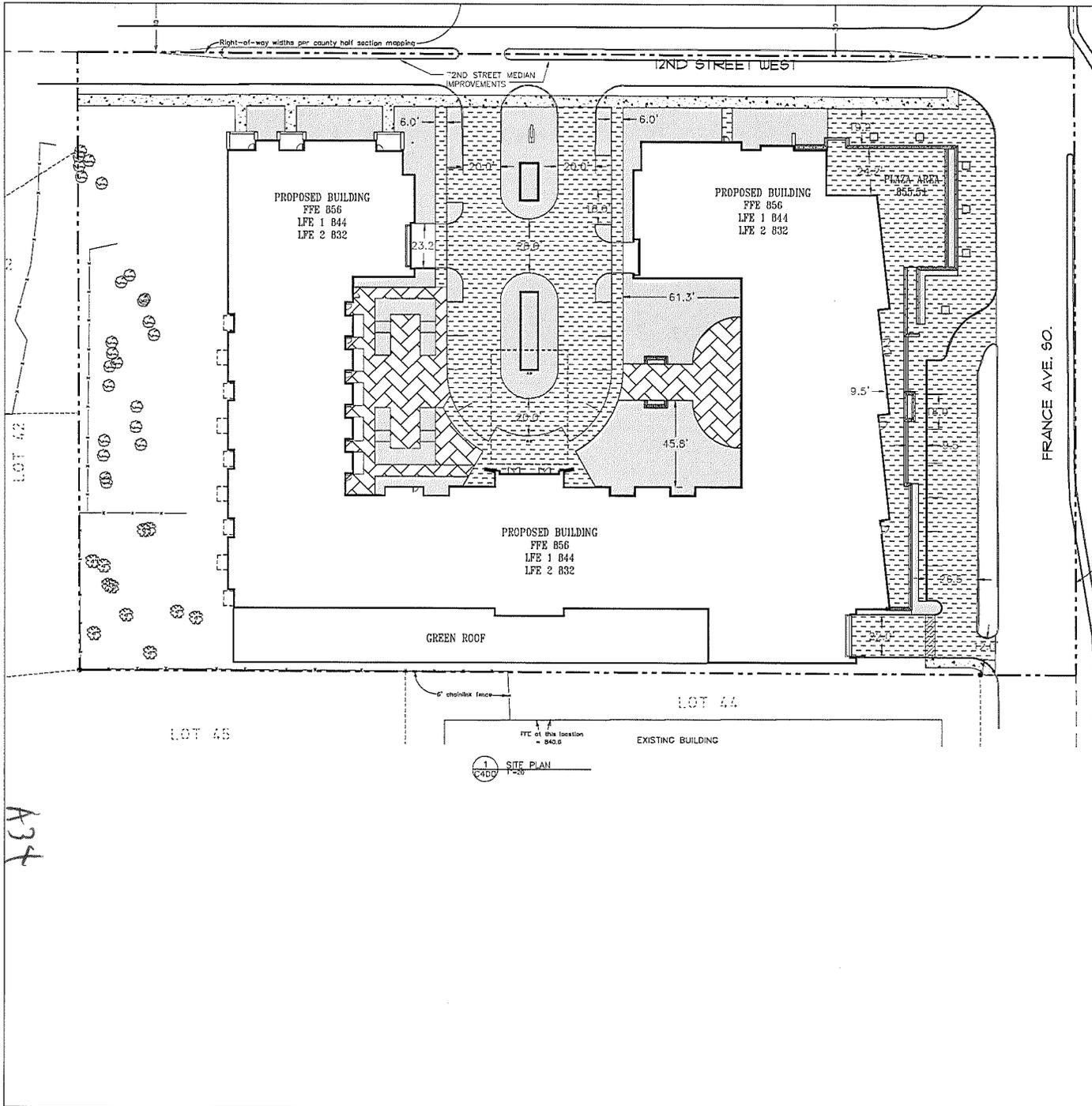
**NOTES:**

1. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN.
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN.
7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN.
10. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN.

NO.	DATE	DESCRIPTION
1	11/15/11	ISSUED FOR PERMITS
2	11/15/11	ISSUED FOR PERMITS
3	11/15/11	ISSUED FOR PERMITS
4	11/15/11	ISSUED FOR PERMITS
5	11/15/11	ISSUED FOR PERMITS
6	11/15/11	ISSUED FOR PERMITS
7	11/15/11	ISSUED FOR PERMITS
8	11/15/11	ISSUED FOR PERMITS
9	11/15/11	ISSUED FOR PERMITS
10	11/15/11	ISSUED FOR PERMITS

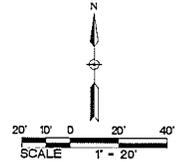






**ABBREVIATIONS**

BDC	Building
EM	Block Sign
EDMG	Concrete
ELC	Concrete
EX	Existing
FLC	Finished Floor Elevation
LFE 1	Lower Floor Elevation 1
LFE 2	Lower Floor Elevation 2
MD	Manhole
P	Pavement
TR	Traverse
WATER	Waterway Manure or Urine
WATER	Water Control Device
WATER	Water Control Device
WATER	Water Control Device



**PROPOSED PLAN SYMBOLS**

CONSTRUCTION LIMITS	---
RETAINING WALL	=====
PROPERTY LINE	----
CURBLINE (APPROX)	- - - - -
RETAINING WALL (APPROX)	=====
CONCRETE	=====
PAVEMENT/CONCRETE	=====
SLAB ON GRADE	=====
CONCRETE	=====
LANDSCAPE PLANNING	=====
WALL	=====
RECURRING LANDSCAPE	=====
FINISH	=====

**DJR ARCHITECTURE, INC**  
11222 W. 10TH AVENUE, SUITE 100  
DENVER, CO 80231  
TEL: 303.733.8888 FAX: 303.733.8889

**ELEMENT**  
FOR PRELIMINARY AND PERMITTING PURPOSES  
SITE PLAN

**PRELIMINARY - NOT FOR CONSTRUCTION**

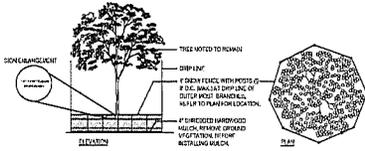
DATE: 11/13/21  
DRAWN BY: JAB  
CHECKED BY: JAB  
PROJECT: C400

DATE: 11/13/21  
DRAWN BY: JAB  
CHECKED BY: JAB  
PROJECT: C400

**C400**

**TREE PRESERVATION & REMOVAL NOTES:**

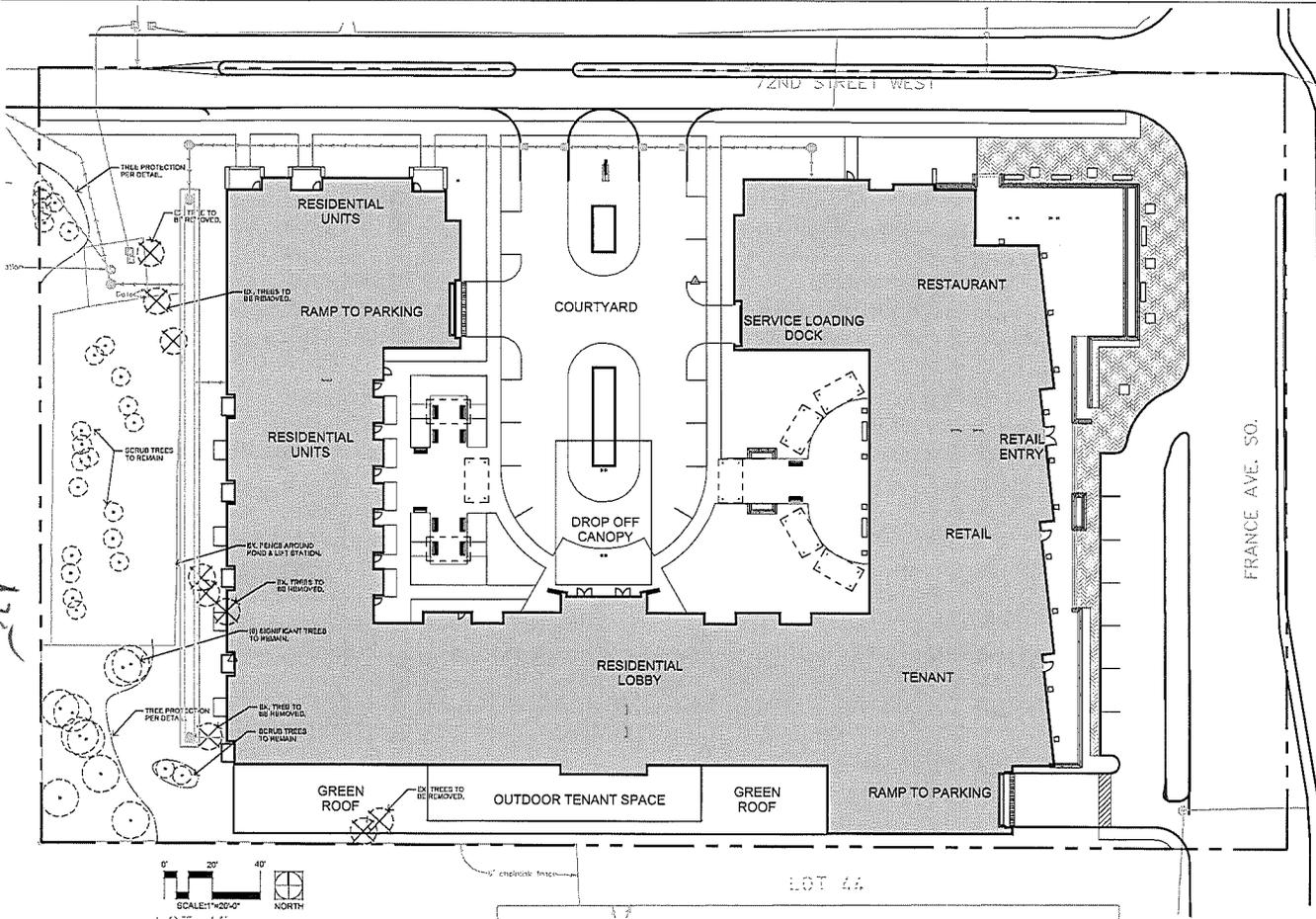
- Existing boundary, location, topographic, and utility information shown on this plan is from a field survey by Acra Land Surveying Co. The contractor is to field verify existing conditions to their satisfaction.
- Do not begin tree clearing work until tree protection measures are in place and to the approval of the City of Edina and the civil engineer.
- Critical Root Zone:**  
Install high density polyethylene safety fence, 4 ft high, 180-degree orange, at the Dip Line or at the Critical Root Zone whichever is greater, of trees to be preserved per detail, prior to commencement of earthwork activity. Stakeouting of the fence location(s) subject to City of Edina Forestry approval.
- Where all fence and proposed tree protection fence overlap, place the tree protection fence on the outside of the all fence, double-staked at the break-point.
- Refer to Tree Protection Details for root zone and dip line protection.
- The contractor shall prune the canopy of existing trees to remain where the canopy is in jeopardy of damage due to the new improvements shown. It is recommended that the contractor hire a certified arborist to perform the pruning. Any branches broken during construction shall be immediately trimmed and wounds painted to prevent further damage.
- Perform work in accordance with the laws, ordinances, rules, regulations, and orders of public authority having jurisdiction. Secure and pay for permits, governmental fees and licenses necessary for the proper execution of the demolition work.
- Prior to the start of construction, contact the City of Edina Forester at (952) 824-0275. Obtain permits as required by law.
- Provide protective coverings and enclosures as necessary to prevent damage to existing work that is to remain. Existing work to remain may include items such as trees, shrubs, lawns, sidewalks, curbs, utility, buildings and/or other structures on or adjacent to the demolition site. Provide temporary fences and barricades as required for the safe and proper execution of the work and the protection of persons and property.
- Remove debris, waste, and rubbish promptly from the site. On-site burial of debris is not permitted. Burn no debris on the site. Salvage material not otherwise indicated to be reused shall become the Contractor's property and is to be removed promptly from the site and disposed of in aird accordance with all applicable laws, regulations, and/or statutes.
- Buildings, features, surfaces, and other descriptive references shown on this drawing are for informational purposes only. Field verify all information relevant to the project prior to proceeding with the work. Visit the site and determine all site conditions and hazards.
- This plan is a guide as to the anticipated amount of disturbance expected due to proposed improvements. The contractor is expected to take all necessary precautions to ensure trees noted to remain are not damaged during construction. Do not store material or drive within the dip line of existing trees to remain, for areas of equipment branches for clearance of material and equipment.
- This plan is not a guarantee that existing trees will survive during construction, but rather a guide to help assure their protection and greatest chances of survival at the surface level. Further protection measures outside this scope could involve enclosures, forestry and arborists.
- Notify the Owner's Representative and Engineer when tree protection fencing is taken down to perform work in conjunction with the new improvements noted in this plan set. The contractor is responsible for re-erecting the tree protection fence immediately after the work is complete, when ever possible.
- Trees shown as existing to remain (be preserved) that are damaged / killed as a result of construction activities are subject to replacement per the City of Edina's Tree Replacement penalty. Replacement trees are to be paid for at no additional expense to the Owner.
- Trees Trimming: Trim branches of existing trees to remain with branches overhanging the work zone to a height of no less than 10' above grade. General contractor shall hire a state certified arborist to trim trees and shall not trim. Cleanup during prime oak wilt season, per city code. Do not disturb Oaks between April-June.



