



## PLANNING COMMISSION STAFF REPORT

Originator <b>Cary Teague</b> Community Development Director	Meeting Date <b>April 9, 2014</b>	Agenda # <b>VI.B.</b>
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### INFORMATION/BACKGROUND

#### Project Description

Border Foods Inc. is proposing to tear down the existing Taco Bell restaurant and rebuild a new slightly smaller Taco Bell at 3210 Southdale Circle. (See property location on pages A1–A3.) The building would be 1,850 square feet in size. (See applicant narrative and plans on pages A4–A26.) To accommodate the proposal to redevelop the site, the applicant is requesting a Site Plan review and the following Variances:

- Parking Setback Variances from 10 to 4 feet from the north and south lot line. (Existing condition is a 3-foot setback.)
- Front Yard Building Setback Variance from 35 to 22 feet.
- Variance for side menu board facing a residential area. (Existing menu board directly faces residential area.)

In 1985, a parking stall setback variance was granted to add parking stalls for what was then a Zantigo Mexican Restaurant. The variance was to match the existing non-conforming setback of three feet. As noted above, a four-foot setback for parking is now proposed.

#### Surrounding Land Uses

- Northerly: Vacant Best Buy; zoned PCD-3, Planned Commercial District and guided Community Activity Center.
- Easterly: Single-family homes; zoned and guided low density residential.
- Southerly: McDonald's; zoned PCD-3, Planned Commercial District and guided Community Activity Center.
- Westerly: Furniture store; zoned PCD-3, Planned Commercial District and guided Community Activity Center.

## **Existing Site Features**

The subject property is 18,700 square feet in size, is relatively flat and contains a Taco Bell restaurant and drive-through. (See pages A1–A3.)

## **Planning**

Guide Plan designation: CAC – Community Activity Center.  
Zoning: PCD-3, Planned Commercial District

## **Grading/Drainage/Utilities**

The city engineer has reviewed the proposed utilities and grading and drainage plans and found them to be generally acceptable. (See the City Engineer's comments on page A27.) A condition of approval should include meeting all of the conditions outlined in the city engineer's memo. A permit would also be required from the Nine Mile Creek Watershed District.

## **Parking**

Based on the square footage and seating in the building, 17 parking stalls are required. The site plan demonstrates 17 built parking stalls. (See page A7.)

## **Site Access & Traffic**

There would be no change to the existing site access or on-site circulation. The proposed restaurant would be smaller than the existing restaurant; therefore, no traffic study was required.

## **Sidewalk Connections/Bike Racks**

Currently there are no sidewalks on the subject property. The applicant proposes to add a boulevard style sidewalk along Southdale Circle. (See page A18.) A connecting sidewalk to the restaurant would also be added. A condition of approval should include sidewalk markings shall be required across drive lanes. Bike racks would be located at the southwest side of the building. Minimum City Code requirement for bike racks is 5% of the total number of parking stalls; therefore one bike rack is required. (See page A12.)

## **Building Design**

The building would be made of Direct Exterior Finish System (DEFS), with prefinished metal and masonry veneer accents. (See building renderings and colors on pages A8–A15.) The chief building official

has reviewed the proposed plans and provided comment on page A27a. These items shall be addressed at the time of building permit review.

### **Garbage Area**

Garbage would be collected with the building at the northeast corner of the site. The containers would be screened by a wall constructed of a Direct Exterior Finish System or DEFS to match the existing building. (See page A11.)

### **Drive Through**

Fast food restaurants with a drive-through facility are a permitted use in the PCD-3 zoning district. Each vehicle bay is required three stacking space in addition to the vehicle being served. The site plan shows three stacking spaces for each bay. There would be four total bays. (See page A18.)

### **Landscaping**

Based on the perimeter of the site 13, overstory trees would be required and a full complement of understory plants and shrubs. The applicant has provided a landscape plan that meets the city code requirement, including 16 overstory trees. (See page A22.) The applicant is proposing a 15-foot landscape area along the east lot line, and angled the menu board more to the south, to minimize impact on the single-family homes to the east.

### **Outdoor Seating**

As recommended at Sketch Plan review, the applicant is proposing an outdoor eating area with a couple tables surrounded by a landscape area. (See page A12.) Outdoor seating does not generate the need for additional on-site parking.

### **Lighting**

The applicant has submitted a lighting plan that conforms to the City's minimum standards. (See page A23.) The foot candle power at the residential lot line would be 0.1.

### Compliance Table

	City Standard PCD-3	Proposed
<b><u>Building Setbacks</u></b>		
North	35 feet	50 feet
South	35 feet	55 feet
East	35 feet	55 feet
West	35 feet	<b>22 feet*</b>
<b><u>Parking Lot/Drive Aisle Setbacks</u></b>		
North	10 feet	<b>4 feet*</b>
South	10 feet	<b>4 feet*</b>
East	20 feet	20 feet
West	10 feet	10 feet
Building Height	4 stories or 48 feet whichever is less	1 story – 21 feet
Maximum Floor Area Ratio (FAR)	75%	9%
Parking Stalls	17	17
Parking Stall Size	8.5 x 18	9 x 18
Drive Aisle Width one Way	14 feet	14 feet
Landscaping	13 Overstory Trees	16 Overstory Trees
Stacking Spaces	4	4
Menu Board & Audio Systems	May not be located on the side of a building that faces residential property	<b>Located on the side that faces residential property*</b>

\* **Variance required**

#### **Variations – Building Setback, Drive Aisle Setback & Menu Board**

Per the Zoning Ordinance, variations should not be granted unless it is found that the enforcement of the Ordinance would cause practical difficulties in complying with the Zoning Ordinance and that the use is reasonable. As demonstrated below, staff believes the proposal does meet the variance standards, when applying the three conditions:

**Minnesota Statutes and Edina Ordinances require that the following conditions must be satisfied affirmatively. The Proposed Variance will:**

- 1) *Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.***

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with

the code and that the proposed use is reasonable. "Practical difficulties" may include functional and aesthetic concerns.

Staff believes the proposed variances are reasonable. The proposed building is smaller than the existing building on the site; the green space setback for the parking stalls would be increased by one-foot from existing conditions; and the menu board would be moved to the south side of the building and pointed away from the residential area to the east. (See page A7.) Moving the building closer to Southdale Circle also reduces the impact on the residential property to the east.

The practical difficulty is the existing size of the site, which makes it difficult to develop the site to meet the existing setbacks. As mentioned, variances have been granted in the past for the parking lot.

**2) *There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?***

Yes. The small size of the site, and its location next to another fast food restaurant to the south, is unique in the PCD-3 zoning district. The City also encourages buildings to be brought up to the street, rather than having large parking lots in front of the building, and expanding green space. The proposed site plan would be an improvement over the existing site plan.

**3) *Will the variance alter the essential character of the neighborhood?***

No. The proposed building would not alter the character of the neighborhood. Again, the proposed new Taco Bell and site plan would be an improvement over the existing building, landscaping, menu board location and green space.

## **PRIMARY ISSUES/STAFF RECOMMENDATION**

### **Primary Issue**

- **Is the proposed new Taco Bell Restaurant and associated Variances required reasonable for this site?**

Yes. Staff believes the proposal is reasonable for the following reasons:

1. The proposed use is permitted in the PCD-3, Planned Commercial District.

2. The proposed new Taco Bell building, menu board location and site plan would be an improvement over the existing conditions on the site.
3. The variances are reasonable. As mentioned, one foot of green space would be added along the north and south lot line, and the menu board would be moved further away from the single-family homes than the existing menu board.
4. Moving the building closer to the street also moves it further away from the residential area to the east.
5. The practical difficulty is caused by the existing size of the site, which prevents a reasonable site plan configuration without the need for a variance.
6. Pedestrian connections and sidewalks are proposed on the site plan to help encourage pedestrian movement in the area.

### **Staff Recommendation**

Recommend that the City Council approve the Site Plan with Variances for the construction of a new Taco Bell restaurant at 3210 Southdale Circle.