NOTE: TREE PROTECTION SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED TO AVOID RESPONSIBILITY OF EXISTING TREES TO REMAIN. DO NOT STAKE MATERIALS OR SIGNAL EQUIPMENT STAKE WITHIN THE TREE DIP LINE AS DESCRIBED ABOVE UNLESS THE FORCE MAJEUR AT ALL TIMES THROUGHOUT CONSTRUCTION. REINSTALL TREE PROTECTION ZONE GRID EVERY 24-48 HRS. EXTENSION GRADE SIGNALS UP TO TREE.

1 TYPICAL TREE PROTECTION DETAIL

**DETAILS, NOTES, AND SCHEDULES:**



TREE PRESERVATION AND PROTECTION PLAN

**DJR**  
ARCHITECTURE, INC.  
1333 MARSHALL AVENUE, SUITE 100  
EDINA, MN 55425  
TEL: 763.228.4444 FAX: 763.228.4444

Calyx Design Group, Inc.  
1333 MARSHALL AVENUE, SUITE 100  
EDINA, MN 55425  
TEL: 763.228.4444 FAX: 763.228.4444



PROJECT: 1333 MARSHALL AVENUE, SUITE 100, EDINA, MN 55425  
DATE: 11/11/14  
DRAWN BY: J. H. H. H.  
CHECKED BY: J. H. H. H.  
SCALE: AS SHOWN

**PRELIMINARY, NOT FOR CONSTRUCTION**

DATE	PROJECT	DATE	DATE
11/11/14	1333 MARSHALL AVENUE, SUITE 100, EDINA, MN 55425	11/11/14	11/11/14

NAME: J. H. H. H.  
ADDRESS: 1333 MARSHALL AVENUE, SUITE 100, EDINA, MN 55425  
PHONE: 763.228.4444  
FAX: 763.228.4444

PROJECT: 1333 MARSHALL AVENUE, SUITE 100, EDINA, MN 55425  
DATE: 11/11/14  
DRAWN BY: J. H. H. H.  
CHECKED BY: J. H. H. H.  
SCALE: AS SHOWN

**ELEMENT**  
Tree Preservation and Protection

**Planting Palette:**

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
4	A	Quercus Rubra	Swamp White Oak	2 1/2" Cal.	Ball	
4	B	Acer Fraxinosa 'Spartan'	Scarlet Sedge Maple	1 1/2" Cal.	Ball	
11	C	Coluca bicolorata	Jack-in-the-box	1 1/2" Cal.	Ball	
1	D	Acer rubra	Red Maple	1 1/2" Cal.	Ball	
1	E	Picea canadensis	Black Hills Spruce	4" High	Ball	Full Tree
16	F	Clivia miniata var. 'Tropicolor'	Shoebird Flowerplant	2 1/2" Cal.	Ball	
12	G	Impatiens noli-tangere	Impatiens Golden Aster	2" Cal.	Ball	
14	H	Senecio nemoralis	Japanese Snow Lotus	2" Cal.	Ball	
1	I	Yucca cordata 'Crescent'	Champ Crescent Yucca	2" Cal.	Ball	3-Care Champ

**TREES:**

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
27	U	Ulmus americana 'Widow's Love'	Widow's Love Elm	4 1/2" Cal.	FCM	
20	V	Hamamelis virginica	Witch Hamamelis	4 1/2" Cal.	FCM	
16	W	Aquilegia scopulorum	Scorpion Bellflower	4 1/2" Cal.	FCM	
12	X	Sparganium angustifolium	Blue Flag	4 1/2" Cal.	FCM	
70	Y	Chamaenerion canadense 'Tall Evening'	Evening Primrose	4 1/2" Cal.	FCM	
14	Z	Monarda mollis	Flower Grass	4 1/2" Cal.	FCM	

**PERENNIALS:**

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
16	AA	Perithous canadensis 'Empire'	Empire Fox	4 1/2" Cal.	FCM	Straw in shade

**VINES:**

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
16	K	Impatiens whitea	White Impatiens	1 1/2" High	FCM	
14	L	Impatiens 'Tropicolor'	Scarlet Impatiens	1 1/2" High	FCM	
12	M	Coluca bicolorata 'Blue Star'	Blue Star Coluca	1 1/2" High	FCM	
21	N	Cornus alternifolia 'Forsyth'	Amelanchier	1 1/2" High	FCM	
12	O	Sparganium 'Blue Star'	Blue Star Sparganium	1 1/2" High	FCM	
14	P	Artemisia biennis 'Crown of Thorns'	Crown of Thorns	1 1/2" High	FCM	
12	Q	Cornus alternifolia 'Red Carpet'	Red Carpet Dogwood	1 1/2" High	FCM	
12	R	Impatiens noli-tangere 'Candy Gold'	Candy Gold Impatiens	1 1/2" High	FCM	
11	S	Wigandia floridula 'Bicolor'	Bicolor Wigandia	1 1/2" High	FCM	
12	T	Impatiens whitea	White Impatiens	1 1/2" High	FCM	

**SHRUBS:**

**Municipal Landscape Requirements Summary:**

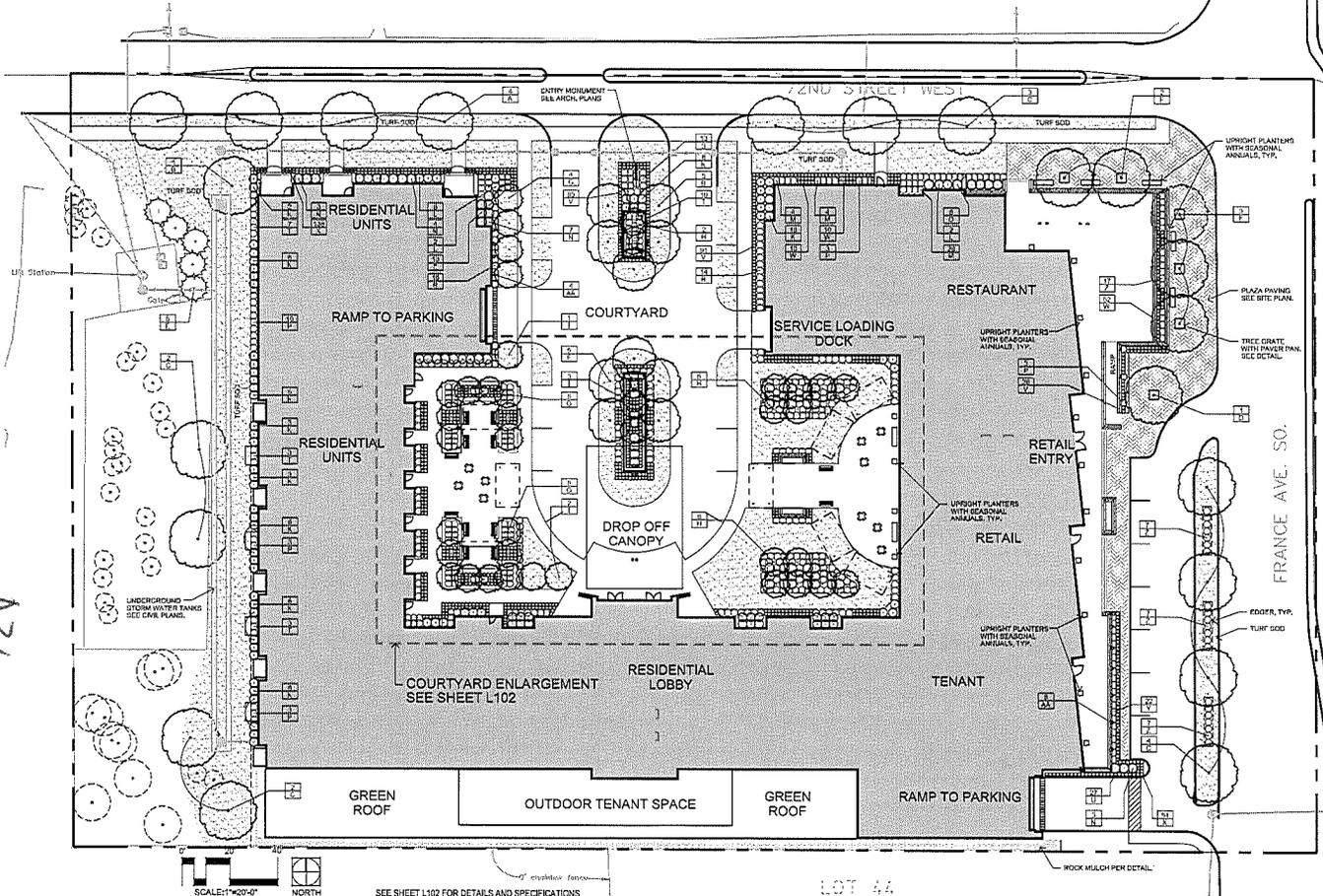
**Landscape Tree Requirements:**  
 42 sq. ft. trees per property boundary calculation (1,600 SF / 40 = 42.5 trees)  
 Required Tree Schedule:  
 01 tree req. at 3.0' Dia. Diameter or 17' High, Corfuensis  
 03 tree req. at 3.0' Dia. Diameter or 17' High, Corfuensis  
 11 tree req. at 3.0' Dia. Diameter or 17' High, Corfuensis  
 18 tree req. at 3.0' Dia. Diameter or 17' High, Corfuensis  
 02 tree req. at 3.0' Dia. Diameter or 17' High, Corfuensis