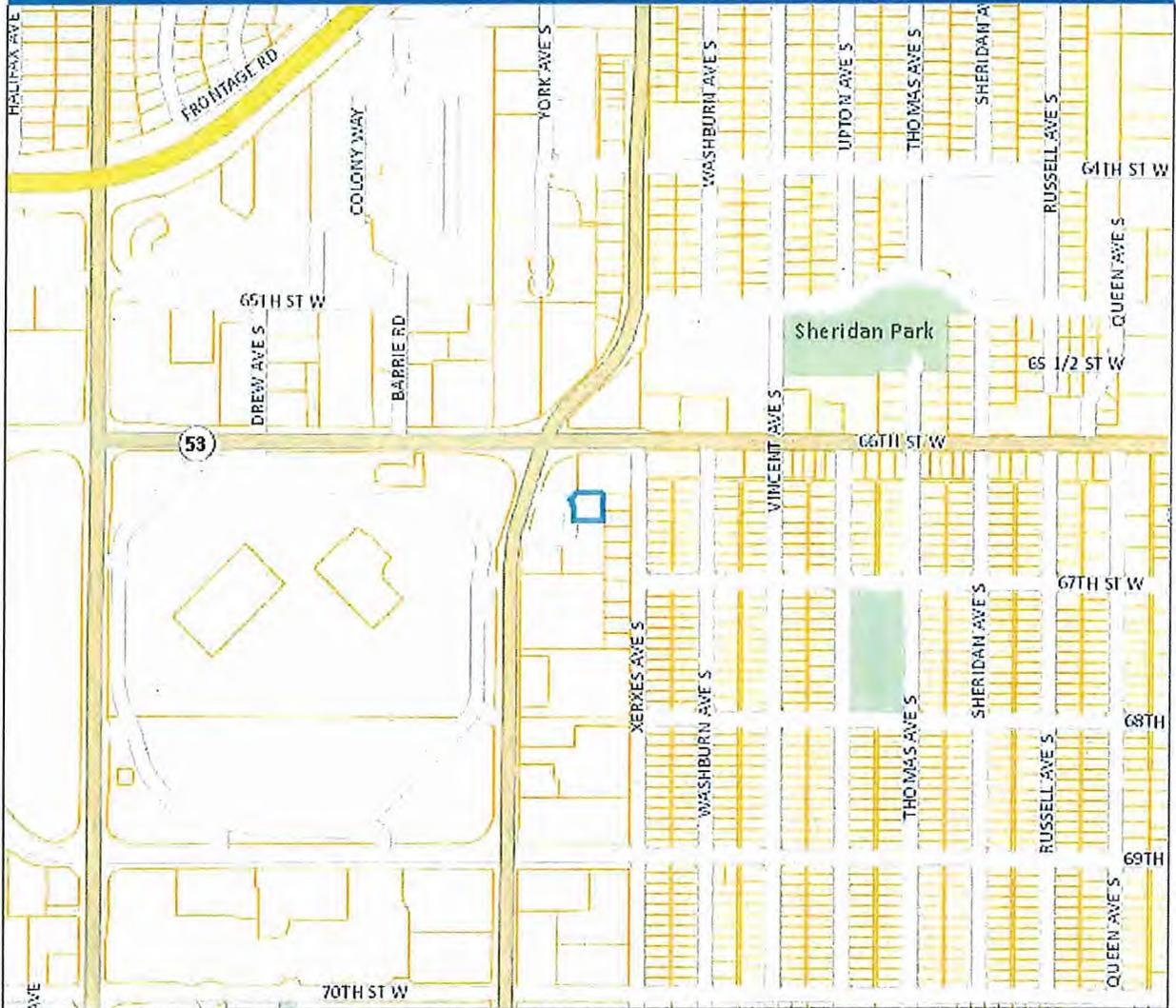
Approval is based on the following findings:

1. The proposal would meet the required standards and ordinances for a Site Plan with the exception of the setback variances.
2. The proposed variances are reasonable. The proposed building is smaller than the existing building on the site; the green space setback for the parking stalls would be increased by one-foot from existing conditions; and the menu board would be moved to the south side of the building and pointed away from the residential area to the east.
3. Moving the building closer to Southdale Circle also reduces the impact on the residential property to the east.
4. The practical difficulty is the existing size of the site, which makes it difficult to develop the site to meet the existing setbacks.
5. Variances have been granted in the past for the parking lot.

Approval of the Site Plan and Variances are subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, unless modified by the conditions below:
  - Site plan date stamped March 7, 2014.
  - Grading plan date stamped March 7, 2014.
  - Landscaping plan date stamped March 7, 2014.
  - Building elevations date stamped March 7, 2014.
  - Lighting plan date stamped March 7, 2014.
  - Building materials board as presented at the Planning Commission and City Council meeting.
2. Prior the issuance of a building permit, a final landscape plan must be submitted, subject to staff approval. Landscape plan must meet all minimum Zoning Ordinance requirements. Additionally, a performance bond, letter-of-credit, or cash deposit must be submitted for one and one-half times the cost amount for completing the required landscaping, screening, or erosion control measures.
3. The property owner is responsible for replacing any required landscaping that dies.
4. Submit a copy of the Nine Mile Creek Watershed District permit. The City may require revisions to the approved plans to meet the district's requirements.
5. Compliance with the conditions required by the city engineer in his memo dated April 2, 2014.
6. Building plans are subject to review and approval of the fire marshal at the time of building permit.
7. Bike racks must be provided to meet minimum Zoning Ordinance requirements.
8. All crosswalks shall be marked with duraprint stamping to clearly identify the pedestrian crossing.
9. Trash enclosures must be constructed to meet minimum Zoning Ordinance requirements.
10. Compliance with the chief building official's requests in his review memo dated March 27, 2014, at the time of building permit review.

**Deadline for a city decision:** July 1, 2014



Parcel ID: 2

Owner Name:

Parcel Address: 3210 Southdale Cir Edina, MN 55435

Property Type: Commercial-Preferred

Home-stand:

Parcel Area: 0.43 acres 18,810 sq ft

A-T-B: Torrens

Market Total:

Tax Total:

Sale Price:

Sale Date:

Sale Code:

Map Scale: 1" ≈ 800 ft.

Print Date: 1/2/2014



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**Hennepin** Interactive Maps Property Map