**42 Total Trees Required**

**Landscaping Trees to Remove (Proposed Landscaping):**  
 30 Proposed New Trees Required  
 12 Other Trees Required

**Landscape Notes:**

- Tree source: mulch to be four inches (4") depth natural sphagnum-based hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
- Refer to city & plant schedule for grading, drainage, site elevations, survey, tree removal, preservation, utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery, American Association of Nurserymen. Unless noted otherwise, produce stock shall have at least 60% canopy at the specified stock height. Plant material shall be delivered as specified.
- Flora takes precedence over sheet schedule if discrepancies in quantities exist.
- All proposed plants shall be located and staged as shown.
- If the landscape contractor is concerned plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Contractor shall make any repairs to site and adjacent areas.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or uncertain any deficiencies in the plant selection, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or persistence, they may bring these concerns to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to NUT for satisfaction that soil and connection conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material until line of owner acceptance. Any case of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease control.
- The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 10% dieback or more than 10% dieback shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deconstruction protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be required by the city based on updates, inspections, public input, seasonal conditions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all trees, turf and shrub planting areas. The contractor shall provide irrigation equipment and provide product cut-walks and (4) copies of the proposed layout plan to the landscape architect for review and approval. Coordinate irrigation connection point, crossover, backflow and safety backflow with the architect & general contractor. Irrigation system shall be coordinated with all other building structure and systems. Coordinate all existing conditions and do not permit water-logging without coordinating with water-cooling contractor.
- All edges shall be professional grade black steel edge, 1 1/2" thick, 12" straight lengths. Anchor every 16" (minimum) minimum. Submit samples.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during construction work activities. Report any damage to the General Contractor immediately.
- Unless otherwise noted, plant beds shall include 4" depth of limestone rock mulch over fabric weed mat, per detail. Submit each sample for Owner approval. Do not install weed mat under perennials, with the exception of ornamental grasses.
- Rock mesh areas shall be 3/4"-1/2" non-washed decorative rock. Install per detail. Submit each sample for approval.
- All shrubs, perennials, and sodless areas shall be prepared prior to installation activities with a hardy power box rake or equal to provide a firm planting bed free of stones, debris, construction debris, etc.
- Turf installation activity shall conform to rules and regulations as established in the MDCD Scheduling Manual, 2016 edition, for turf bed preparation, installation, maintenance, and work.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grade the underbrush from within the work limits to remove dead branches, leaves, twigs, weeds and foreign materials. Remove trees where noted on the plan, including the ramp to 30' below grade.
- The landscape contractor shall contact Cooper State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes all erosion control and sediment traps in the landscape.
- The landscape contractor shall be responsible for making the site become familiar with the conditions prior to bidding and installation. Coordinate with the general contractor on matters such as the grading, landscaped areas, conditions, staging areas, irrigation connection to building, etc.
- See Site and City Plans for additional information regarding the project.
- All subdivided areas of the site that are designated on the site plan as open space for landscape shall have no less than 4" of imported, pulverized planting. Slope away from building.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of withstanding a minimum requirement of 1000 lbs per square foot prior to installation of plant materials, gravel, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" gravel & 4" depth mesh applied every 20' throughout and meet the MDCD Free-Draining Course Filter Aggregate. Related subgrade preparation for compliance to installation minimum requirements.
- Fencing (if noted) per Architect's Plans and Specifications.
- Landscape contractor shall coordinate tree removal activities and ensure all trees designated for removal are gone before start of landscape installation. Grind stumps to 30" below grade and back-fill with topsoil.
- Landscape contractor shall include in their bid to remove any existing shrubs, sod, edge, fabric, and edger that interferes with new improvements shown in this drawing.
- Green Roof layout and growing medium to be specified in construction document set, including field contractor pricing.



**LANDSCAPE PLAN**

**DETAILS, NOTES, AND SCHEDULES:**

**DJR ARCHITECTURE, INC.**  
 1133 BROADWAY, SUITE 1000, NEW YORK, NY 10018  
 TEL: 212 693 1234 FAX: 212 693 1235  
 WWW.DJRARCHITECTURE.COM

**City Design Group, LLC**  
 Landscape Architecture • Construction Design  
 1133 BROADWAY, SUITE 1000, NEW YORK, NY 10018  
 TEL: 212 693 1234 FAX: 212 693 1235  
 WWW.CITYDESIGNGROUP.COM

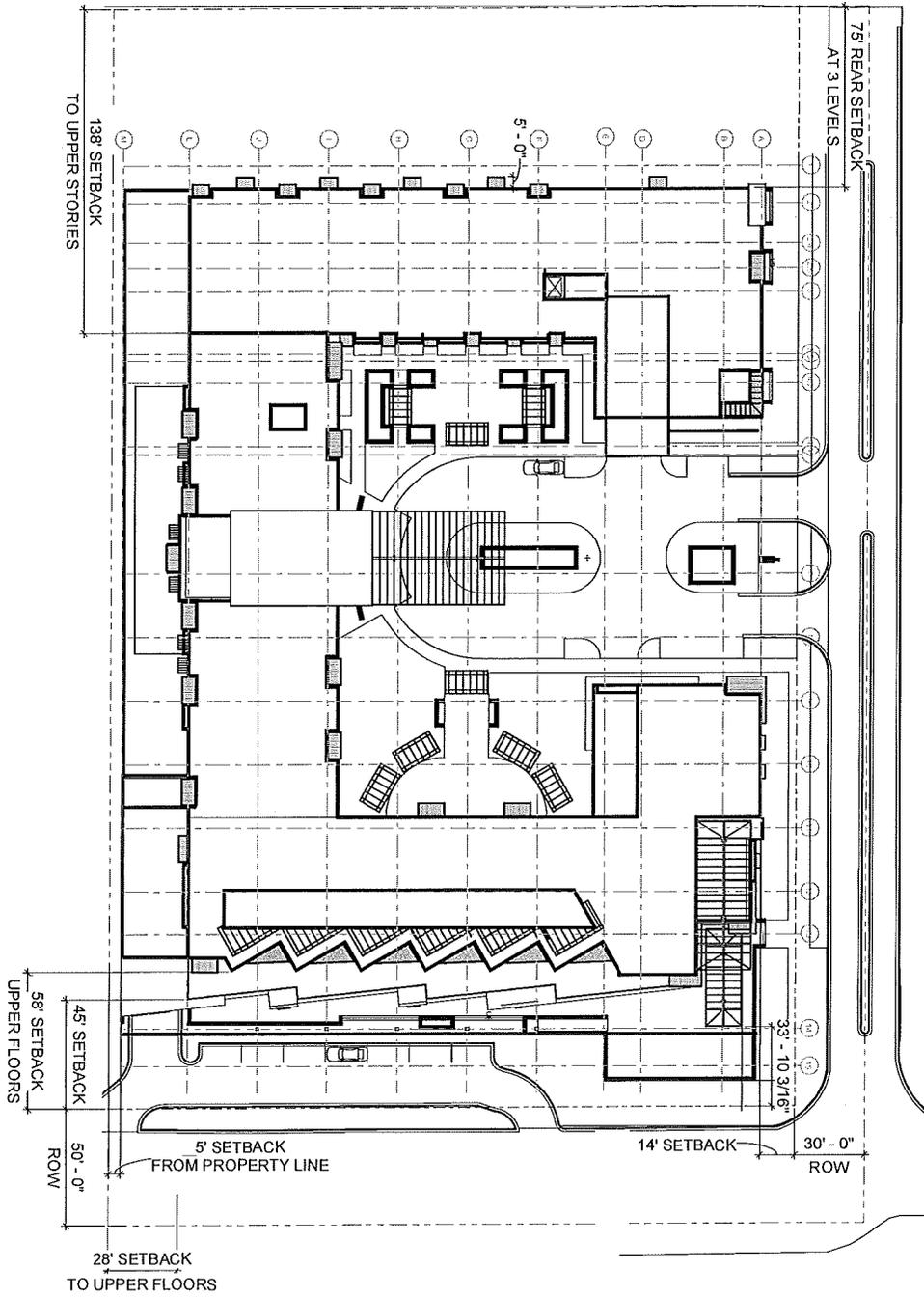
**PRELIMINARY - NOT FOR CONSTRUCTION**

**ELEMENT**  
 200 FORT LEE AVENUE, SUITE 100, FORT LEE, NJ 07024  
 TEL: 201 327 1234 FAX: 201 327 1235  
 WWW.ELEMENTARCHITECTS.COM

**LANDSCAPE PLAN**



A38



1 SITE  
1" = 20'-0"

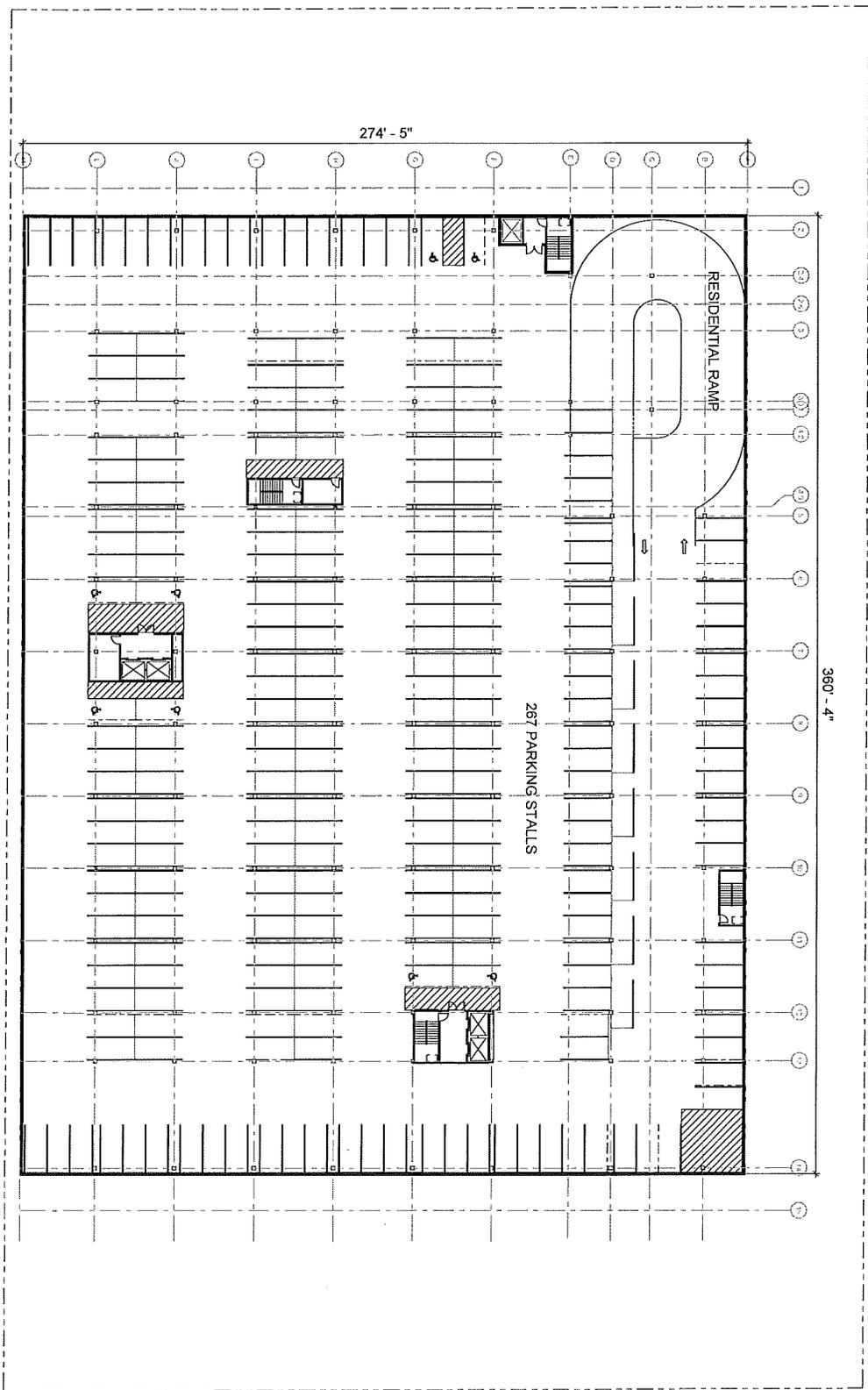
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 720 PINE AVE. SOUTH EDEN, MI 48445  
**AS100**  
 SITE PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