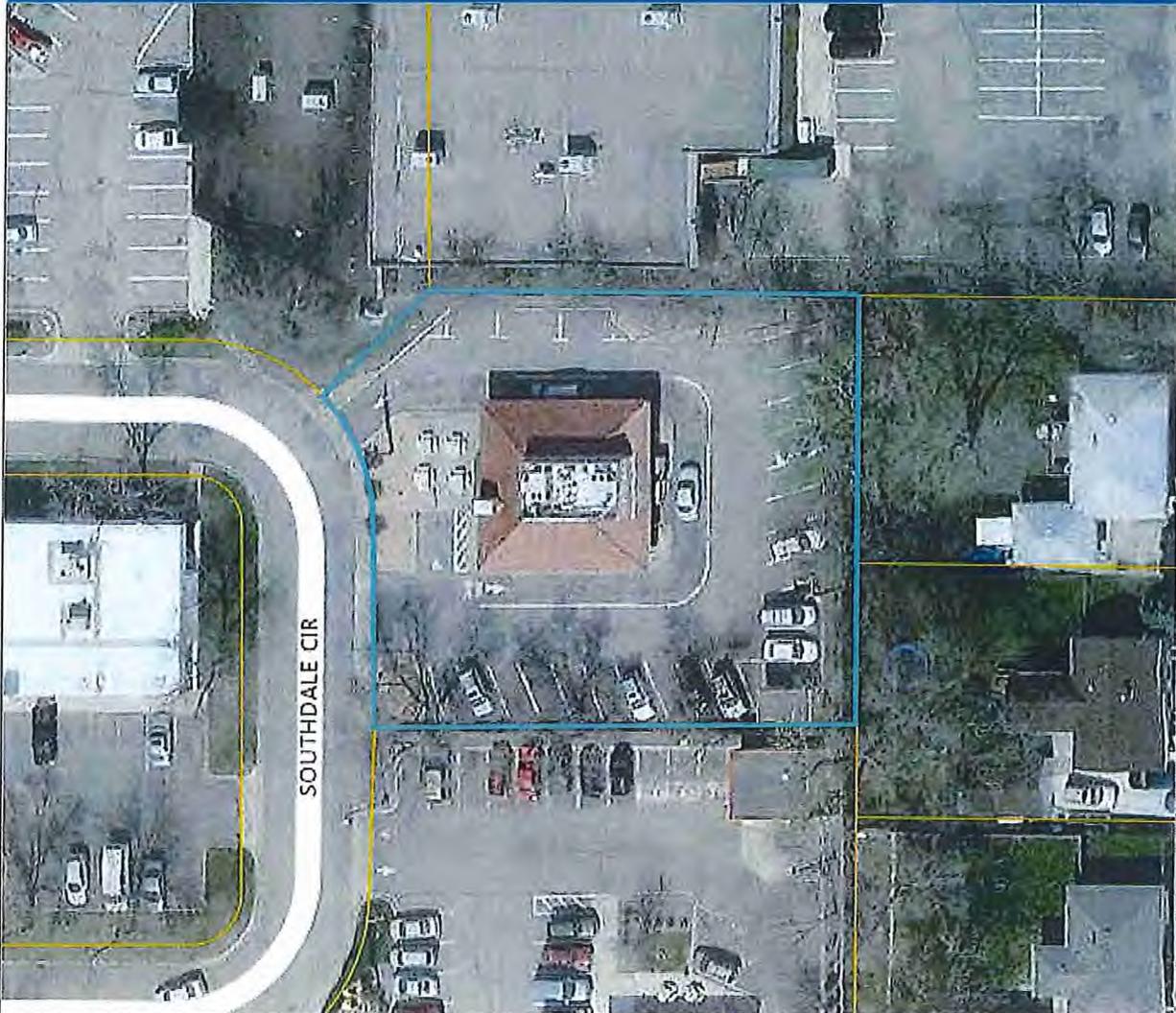
<p><b>Parcel ID:</b> 29-028-24-31-0008</p> <p><b>Owner Name:</b></p> <p><b>Parcel Address:</b></p> <p><b>Property Type:</b></p> <p><b>Home-stead:</b></p> <p><b>Parcel Area:</b> 0.43 acres 18,810 sq ft</p>	<p><b>A-T-B:</b></p> <p><b>Market Total:</b></p> <p><b>Tax Total:</b> (</p> <p><b>Sale Price:</b></p> <p><b>Sale Date:</b></p> <p><b>Sale Code:</b></p>	<p>Map Scale: 1" ≈ 200 ft.</p> <p>Print Date: 1/2/2014</p> <div style="text-align: right;">  </div> <p>This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.</p> <p>COPYRIGHT © HENNEPIN COUNTY 2014</p> <p> Think Green!</p>
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A2



Interactive  
Maps

Property  
Map



<p><b>Parcel ID:</b> 29-028-24-31-0008</p>	<p><b>A-T-B:</b></p>	<p>Map Scale: 1" ≈ 50 ft. Print Date: 1/2/2014</p>
<p><b>Owner Name:</b></p>	<p><b>Market Total:</b></p>	
<p><b>Parcel Address:</b> 3210 Southdale Cir Edina, MN 55435</p>	<p><b>Tax Total:</b></p>	
<p><b>Property Type:</b> Commercial-Preferred</p>	<p><b>Sale Price:</b></p>	
<p><b>Home-stead:</b> Non-Homestead</p>	<p><b>Sale Date:</b> 10/2012</p>	<p>This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.</p>
<p><b>Parcel Area:</b> 0.43 acres 18,810 sq ft</p>	<p><b>Sale Code:</b></p>	<p>COPYRIGHT © HENNEPIN COUNTY 2014 </p>

A3



Current Address: 965 Decatur Ave. North  
Golden Valley, MN 55427

New address Effective 4/4/2014

5425 Boone Ave. North  
New Hope, MN 55428

Border Foods Application Narrative for City of Edina Staff, Planning Commission and City Council

Border Foods is a franchisee of Taco Bell Corp. and has been operating the Taco Bell Restaurant at 3210 Southdale Circle since 1996. Our principals are Lee and Jeff Engler who have been operating restaurants in Minnesota since 1980 beginning with Los Primos Restaurant in Southdale.

Border Foods is proposing to scrape and rebuild the existing Taco Bell to a more current brand image. Since 2009, our company has completed scrape and rebuild projects at Rice Street in St. Paul, Columbia Heights, Rochester, Eagan and Brooklyn Center in addition to twelve remodel projects throughout the metro and in greater Minnesota.

The proposed use is a continuation of a restaurant use with a drive thru window that has been operating at this location since 1985. The site plan proposes a building that is 1,850 sq. ft., rectangular and utilizes one way circulation flow for efficiency and safety. To provide as much distance from the residential property line to the east, the building is placed as far to the west as possible, which is an 18' foot front setback. This provides 45' from the face of the drive thru curb to the rear of the residential property line. The parking setbacks to the North and South property line, adjacent to commercial properties, are at 4' feet. The menu and audio board have been repositioned to face the south property line of McDonald's.

To create a better pedestrian experience, Border Foods has incorporated sidewalks, a bicycle rack and outdoor seating into the design. Our landscape architect completed a two part analysis of our project compared to the Starbucks location on France Ave (attachments included). The analysis revealed that the Starbucks has 23.9% of open space and the Taco Bell has 20.7% of open space. With the 3.2% variance in open space between the two parcels, the analysis next reviewed the quality of the vegetation. When comparing the plant materials within the Starbucks parcel boundary area, the vegetation is comprised of shrubs, ornamentals and grasses. Any over story trees, which Starbucks included in their calculations on their landscape plan, were leveraged from the plantings of the overall Centennial Lakes landscaping requirements. By contrast, the quality of the proposed Taco Bell landscape plan is higher because of the inclusion of 10 over story trees and 6 ornamental trees. Within the boundaries of their identified parcel, Starbucks did not include any over story or ornamental trees. Not only does the Border Foods proposal exceed the City's standard for over story trees by 23% this also translates into a greater cost per square foot dedicated to landscaping as part of the overall budget for the project.

Our project's storm water management plan includes volume banking. The water quality volume required for the project is 2,003 cubic feet per Nine Mile Creek Watershed requirements. The civil plans propose upsizing the pipes to 24" to provide 2,559 cubic feet of water quality volume. This upsizing provides an excess volume of 553 cf which is 26.6% above the required cubic feet for a 2.5" rainfall event.

Four variances are requested due to practical difficulties encountered during site design. Neither the applicant nor the fee owners created these practical difficulties. The variance requests are:

- 1) Variance of parking setback on the North side of the property from 10 feet to 4 feet;
- 2) Variance of parking setback on the South side of the property from 10 feet to 4 feet;
- 3) Variance for front building setback from 35 feet to 18 feet;
- 4) Variance for a side of the menu board & audio system to face a residential property.

The parking setback variance requests were initially granted back in 1985 to the previous restaurant user. Border Foods is asking for a continuation of this previously approved variance.

The setback requirement of 35' on all sides of the building encompass 4,321 sq. ft. or 23.1% of the parcel.

Moving the building forward allows the following adjustments to the site plan for safety and aesthetics:

- 1) An increase of the distance from the face of the drive thru curb to the rear of the residential property line to 45';
- 2) Allows inside seating for pedestrian customers who want to visit the restaurant;
- 3) Allows for a more comfortable turning radius in the one-way circulation pattern;
- 4) Allows the 15' parking setback to be used for spruces which is a denser plant material screening buffer;
- 5) Allows better placement of the audio system and menu board with an only non-audible side to be facing the residential property in contrast to the existing placement which is directly facing the residential property;
- 6) Allows reasonable access and safe servicing of the trash enclosure.

The menu board and audio system placement have been relocated from the current location on site facing directly to the residential property at the rear to the south facing McDonald's. However, a narrow side of the menu board and audio system still face the residential property.

Thank you for consideration of our project and respectfully ask for your approval.

AS

AC



1 VICINITY MAP  
1"=30'-0"



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4811 West 25th Street  
Suite 200  
St. Louis Park, Minnesota  
55426  
612.541.9988  
612.541.0534  
www.wcl.com

**TACO  
BELL**

3210 SOUTHDALE CIRCLE  
EDINA, MN 55435

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

SIGNATURE _____	DATE CLERK _____
REGISTRATION: 14,892	
PRINT HISTORY _____	DATE _____
DATE PLAN REVIEW: 03.07.2014	
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**VICINITY MAP**

PROJECT: 2013.06.29  
DRAWN: DM  
CHECKED: DC

**A1**

TACO BELL EDINA, MN

A7



1 SITE PLAN  
1/8" = 1'-0"

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I hereby certify the Site plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

SIGNATURE: DAVE CLARK

REGISTRATION: 14,893

PRINT HISTORY: \_\_\_\_\_ DATE: \_\_\_\_\_

SITE PLAN REVISED: 01.07.2014


**SITE PLAN**

PROJECT: 2013.06.08  
DRAWN: DM  
CHECKED: DC

**A2**

TACO BELL EDINA, MN

1/18



1 MODEL VIEW  
NO SCALE

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Interiors

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Suite 200  
St. Louis Park, Minnesota  
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1.952.541.0524  
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I hereby certify the this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTRATION: 16,880

PRINT HISTORY: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY PLAN REVIEW: \_\_\_\_\_ 05.02.2014

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MODEL VIEW

PROJECT: 2013.05.09  
DRAWN: DCM  
CHECKED: DC

A7

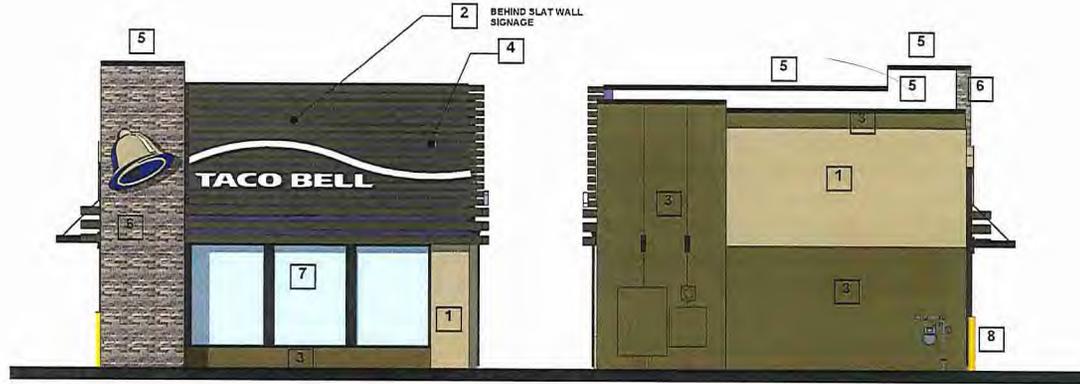
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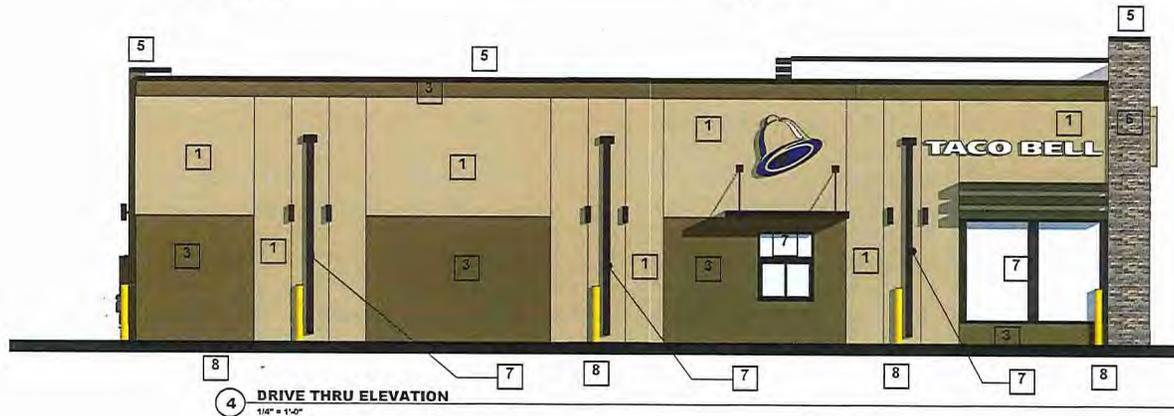
3210 SOUTHDALE CIRCLE  
EDINA, MN 55435

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2 FRONT ELEVATION  
1/4" = 1'-0"

3 REAR ELEVATION  
1/4" = 1'-0"



4 DRIVE THRU ELEVATION  
1/4" = 1'-0"

A9

1 DIRECT EXTERIOR FINISH SYSTEM (DEFS)



2 DIRECT EXTERIOR FINISH SYSTEM (DEFS)



BEHIND SLAT WALL SIGNAGE

3 DIRECT EXTERIOR FINISH SYSTEM (DEFS)



4 PREFINISHED METAL VALANCE AND SLAT WALL



5 PREFINISHED METAL PARAPET CAP FLASHING



6 SIMULATED MASONRY VENEER



7 PREFINISHED METAL STOREFRONT



Signature: \_\_\_\_\_

DATE CLARK

REGISTRATION: 44833

PRINT HISTORY: DATE

STEP PLOTTED: 03/27/2014

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EXTERIOR ELEVATIONS

PROJECT: 2013.06.09

DRAWN: DM

CHECKED: DC

A9

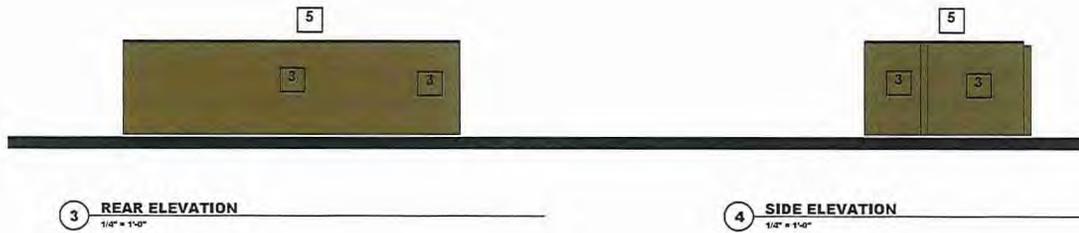
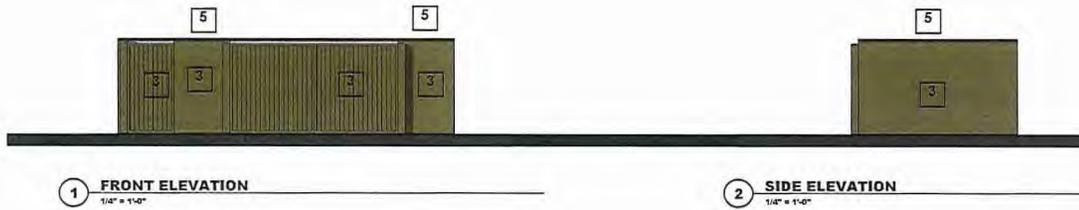
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EDINA, MN 55435

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**1** DIRECT EXTERIOR FINISH SYSTEM (DEFS)



**2** DIRECT EXTERIOR FINISH SYSTEM (DEFS)  
BEHIND SLAT WALL SIGNAGE



**3** DIRECT EXTERIOR FINISH SYSTEM (DEFS)



**4** PREFINISHED METAL VALANCE AND SLAT WALL



**5** PREFINISHED METAL PARAPET CAP FLASHING



**6** SIMULATED MASONRY VENEER



**7** PREFINISHED METAL STOREFRONT



I hereby certify this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

SIGNATURE \_\_\_\_\_

DAVE CLARK

REGISTRATION \_\_\_\_\_

14,883

PRINT HISTORY \_\_\_\_\_ DATE \_\_\_\_\_

CITY PLAN REVIEW \_\_\_\_\_ 05.07.2016

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**TRASH ENCLOSURE ELEVATIONS**

PROJECT: 2013.06.08

DRAWN: DM

CHECKED: DC

**A10**

TACO BELL EDINA, MN



A13



1 MODEL VIEW  
NO SCALE

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SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTRATION: 14897