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DATE	12/22/24	DRAWN BY	UJ
DATE	12/22/24	CHECKED BY	COB
DATE	12/22/24	PROJECT	14-0215
DATE	12/22/24	CLIENT	ALLIANCE GROUP
DATE	12/22/24	CONTRACTOR	ALLIANCE GROUP

**DJR**  
 ARCHITECTURE, INC.  
 100 WEST WASHINGTON STREET  
 ANN ARBOR, MI 48106  
 734.769.2200

A34



**ELEMENT**  
 700 FRANK AVENUE SOUTH EDINA, MI 48426

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT # 140215  
 DATE 10/20/14  
 DRAWN BY ES LM  
 CHECKED BY ESR

CLIENT  
 NEW EDINA GARAGE  
 700 FRANK AVENUE SOUTH  
 EDINA, MI 48426

ARCHITECT  
 DJR ARCHITECTURE, INC.  
 125 W. WASHINGTON ST.  
 ANN ARBOR, MI 48106

DATE 11/18/10  
 SCALE 1/8" = 1'-0"

**DJR**  
 ARCHITECTURE, INC.  
 125 W. WASHINGTON ST.  
 ANN ARBOR, MI 48106  
 734.769.8200  
 WWW.DJRARCHITECT.COM

A100



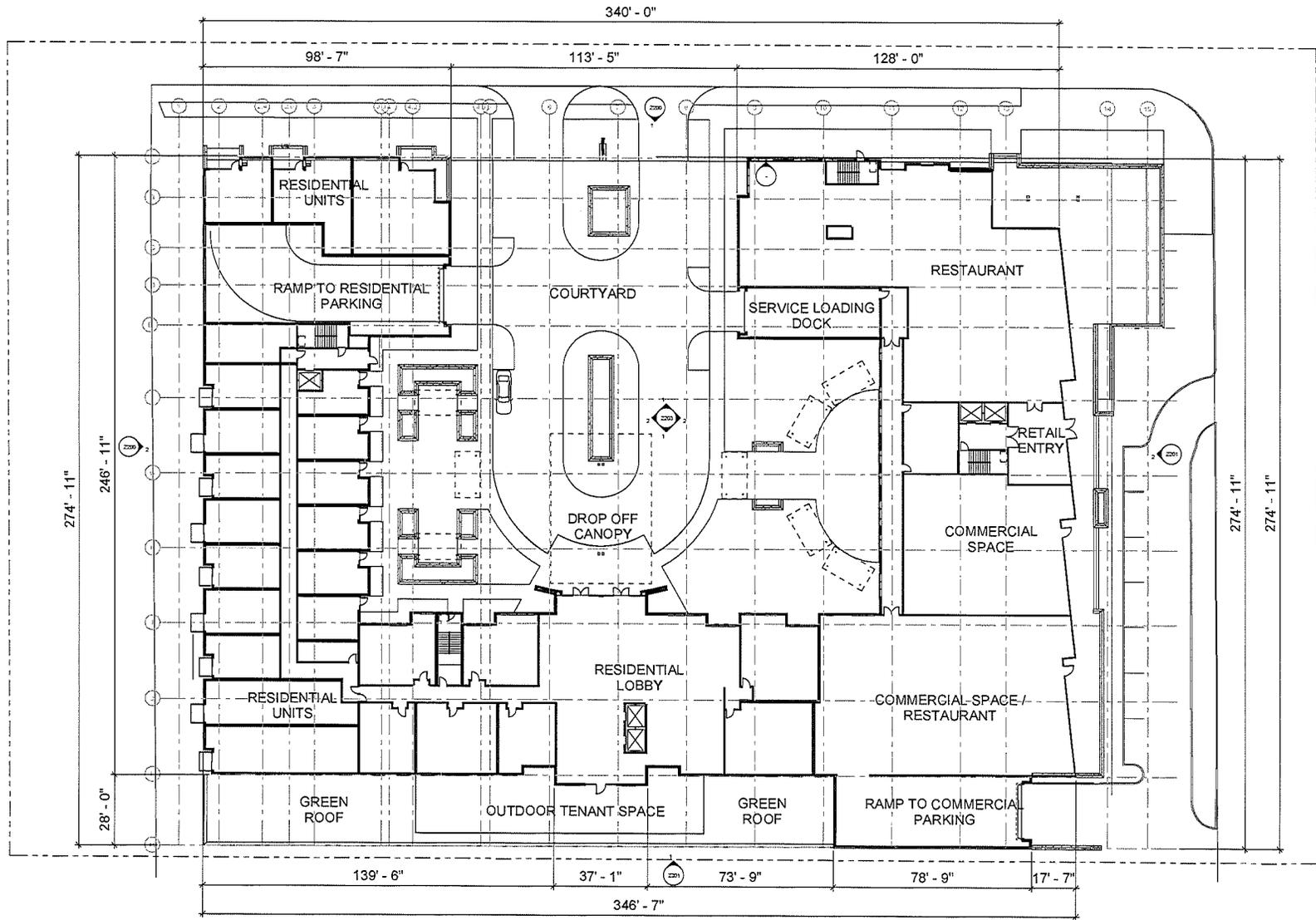
**BUILDING SUMMARY**  
 SITE AREA: 138,650 SF - (3.18 ACRES)  
 BUILDING AREA: 207,059 SF  
 FAR: 1.49  
 GROSS RENTABLE AREA: 162,670  
 NET RENTABLE ESTIMATE: 152,910  
 UNITS: 160 - 50 UNITS PER ACRE

Floor Area Ratio	
Level	FAR Area
LEVEL P1	4,926 SF
LEVEL 1	45,839 SF
LEVEL 1.5	18,585 SF
LEVEL 2	47,664 SF

Floor Area Ratio	
Level	FAR Area
LEVEL 3	30,042 SF
LEVEL 4	30,042 SF
LEVEL 5	28,856 SF
ROOF / LEVEL 5.5	1,106 SF

207,059 SF

Parking On Site	
Level	Stalls Per Level
LEVEL P2	267
LEVEL P1	227
LEVEL 1	12
	506