PRINT HISTORY DATE

SITE PLAN REVIEW 05.07.2014

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MODEL VIEW

PROJECT: 2013.09.29  
DRAWN: DW  
CHECKED: DC

A4

TACO BELL EDINA, MN

AKF



1 MODEL VIEW  
NO SCALE

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EDINA, MN 55435

PRELIMINARY  
NOT FOR  
CONSTRUCTION

I hereby certify the Site plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTRATION: \_\_\_\_\_ STATE: \_\_\_\_\_

PRINT HISTORY: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE PLANNING: \_\_\_\_\_ DATE REVIEW: \_\_\_\_\_

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MODEL VIEW

PROJECT: 0913.05.01  
DRAWING: 014  
CHECKED: DC

A4

TACO BELL EDINA, MN

A15



WCL  
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Architecture  
Interiors

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BELL**

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EDINA, MN 55435

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CONSTRUCTION

I hereby certify the this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

SIGNATURE: \_\_\_\_\_  
DAVE CLARE

REGISTRATION: IA 893

PRINT HISTORY DATE

CITY PLAN NUMBER 03 07 2014


MODEL VIEW

1 MODEL VIEW  
NO SCALE

PROJECT: 2013.06.29  
DRAWN: DC  
CHECKED: DC

A6

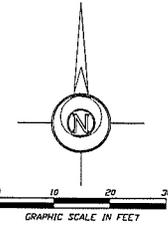
TACO BELL EDINA, MN

**KEY NOTES**

1. REMOVE EXISTING BUILDING/STRUCTURE AND/OR SITE FEATURE.
2. REMOVE EXISTING CONCRETE CURB & GUTTER.
3. REMOVE EXISTING BITUMINOUS AND CONCRETE PAVEMENT.
4. REMOVE AND DISPOSE OF EXISTING LANDSCAPE FEATURES, PLANTINGS, AND TREES.
5. REMOVE EXISTING PARKING LOT LIGHT.
6. REMOVE EXISTING SIGN.
7. REMOVE EXISTING SITE FEATURE AND ASSOCIATED COMPONENTS.
8. COORDINATE WITH UTILITY SERVICE PROVIDER FOR RELOCATION, DISCONNECTION, TEMPORARY CAP AND/OR REMOVAL AS NECESSARY.
9. DISCONNECT AND REMOVE EXISTING WATER SERVICE PER CITY REQUIREMENTS. LOCATION SHOWN FOR EXISTING WATER SERVICE IS APPROXIMATE. CONTRACTOR RESPONSIBLE TO FIELD LOCATE AND ADJUST AS NECESSARY. SEE DEMOLITION NOTES 7 AND 8.
10. DISCONNECT AND REMOVE EXISTING SANITARY SEWER SERVICE AND PROVIDE TEMPORARY CAP SHOWN FOR EXISTING SANITARY SEWER AND WATER SERVICE IS APPROXIMATE. CONTRACTOR RESPONSIBLE TO FIELD LOCATE AND ADJUST AS NECESSARY. SEE DEMOLITION NOTES 7 AND 8.
11. PROTECT EXISTING TREE IN PLACE.
12. PROTECT EXISTING Pylon Pole and Sign in Place. COORDINATE WITH OWNER FOR EXISTING ELECTRIC DISCONNECT AND REMOVE NECESSARY FOR RE-CONNECTION.
13. PROTECT EXISTING FENCE IN PLACE.
14. SAWCUT AND REMOVE EXISTING BITUMINOUS PAVEMENT AT MIN. 2.0' WIDTH FROM UP EDGE OF REPLACEMENT CONCRETE APRON AND PREPARE FOR PATCH WITH HEAVY DUTY BITUMINOUS PAVEMENT MATCH EXISTING PAVEMENT ELEVATIONS AND CROSS SLOPE.
15. REMOVE EXISTING DRIVEWAY CURB CUT AND PREPARE FOR RE-CONSTRUCTION WITH CONCRETE CONCRETE DRIVEWAY APRON FOR SITE PLAN. COORDINATE SCHEDULE TO MINIMIZE IMPACT TO STREET. SAWCUT EXISTING CURB AND BITUMINOUS PAVEMENT PER CITY STANDARDS.
16. PROTECT EXISTING CURB AND/OR BITUMINOUS PAVEMENT IN PLACE. CONTRACTOR RESPONSIBLE FOR DAMAGED CURB AND/OR DAMAGED BITUMINOUS PAVEMENT. CONTRACTOR RESPONSIBLE FOR DAMAGE REPAIR AT NO COST TO OWNER.

**DEMOLITION NOTES**

1. Do not begin demolition until perimeter sediment controls are in place.
2. Provide air quality control measures at the request of the Engineer or City Representatives. Take necessary measures to keep dust levels to a minimum. Provide sweeping of adjacent paving as needed, or as required by the City Engineer.
3. Use approved dust protection of all active storm sewer inlets. Refer to Details.
4. Locate and protect all utility lines prior to and during demolition. Utility locations shown are based on best available information and are not guaranteed. Contact private utility service for disconnection and removal as necessary.
5. Obtain all necessary permits for demolition of existing buildings and site features.
6. Remove or relocate all existing structures and site features that interfere with the proposed construction.
7. Contractor to obtain Sewer and Water Service Disconnect Permit if required from the City. Sanitary sewer service and water service must be disconnected and inspected prior to starting building demolition. Verify location of water and sanitary service. Size of existing water service in street is 8" DIP, but size of water service to existing building is unknown. Size of existing sanitary sewer in street is 6" VCP, but size of sanitary sewer to existing building is unknown. Location of water and sanitary services in street to property line are based on City record plan information, but location of services from property line to existing building is unknown. Contractor to determine size and location of services and report findings to owner and Engineer. Cap lines at proposed connections per utility plan and remove pipes to the existing building. Remove the water meter prior to building demolition and return to the City.
8. Contractor to coordinate with certified plumber for video review and evaluation of existing 6" VCP sanitary sewer service proposed to remain from property line to sanitary main in the street. Findings to be reviewed with owner, and owner to determine if additional removal/replacement needed for portion from sanitary main to property line.
9. Remove demolition debris within set neuro. Encroachment of salvaged material is not permitted on site.
10. Protect existing site features that are to remain in place during construction. Replace anything damaged with new construction.
11. Pavement shall be saw cut at limits of removal unless noted otherwise. Removal may occur of nearest construction joint beyond limit at no cost to the owner.
12. Do not impose existing traffic circulation to adjacent businesses or streets.
13. Sufficient topsoil shall be stockpiled to allow for the replacement of 4" of topsoil for disturbed area to be re-vegetated.
14. All construction and post-construction parking shall be on-site. At no time shall parking, loading, or unloading be allowed on public streets.
15. All scope of material and equipment shall not be allowed within public Right-of-Way or on private street. All erosion control measures must be inspected by the City prior to any demolition.



**WCL**  
Associates, Inc.

4331 South 35th Street  
Suite 200  
St. Louis Park, Minnesota  
55416

T: 952.341.0669  
F: 952.341.0614  
www.wcl.com

SITE PLAN BASED ON SURVEY INFORMATION  
DATED SEPTEMBER 16, 2012 PROVIDED BY  
LOT SURVEYS COMPANY, INC.

**BENCHMARK:**

Top nut of hydrant located on Southdale Circle at  
52 feet southeast of southeast property corner.  
Elevation = 883.45 feet

**LEGAL DESCRIPTION:**

Tract C, Registered Land Survey No. 1357,  
Hennepin County, Minnesota.