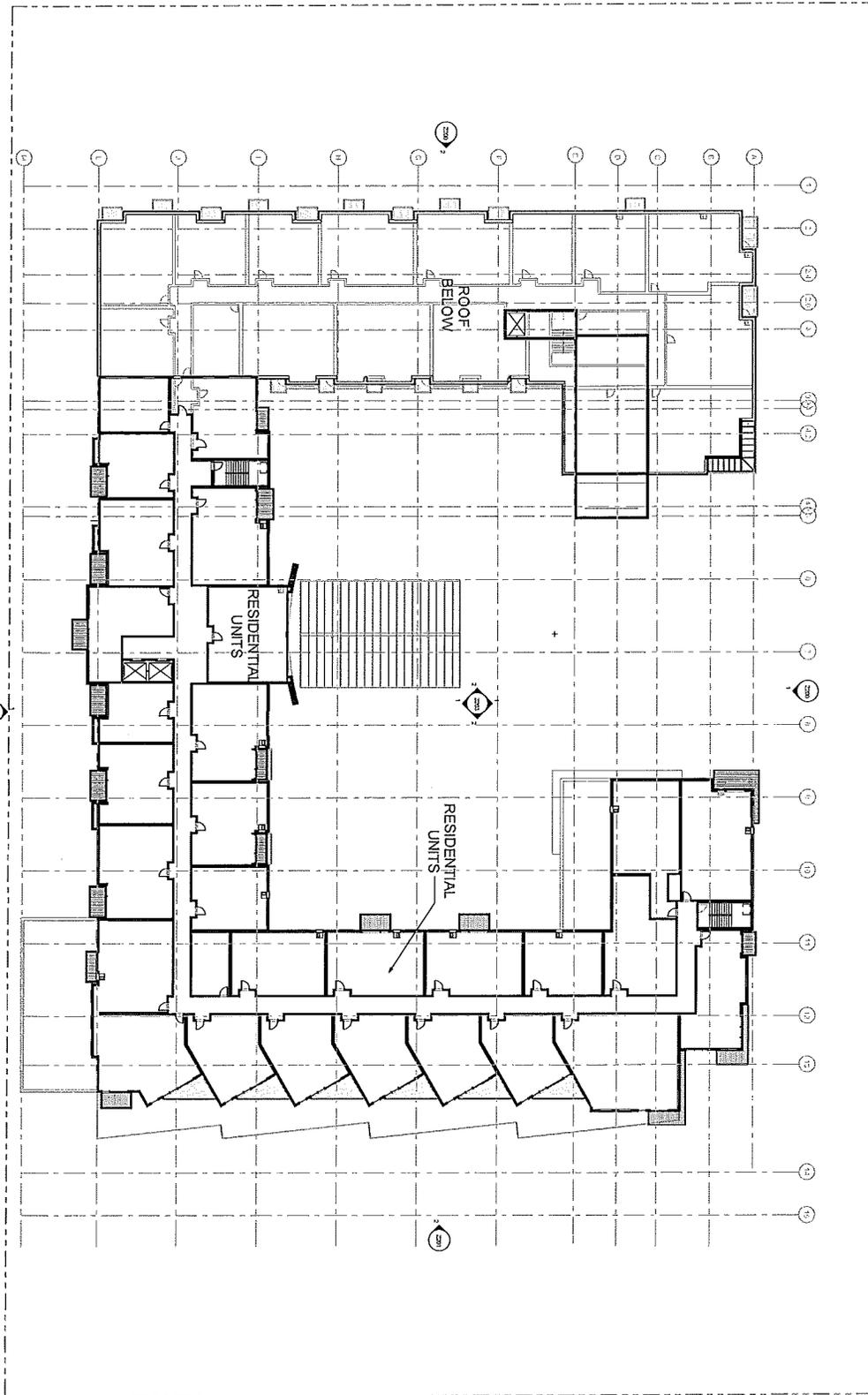


1 FLOOR PLAN - LEVEL 1  
 1/16" = 1'-0"





AGF



**ELEMENT**  
 700 FRANCE A/D/AVE SOUTH EDINA, IL 60445  
**LEVEL 3 FLOOR PLAN**

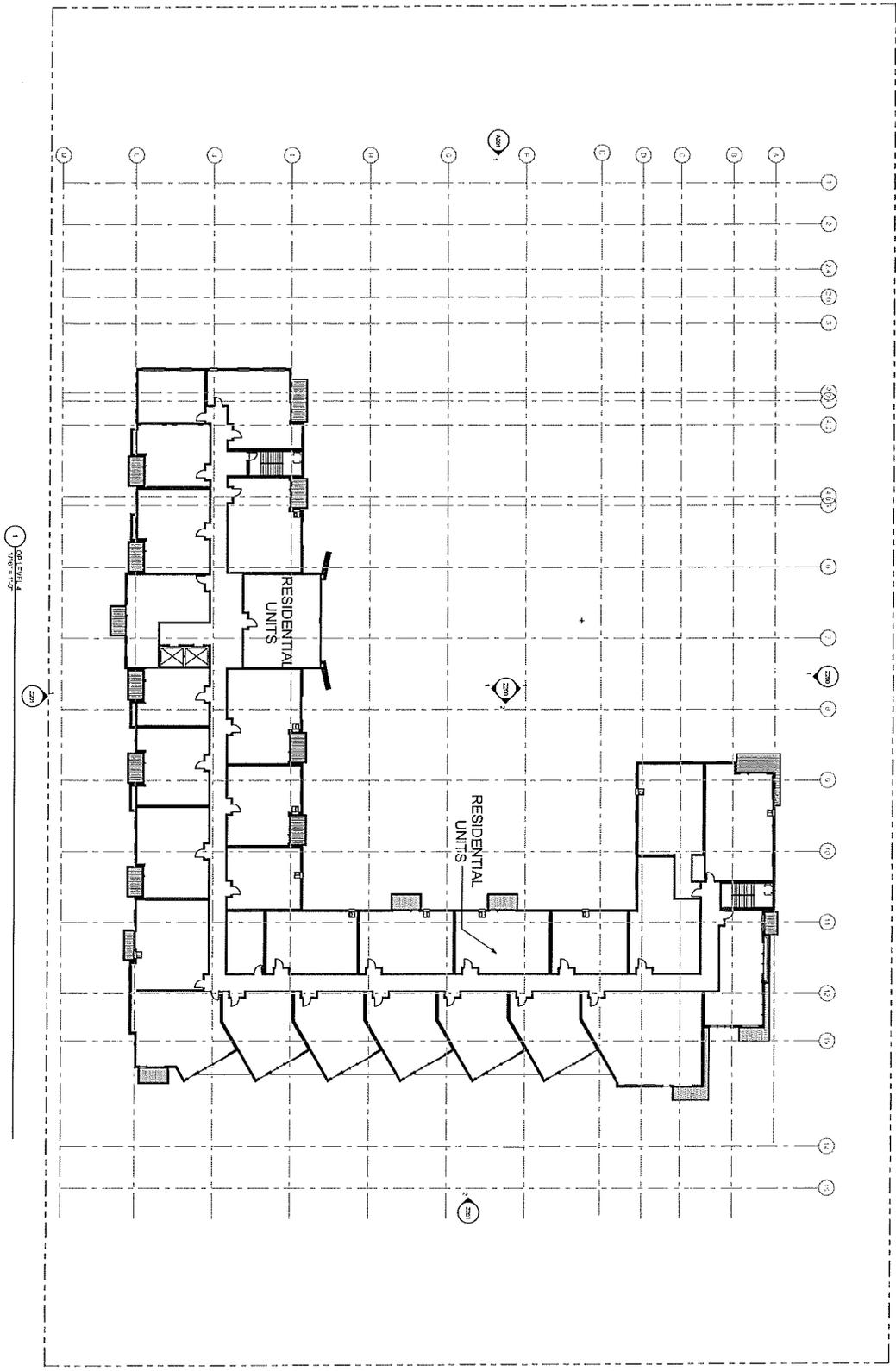
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DESIGNED BY	ES/UM	DATE	12/20/2014
DRAWN BY	ES/UM	CLIENT	THE HOLLAND GROUP
CHECKED BY	ES/UM	CONTRACTOR	THE HOLLAND GROUP
DATE	12/20/2014	PROJECT #	14-0015
DESIGNED BY	ES/UM	DATE	12/20/2014
DRAWN BY	ES/UM	CLIENT	THE HOLLAND GROUP
CHECKED BY	ES/UM	CONTRACTOR	THE HOLLAND GROUP

**DJR**  
 ARCHITECTURE, INC.  
 11100 W. BROADWAY SUITE 100  
 CHICAGO, ILLINOIS 60642  
 312.626.2000 www.djrarch.com

**A130**

145



1 10' SECTION A

14

14

14

**ELEMENT**  
 700 PRINCE AVENUE SOUTH EDINA, MN 55435  
 PROJECT NO. 14-0015  
**LEVEL 4 FLOOR PLAN**

PRELIMINARY - NOT FOR CONSTRUCTION

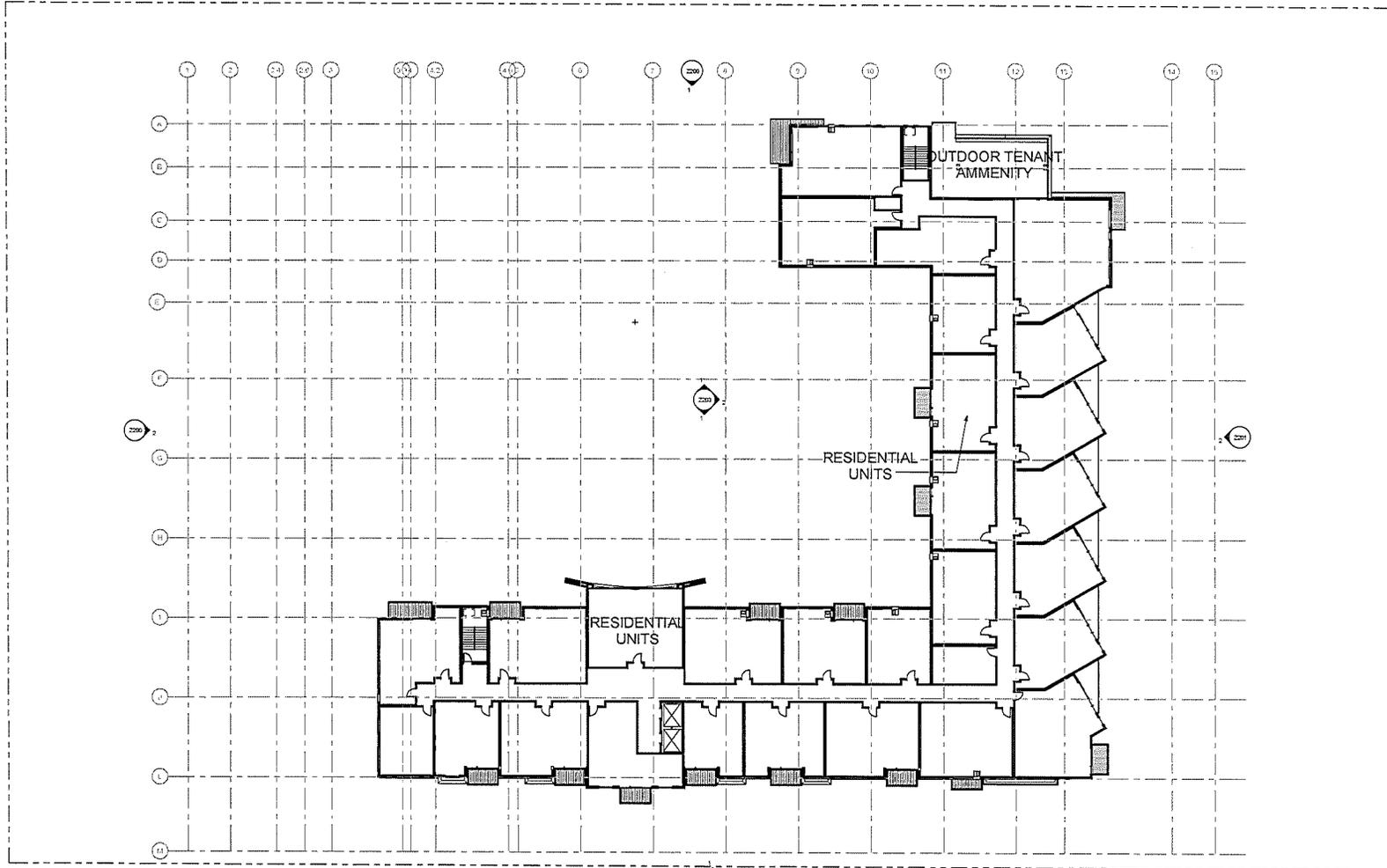
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PRELIMINARY DEVELOPMENT	DATE	DRAWN BY
		ES, LBI
		CHECKED BY
		SCB

PROJECT NO. 14-0015  
 DATE 10/12/2014  
 DRAWN BY ES, LBI  
 CHECKED BY SCB  
 PROJECT # 14-0015  
 DATE 10/12/2014  
 DRAWN BY ES, LBI  
 CHECKED BY SCB

**DJR**  
 ARCHITECTURE, INC.  
 100 WYOMING STREET, SUITE 200  
 EDINA, MN 55425  
 TEL: 763.272.2722 FAX: 763.272.2723

A140

ATT



OP LEVEL 5  
1/10" = 1'-0"

ELEMENT  
7000 MAIN AVENUE EXTENDED, #1100S  
LEVEL 5 FLOOR PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT DEVELOPER	DATE	PROJECT NUMBER
13/12/24	13/12/24	13/24/001
DESIGNER	DATE	PROJECT NUMBER
ELI LIA	13/12/24	13/24/001
CHECKER	DATE	PROJECT NUMBER
CHRISTINA ZOB	13/12/24	13/24/001

7000 MAIN AVENUE EXTENDED, #1100S  
LEVEL 5 FLOOR PLAN  
DATE: 13/12/24  
PROJECT NUMBER: 13/24/001

DJR  
ARCHITECTURE, INC.  
1127 W. 11TH AVENUE, SUITE 200  
DENVER, CO 80202

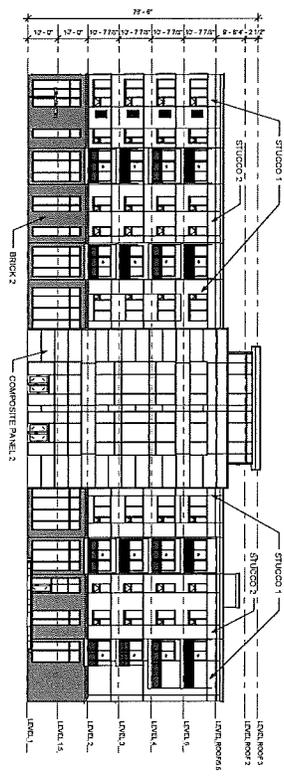
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STATE OF COLORADO  
LICENSE NO. 100000001  
12/15/2018

PROFESSIONAL ARCHITECT  
STATE OF ILLINOIS  
LICENSE NO. 000000001  
12/15/2018

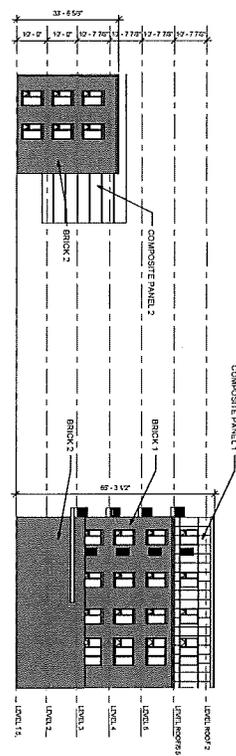
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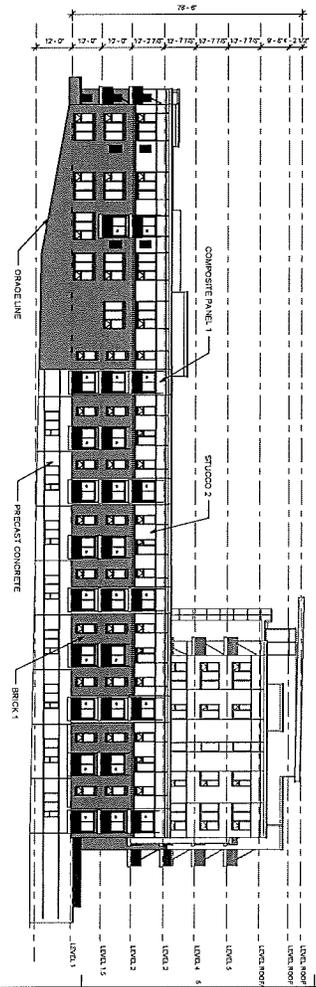
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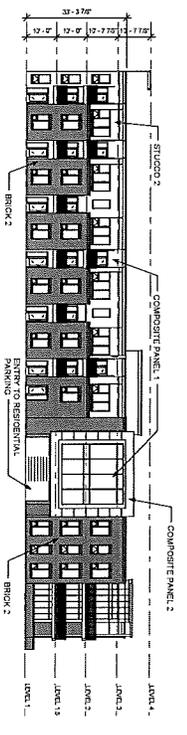
2 SOUTH FASAD SOUTH  
TYPE = 1/8"



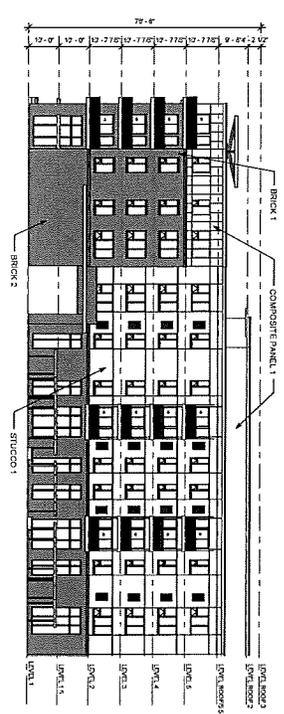
1 EAST FASAD SOUTH  
TYPE = 1/8"



1 WEST FASAD WEST  
TYPE = 1/8"



3 EAST FASAD EAST  
TYPE = 1/8"



3 WEST FASAD WEST  
TYPE = 1/8"

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	10/10/2014
PROJECT #	140015
DATE	10/20/14
DRAWN BY	ESL/LL
CHECKED BY	SSB

PROJECT	140015
DATE	10/20/14
DRAWN BY	ESL/LL
CHECKED BY	SSB
SCALE	AS SHOWN
PROJECT	140015
DATE	10/20/14
DRAWN BY	ESL/LL
CHECKED BY	SSB

PROJECT	140015
DATE	10/20/14
DRAWN BY	ESL/LL
CHECKED BY	SSB
SCALE	AS SHOWN
PROJECT	140015
DATE	10/20/14
DRAWN BY	ESL/LL
CHECKED BY	SSB

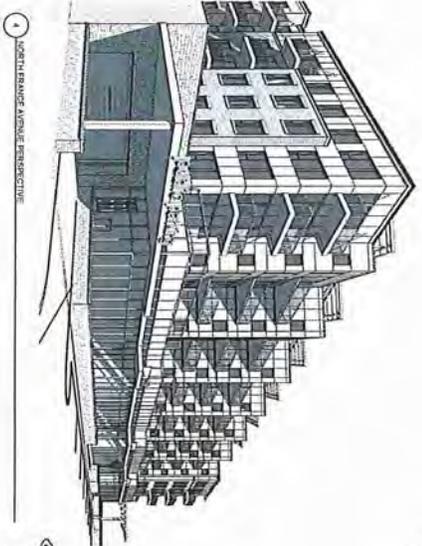
**DJR**  
ARCHITECTURE, INC.  
1100 UNIVERSITY AVENUE, SUITE 100  
ANN ARBOR, MICHIGAN 48106  
TEL: 734.769.1100  
WWW.DJRARCHITECTURE.COM

ELEMENT  
2200 PLYMOUTH AVENUE, SOUTHFIELD, MI 48065

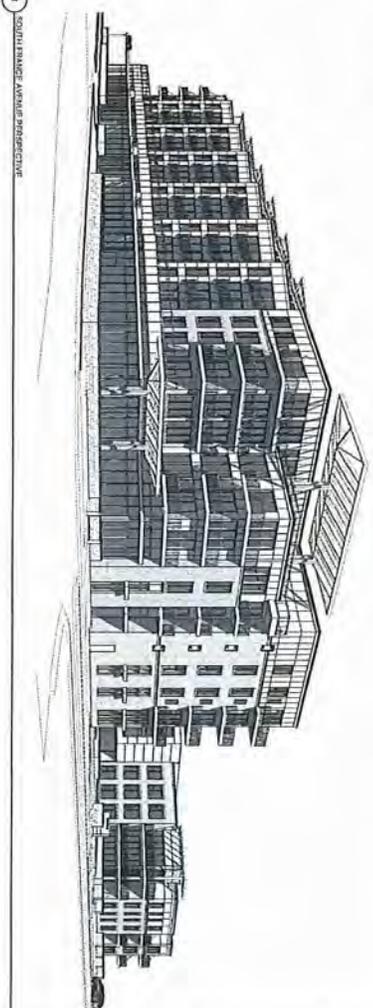
A201

EXTERIOR ELEVATIONS

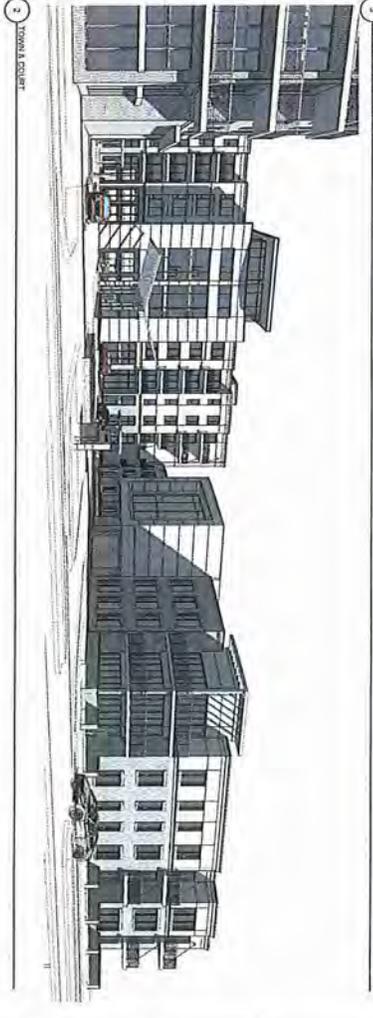
4/4



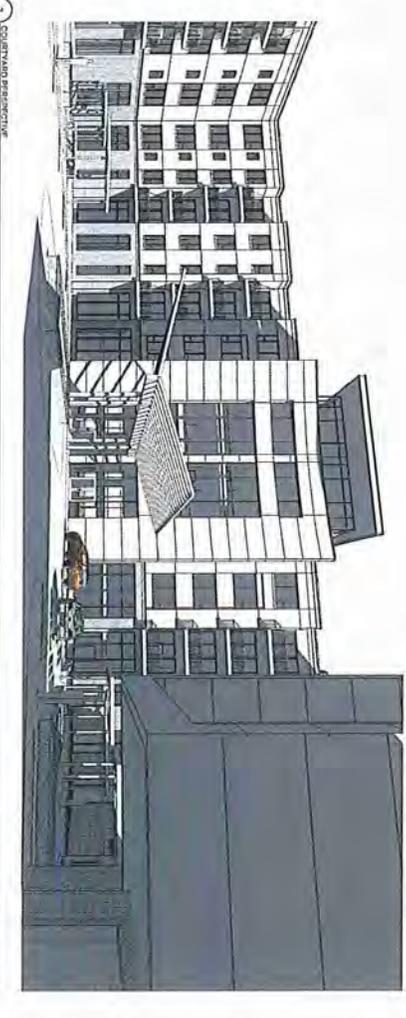
1 NORTH ELEVATION PERSPECTIVE



1 SOUTH ELEVATION PERSPECTIVE



2 TOWN & COURT



3 COURTYARD PERSPECTIVE

**ELEMENT**  
736 FRANCE AVENUE, SOUTH BEND, IN 46608

**A250**

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	13/10/2014	PROJECT	14-0015
DATE	15/05/2014	DATE	15/05/2014
DRAWN BY	ESL	CHECKED BY	SCB

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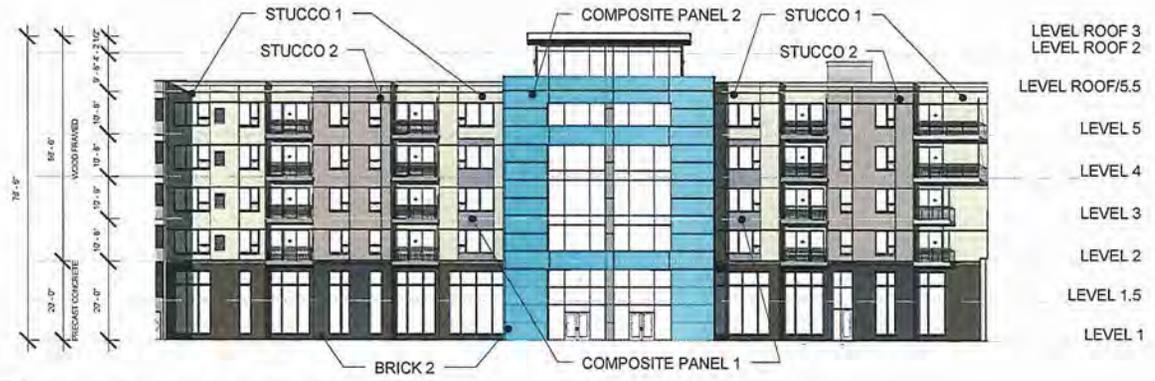
**DJR**  
ARCHITECTURE, INC.  
210 WESTMAN AVE, SUITE 200  
MUSKOGEE, ALABAMA 36506  
817.622.2222 www.djrarch.com