**Taco Bell**

3210 SOUTHDAL CIR.CLE  
EDINA, MN 55425

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**SURVEY LEGEND:**

- Catch basins
- Hydrant
- Light standard
- Gas main
- Sanitary sewer
- Storm sewer
- Watermain
- Overhead wires
- Underground electric

**INDEX OF CIVIL SITE DRAWINGS:**

- C1.0 SITE PLAN
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 GRADING AND DRAINAGE PLAN
- C5.0 UTILITIES PLAN
- C6.0 STORM WATER AND EROSION CONTROL PLAN
- C7.0 STANDARD DETAILS

Developed by:  
**Border Foods**  
805 DeCatur Ave North  
Golden Valley MN 55427

New Address as of April  
4, 2014  
5425 Sosna Ave N.  
New Hope, MN 55428

Consultant  
SITE CONSTRUCTION PLANS PREPARED BY:  
**CIVIL ENGINEERING**  
SITE DESIGN  
114 East Broadway Ave.  
Minnetonka, MN 55342  
Phone: 952-341-0669  
www.civil-engineering.com

I hereby certify that the design, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the State of Minnesota.

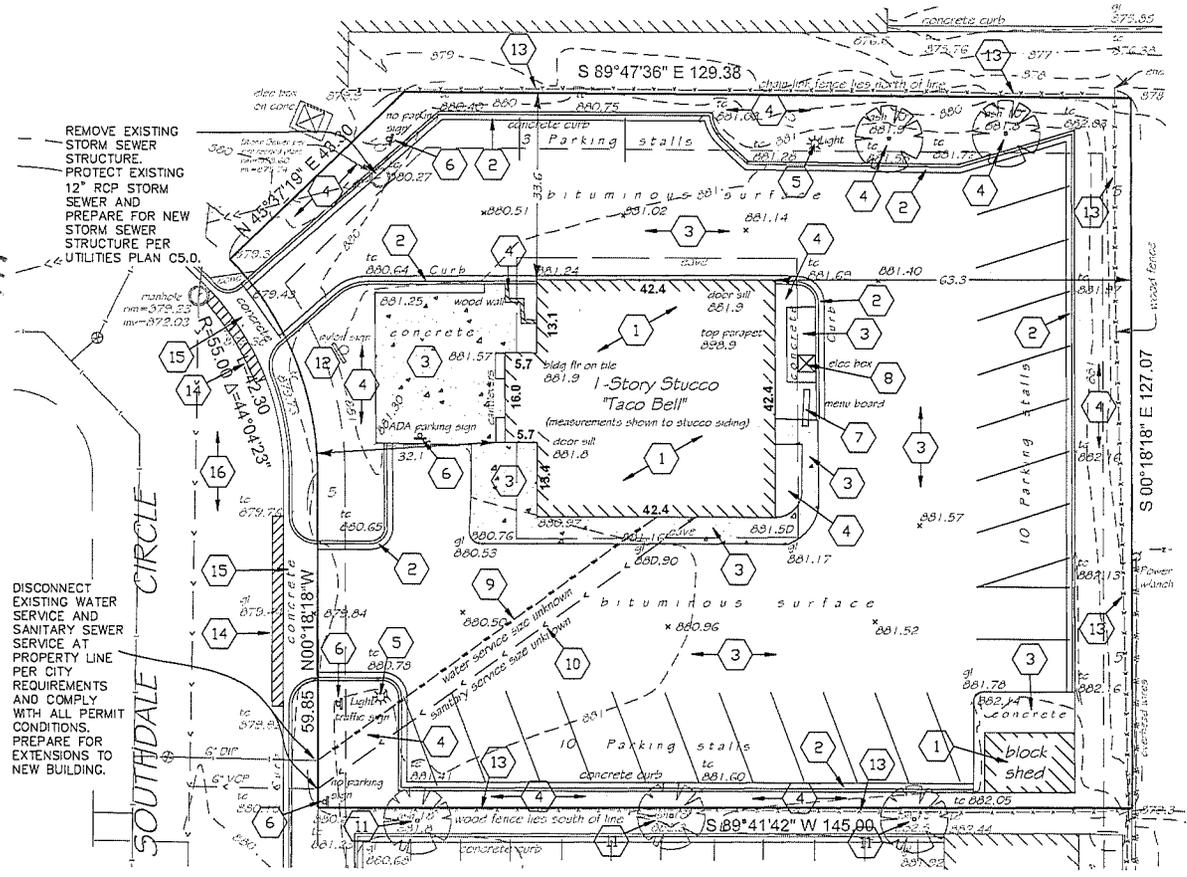
Printed Name: SCOTT DANLAK  
Signature:

Date: 03/07/14 License #: 22488

Drawn	Check
SCOTT DANLAK	SCOTT DANLAK
DATE: 03/07/14	DATE: 03/07/14

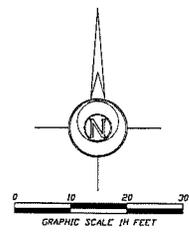
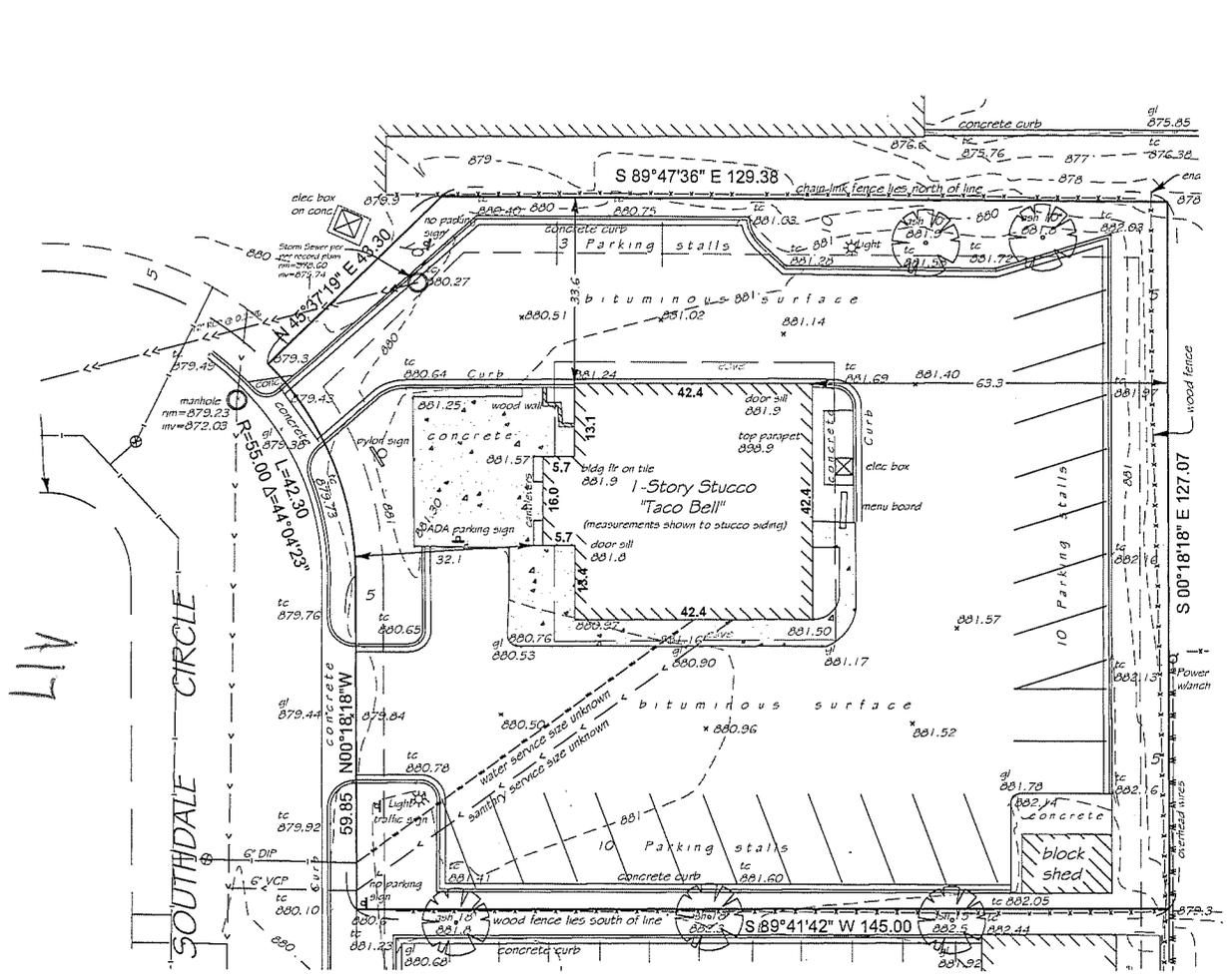
New Building  
Ni-28, 28 Soots: 1,847 SF  
DEMOLITION  
PLAN

Project: 2010.06.00  
Drawn: SS  
Checked: SS  
C3.0  
TACO BELL EDINA, MN



REMOVE EXISTING  
STORM SEWER  
STRUCTURE.  
PROTECT EXISTING  
12" RCP STORM  
SEWER AND  
PREPARE FOR NEW  
STORM SEWER  
STRUCTURE PER  
UTILITIES PLAN C5.0.