STRUCTURAL	CONTRACTOR
MECHANICAL & ELECTRICAL	MECHANICAL & ELECTRICAL
PLUMBING & HEATING	PLUMBING & HEATING





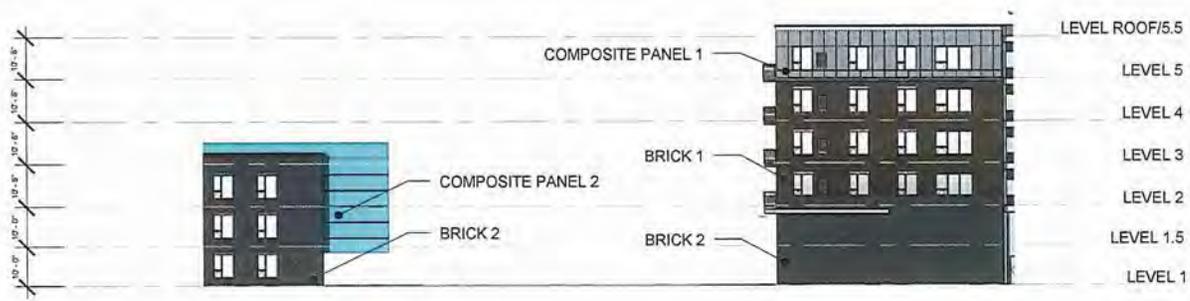
AS2



1 COURTYARD NORTH ELEVATION  
1" = 30'-0"



2 COURTYARD WEST ELEVATION  
1" = 30'-0"

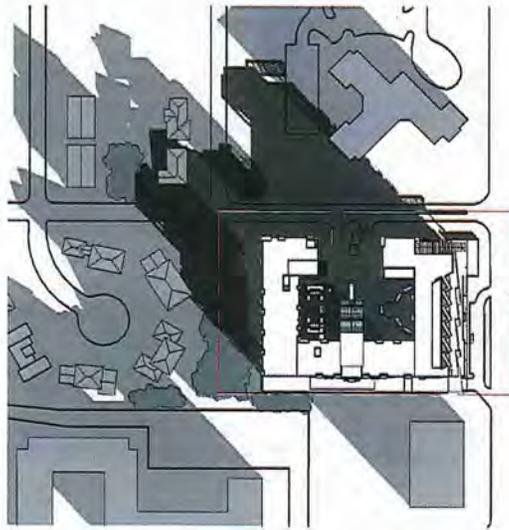


1 COURTYARD SOUTH ELEVATION  
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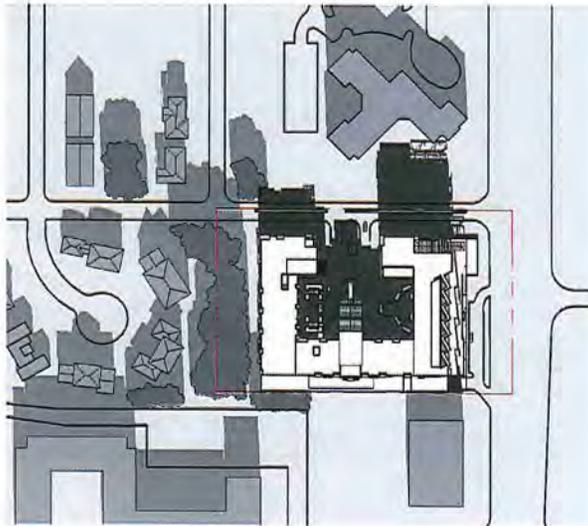


2 COURTYARD EAST ELEVATION  
1" = 30'-0"

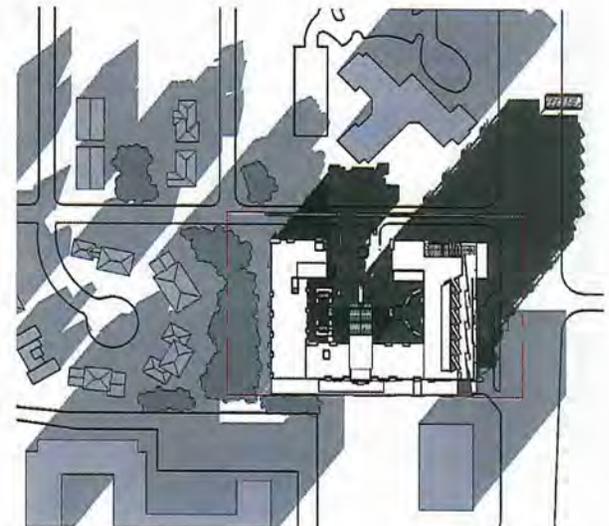
K53



**9:00 AM**  
SCALE 1"=200'-0"



**NOON**  
SCALE 1"=200'-0"



**3:00 PM**  
SCALE 1"=200'-0"



A54

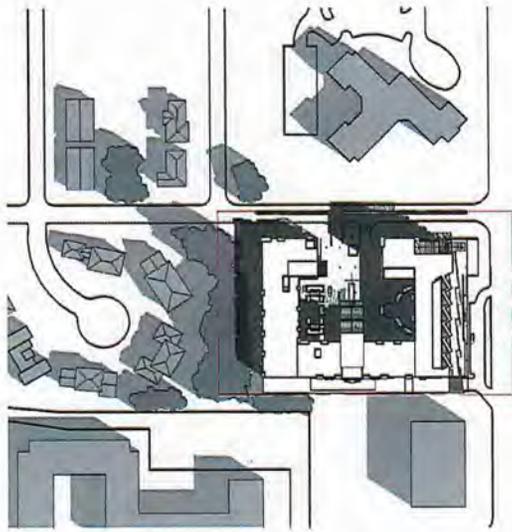
**ELEMENT**

Edina, Minnesota

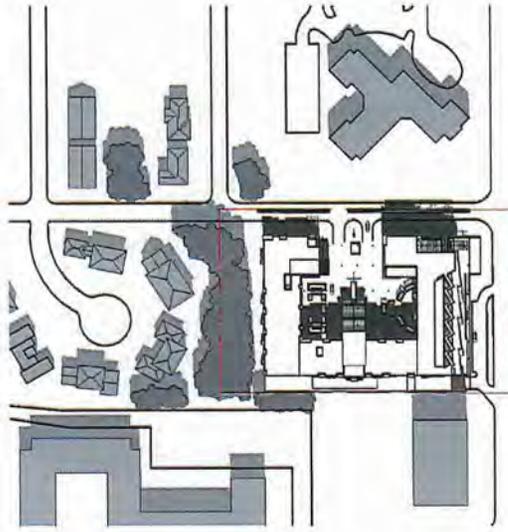
November 4, 2014

SHADOW STUDY DECEMBER 21

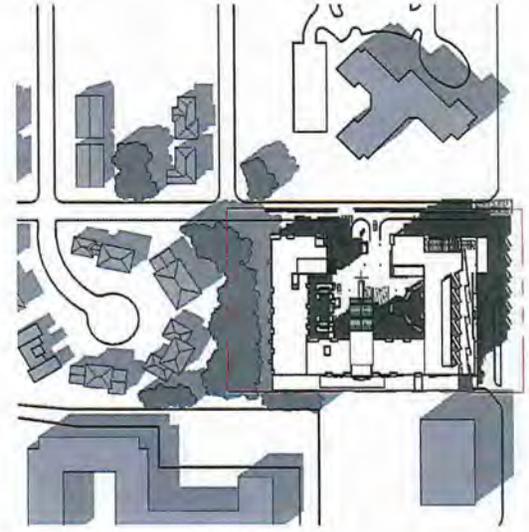
11400180



**9:00 AM**  
SCALE 1"=200'-0"



**NOON**  
SCALE 1"=200'-0"



**3:00 PM**  
SCALE 1"=200'-0"



455

**ELEMENT**

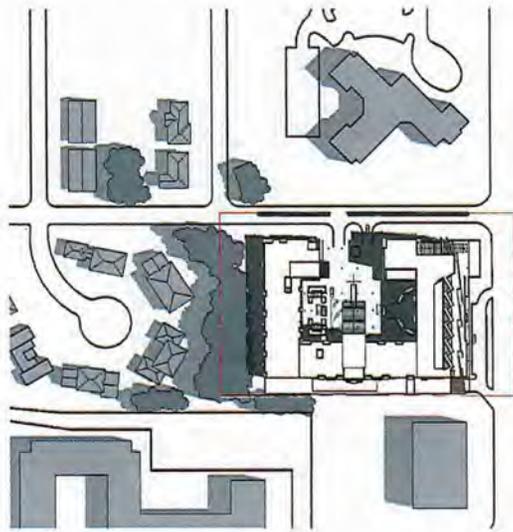
Edina, Minnesota

November 4, 2014

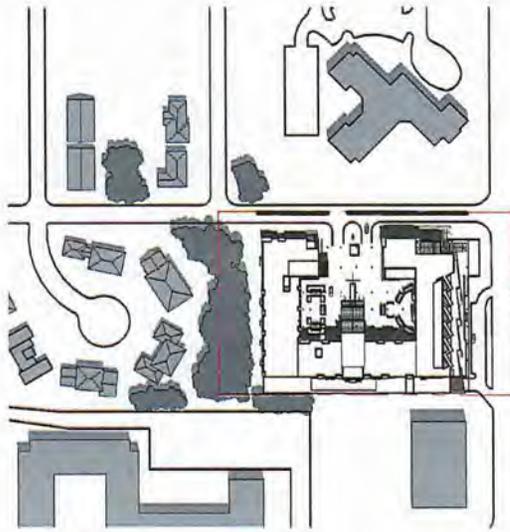
SHADOW STUDY MARCH 20 / SEPT. 20

11A-0018.8

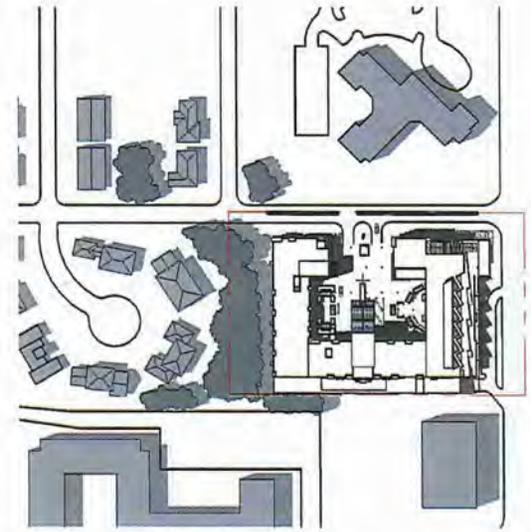
**DJR**  
ARCHITECTURE INC.