DISCONNECT  
EXISTING WATER  
SERVICE AND  
SANITARY SEWER  
SERVICE AT  
PROPERTY LINE  
PER CITY  
REQUIREMENTS  
AND COMPLY  
WITH ALL PERMIT  
CONDITIONS.  
PREPARE FOR  
EXTENSIONS TO  
NEW BUILDING.



SITE PLAN BASED ON SURVEY INFORMATION DATED SEPTEMBER 18, 2012 PROVIDED BY LOT SURVEYS COMPANY, INC.

**BENCHMARK:**  
Top of hydrant located on Southdale Circle at 82 feet southeast of southwest property corner. Elevation = 883.40 feet

**LEGAL DESCRIPTION:**  
Tract C, Registered Land Survey No. 1357, Hennepin County, Minnesota.

**SURVEY LEGEND:**

- Catch basins
- Hydrant
- Light standard
- Gas main
- Sanitary sewer
- Storm sewer
- Watermain
- Overhead wires
- Underground electric

**INDEX OF CIVIL SITE DRAWINGS:**

- C1.0 SITE PLAN
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 GRADING AND DRAINAGE PLAN
- C5.0 UTILITIES PLAN
- C6.0 STORM WATER AND EROSION CONTROL PLAN
- C7.0 STANDARD DETAILS

**WCL**  
Associates, Inc.  
Architectural  
Interiors  
4301 West 56th Street  
Suite 200  
St. Louis Park, Minnesota  
55416  
T: 952.341.9883  
F: 952.341.9644  
www.wcl.com

**Taco Bell**  
3210 SOUTHDAL CIRCLE  
EDINA, MN 55435

PRELIMINARY  
NOT FOR  
CONSTRUCTION

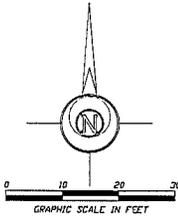
Developed by:  
**Border Foods**  
985 Decatur Ave North  
Golden Valley MN 55427  
New Address as of April  
4, 2014  
5425 Boone Ave N,  
Now Hope MN 55428

Consultant:  
**ARC CONSTRUCTION PLANS PREPARED BY**  
**CIVIL ENGINEERING**  
**SITE DESIGN**  
118 East Broadway St.  
PO Box 100  
Minnetonka, MN 55342  
Phone: 763-833-0007  
www.arc-engineers.com  
I hereby certify the Site Plan, Specifications, or report was prepared by me or under my direct supervision and I am a duly Licensed Engineer under the laws of the State of Minnesota.  
Printed Name: SCOTT DALKE  
Signature:   
Date: 03/07/14 License #: 30348

Plan History	Rev
SITE PLAN REVIEW	03/07/2014

Now Building  
N1-28, 28 South: 1,847 SF  
**EXISTING CONDITIONS  
PLAN**

Page# 2613 of 28  
Drawn: CD  
Checked: CD  
CSD Project # 00476  
**C2.0**  
TACO BELL EDINA, MN



SITE PLAN BASED ON SURVEY INFORMATION DATED SEPTEMBER 19, 2012 PROVIDED BY LOT SURVEYS COMPANY, INC.

**LEGAL DESCRIPTION:**

Tract C, Replat'd Land Survey No. 1357, Hennepin County, Minnesota.

**SITE DATA:**

ZONING:	POD-3 PLANNED COMMERCIAL DISTRICT 3
PROPOSED USE:	RESTAURANT WITH DRIVE-THROUGH
CROSS LOT AREA:	18,074 SQ. FT. OR 0.43 ACRES
TOTAL BUILDING FOOTPRINT AREA (GFA) (Exclude open parking):	1,047 SQ. FT.
PERCENT BUILDING COVERAGE:	5.80%
FLOOR AREA RATIO (FAR):	0.099
EXISTING IMPERVIOUS AREA:	13,335 SQ. FT.
PERCENT EXISTING IMPERVIOUS AREA:	63.1%
PROPOSED IMPERVIOUS AREA:	14,838 SQ. FT.
PERCENT PROPOSED IMPERVIOUS AREA:	78.4%
PROPOSED LANDSCAPE AREA:	3,862 SQ. FT.
PERCENT LANDSCAPE AREA:	29.9%

**PARKING DATA:**

PARKING STALLS:	15 Stalls
Provided ADA (ADA):	2 Stalls
Provided Total:	17 Stalls
Required Parking Stalls:	17 Stalls
1/2 of stalls plus 1 per max. shift (28 seats / 5) + 8 =	17 Stalls
DRIVEWAY STALLS:	3 Vehicles
Provided Driveway Stalls Behind Menu:	3 Vehicles
Required Driveway Stalls Behind Menu:	3 Vehicles

**SETBACK:**

LOCATION	MINIMUM REQUIREMENTS	BUILDING	PARKING
FRONT	35'	28'	
SIDE	35'	18'	
REAR	35'	15'	

**SITE PLAN NOTES:**

1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND SPECIFICATIONS FOR LOCATION OF EXITS, RAMPS, CONCRETE APRONS AND STODPS.
2. TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING. MATCH EXISTING DIMENSIONS.
3. ALL CONCRETE SIDEWALKS ADJACENT TO BUILDING SHALL BE SEPARATED WITH A 1" EXPANSION JOINT.
4. CONTRACTOR SHALL VERIFY ALL CONDUIT REQUIREMENTS FOR LIGHTING, IRRIGATION, MENU BOARD, COMMUNICATION PEDestal, ETC WITH OWNER PRIOR TO PAVING.
5. CONTRACTOR SHALL VERIFY LOCATION OF THE MENU BOARD AND COMMUNICATION PEDestal WITH OWNER PRIOR TO PLACEMENT.
6. ACCESSIBLE ROUTE SHALL BE PROVIDED FROM ACCESSIBLE STALLS TO BUILDING ENTRANCE (SEE ADA&A REQUIREMENTS). POLE MOUNT APPROVED SIGNS CENTERED ON STALLS. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY ON STALL.
7. CONSTRUCT ACCESSIBLE PEDESTRIAN RAMP PER ADA&A AND ADOPT STANDARDS. PROVIDE CONTRASTING DETECTABLE WARNING STRIP.
8. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH FIRE MARSHAL FOR POSTING OF FIRE LANES, CURB MARKING AND SIGNAGE IF NEEDED.
9. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES THAT INTERFERE WITH NEW WORK AS SHOWN.
10. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED.
11. ALL NEW UTILITIES MUST BE UNDERGROUND.
12. SIDEWALKS SHALL BE CONSTRUCTED WITH CROSS SLOPE OF 1:55 WITH ADJUSTMENT +/- 0.5%. SIDEWALKS WILL BE INSPECTED AFTER CONSTRUCTION - ANY SIDEWALK EXCEEDING 2.0% CROSS SLOPE WILL NEED TO BE REPLACED AT CONTRACTORS EXPENSE.