**9:00 AM**  
SCALE 1"=200'-0"



**NOON**  
SCALE 1"=200'-0"



**3:00 PM**  
SCALE 1"=200'-0"



P56

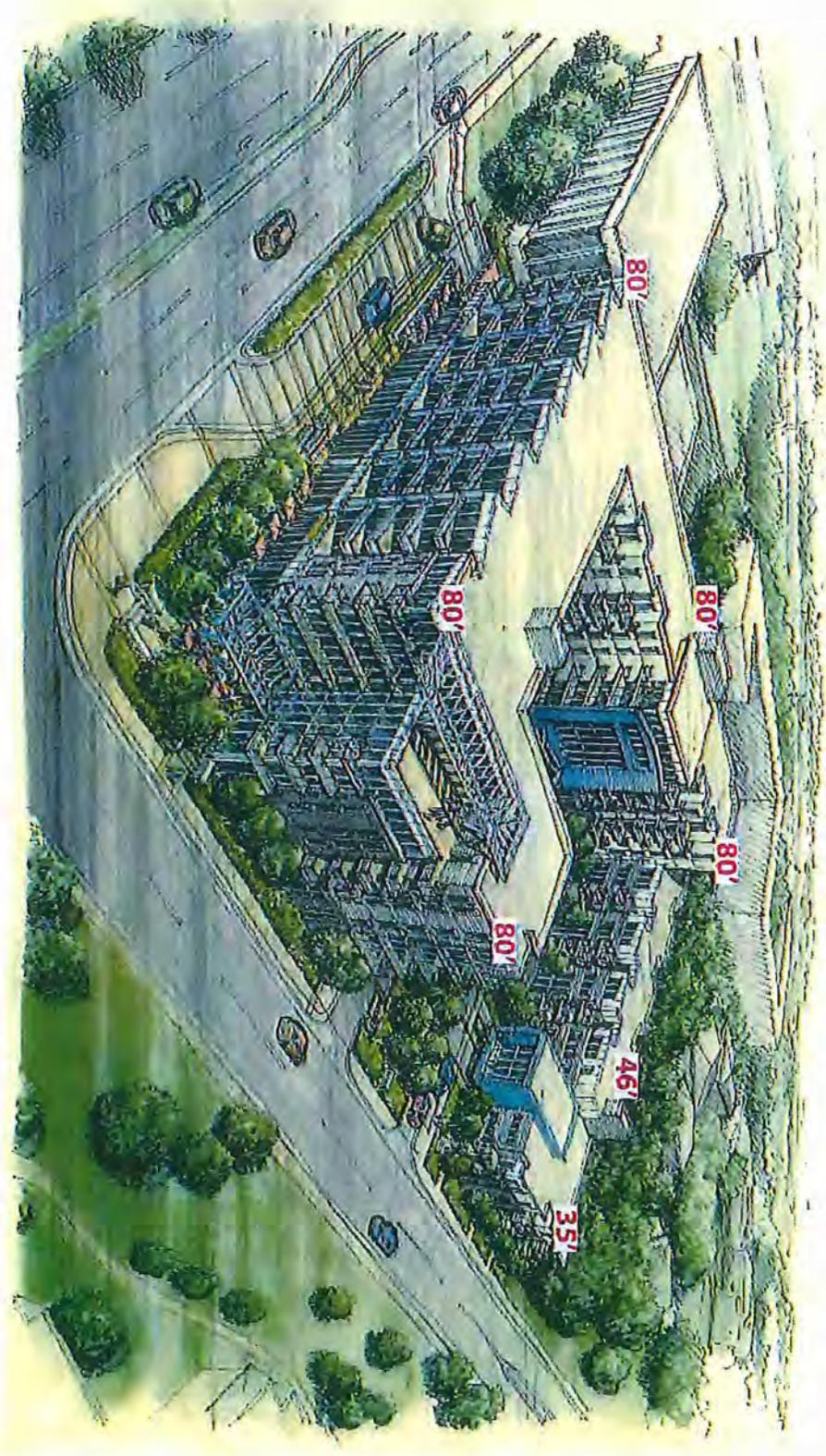
**ELEMENT**

Edina, Minnesota

November 4, 2014

SHADOW STUDY JUNE 21

114-00150



A57

# 72ND AND FRANCE MIXED USE

Edina, Minnesota

June 11, 2014

Sketch Rendering



ASB

# 72ND AND FRANCE MIXED USE

Edina, Minnesota

June 11, 2014

Sketch Rendering





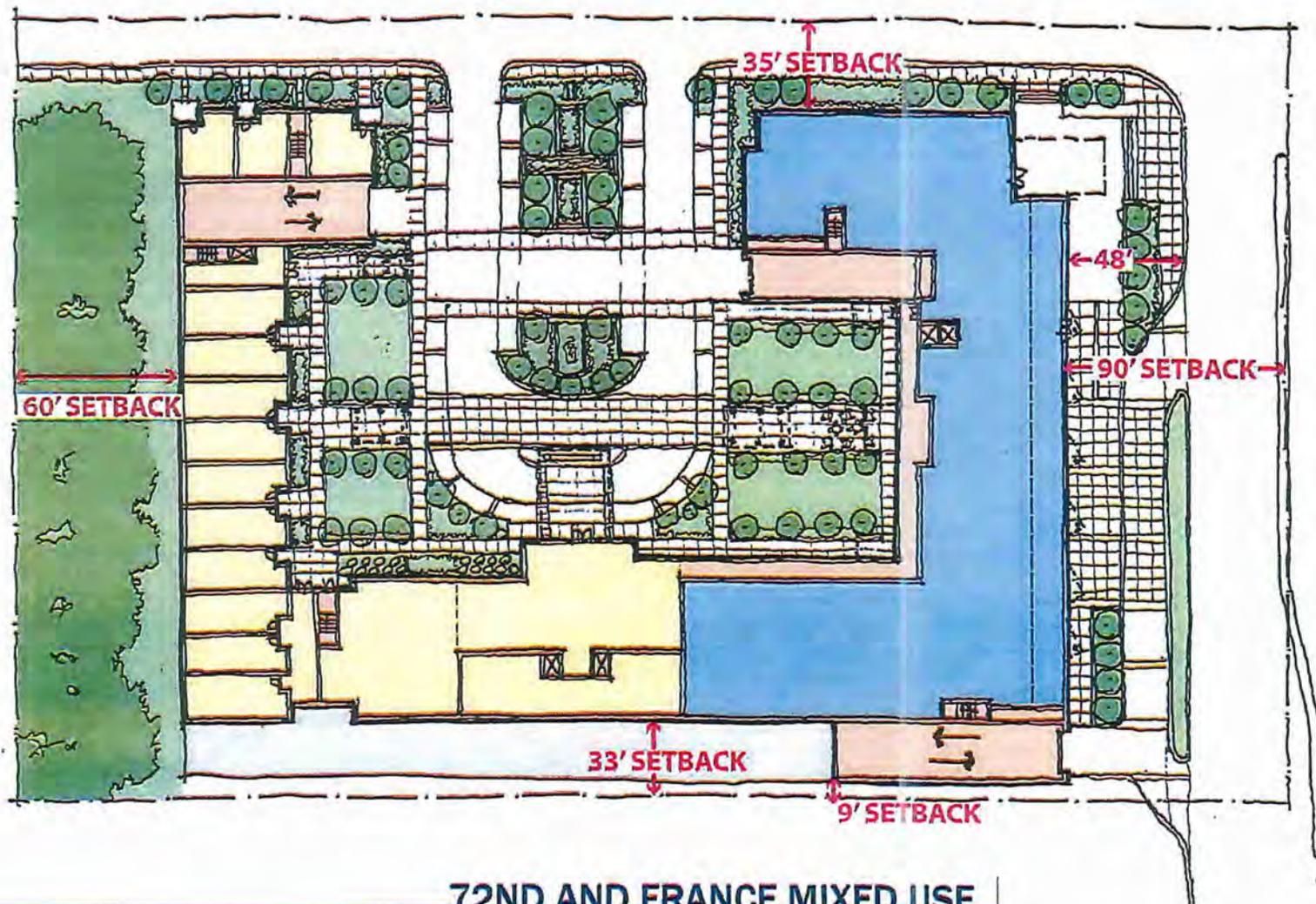
A59

# 72ND AND FRANCE MIXED USE

Edina, Minnesota

June 11, 2014

Sketch Rendering



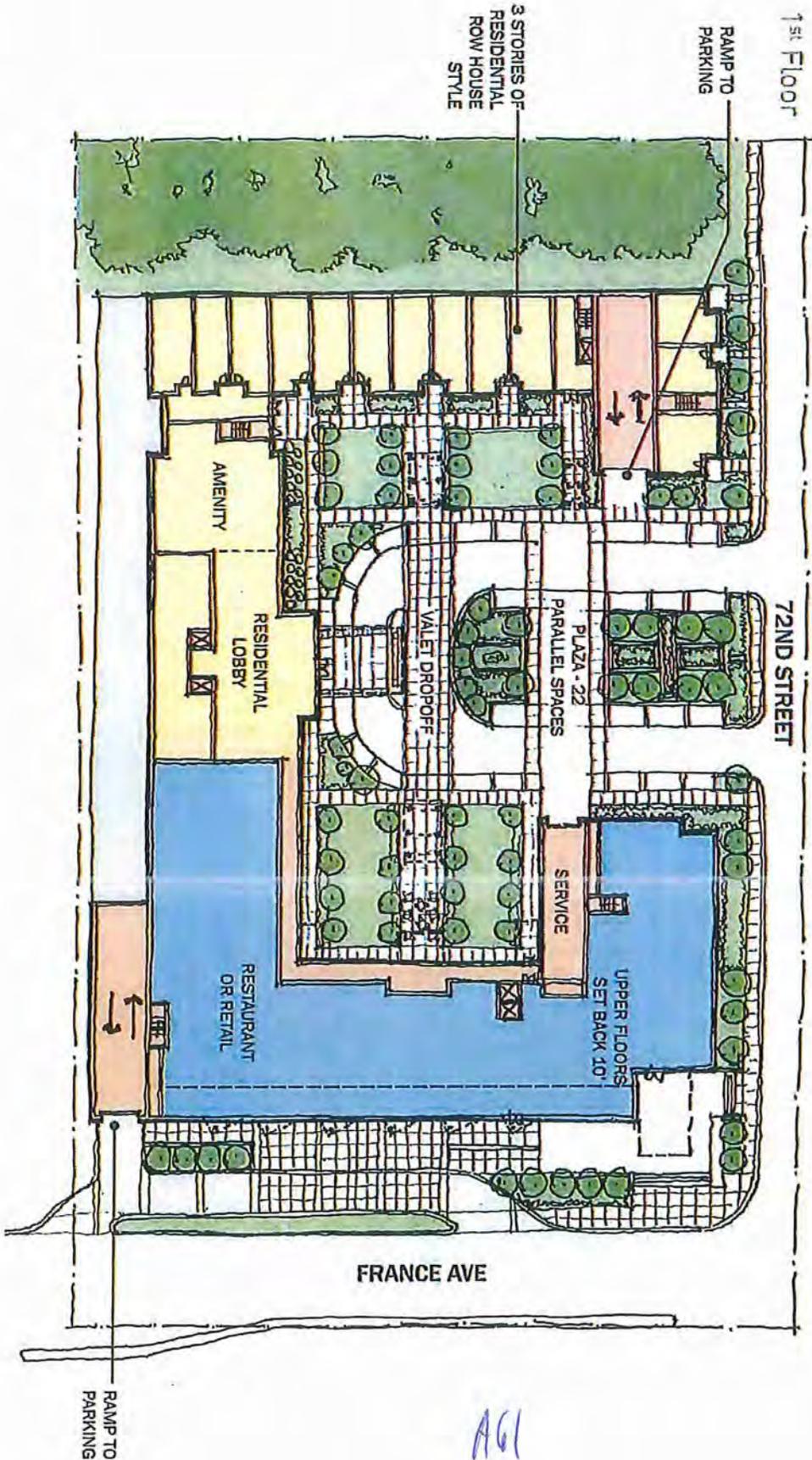
AGG

# 72ND AND FRANCE MIXED USE

Edina, Minnesota

June 11, 2014

First Floor Plan



NHH PROPERTIES

DESIGN : BUILD : MANAGE

**DJR**  
ARCHITECTURE INC.

**BOISCLAIR**  
CORPORATION