**GENERAL NOTES:**

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY THE PERMITTING AUTHORITY.
2. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATION SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE TACO SOIL CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS.
3. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND PIPING, VALVING, ETC.
4. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOIL, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER LICENSED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AND PAVEMENT AREAS HAVE BEEN COMPACTIONED IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE LOCATIONS OF THE UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
5. ALL EXISTING DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY TACO BELL CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

**WCL Associates, Inc.**  
 4311 West 10th Street, Suite 200  
 St. Louis Park, Minnesota 55416  
 T: 952.541.9600  
 F: 952.541.9554  
 www.wcl.com

**Taco Bell**  
 3210 SOUTHDALE CIRCLE  
 EDINA, MN 55435

**PRELIMINARY NOT FOR CONSTRUCTION**

Developed by:  
**Border Foods**  
 965 Decatur Ave North  
 Golden Valley MN 55427  
 New Address as of April 4, 2014  
 5425 Booth Ave N.  
 New Hope MN 55428

Consultant:  
 WCL CONSTRUCTION PLAN PROVIDED BY  
**CIVIL ENGINEERING SITE DESIGN**  
 114 East Broadway, St. Louis Park, MN 55428  
 Phone: 952.541.9600  
 Fax: 952.541.9554  
 Prepared Name: SCOTT DAHLKE  
 Registered: SCOTT DAHLKE  
 Date: 03/27/14 License # 34349

Printed Date: 03/27/2014  
 SHEET NO.: 01 OF 01  
 SITE PLAN REVIEW: 03/27/2014

Checked By:	03/27/2014
Drawn By:	03/27/2014
Checked By:	03/27/2014
Drawn By:	03/27/2014

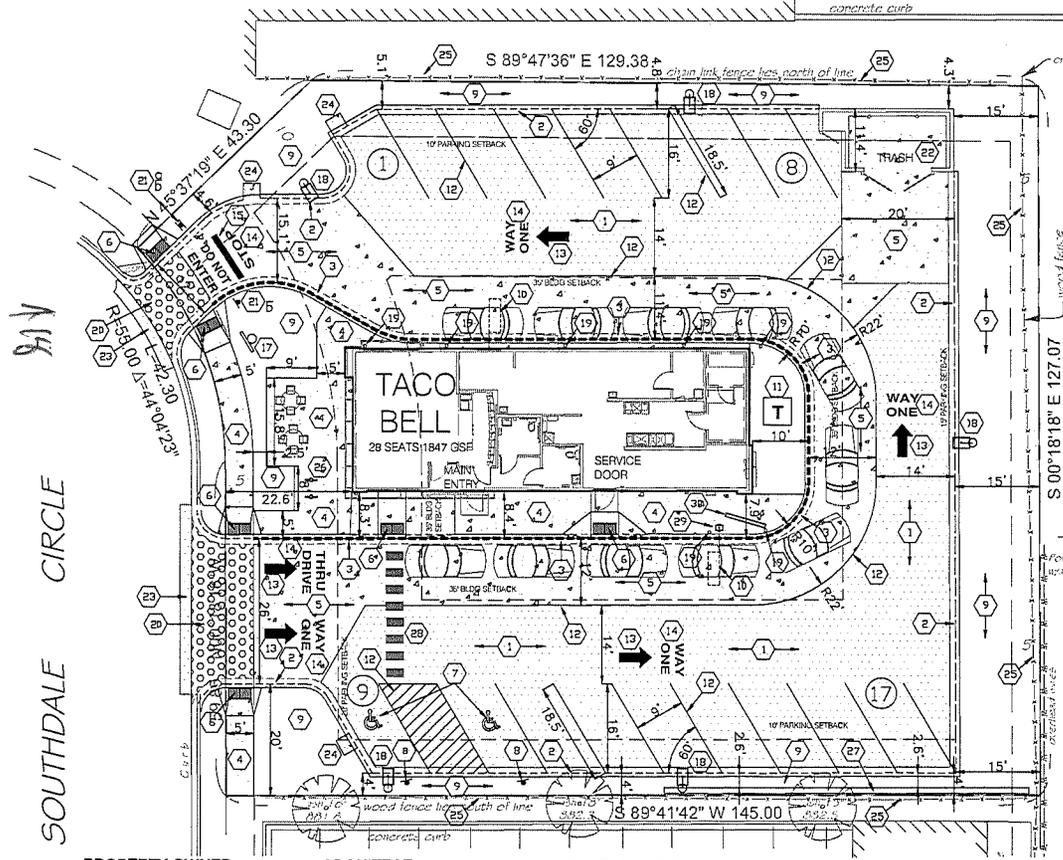
New Building  
 N1-29, 29 Seats: 1,847 SF  
**SITE PLAN**

Printed Date: 03/27/2014  
 SHEET NO.: 01 OF 01  
 SITE PLAN REVIEW: 03/27/2014

Drawn: 03/27/2014  
 Drawn: 03/27/2014  
 Checked By: 03/27/2014  
 Drawn By: 03/27/2014

**C1.0**

TACO BELL EDINA, MN



**SITE LEGEND:**

- HEAVY DUTY BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE DRIVEWAY APRON
- 8112 CURB AND CUTTER STANDARD
- 8112 CURB AND CUTTER TYP-NUT
- EXISTING CURB AND CUTTER
- PARKING SPACE
- TRAFFIC DIRECTION ARROWS

**KEY NOTES:**

1. BITUMINOUS PAVEMENT AS SPECIFIED BELOW (MARKING LOT ONLY)
2. 1 1/2" WEAR COURSE
3. 4" CONCRETE DRIVEWAY APRON
4. 8112 CURB AND CUTTER STANDARD
5. 8112 CURB AND CUTTER TYP-NUT
6. EXISTING CURB AND CUTTER
7. PARKING SPACE
8. TRAFFIC DIRECTION ARROWS
9. ASPHALT PAVING SECTION M=097 SPECIFICATIONS
10. HEAVY DUTY SPECIFICATIONS
11. 2" SPM#2338, M=DOT 2338
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50. 2" SPM#2338, M=DOT 2338

**INDEX OF CIVIL SITE DRAWINGS:**

C1.0	SITE PLAN
C2.0	EXISTING CONDITIONS PLAN
C3.0	DEMOLITION PLAN
C4.0	GRADING AND DRAINAGE PLAN
C5.0	UTILITIES PLAN
C6.0	STORM WATER AND EROSION CONTROL PLAN
C7.0	STANDARD DETAILS

**PROPERTY OWNER:**  
 BORDER FOODS, INC.  
 CONTACT: BARB SCHNEIDER  
 965 DECATUR AVENUE NORTH  
 GOLDEN VALLEY, MN 55427  
 PH (763) 489-2970  
 FX (763) 489-2971

**ARCHITECT:**  
 WCL ASSOCIATES, INC.  
 CONTACT: DEAN MADSON  
 4931 W. 35TH ST, STE 200  
 ST. LOUIS PARK, MN 55416  
 PH (952) 541-9969  
 FX (952) 541-9554

**CIVIL ENGINEER:**  
 CIVIL ENGINEERING SITE DESIGN, LLC  
 CONTACT: SCOTT DAHLKE  
 118 EAST BROADWAY ST., PO BOX 566  
 MONTICELLO, MN 55362  
 PH (763) 314-0929  
 www.civilsd.com



**Taco Bell**  
3216 SOUTHDALE CIRCLE  
EDINA, MN 55435

**PRELIMINARY  
CONSTRUCTION**

Designed by:  
**Border Foods**  
815 Decatur Ave North  
Golden Valley, MN 55427  
New Address as of April  
5425 Shore Ave N.  
New Hope, MN 55428

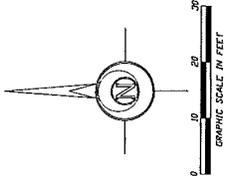
Contractor:  
**CIVIL ENGINEERING**  
1115 Lake Avenue N.  
Suite 100  
Edina, MN 55435  
Phone: 612.835.2888  
Fax: 612.835.2889  
www.wcl.com

Site: 3216 Southdale Circle, Edina, MN 55435  
Site Plan Review: 03/20/24

Now Building  
N120, 28 Seats, 1,647 SF

**GRADING AND  
DRAINAGE PLAN**

Project: 201310-04  
Sheet: 29  
Checked: JG  
Scale: **C4.0**  
TACO BELL EDINA, MN



**BENCHMARK:**  
Top nail of hydrant located on Southdale Circle at  
Elevation = 803.40 (BM)

**LEGAL DESCRIPTION:**

West C, Registered Land Survey No. 1337,  
Marion County, Arkansas.

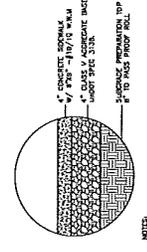
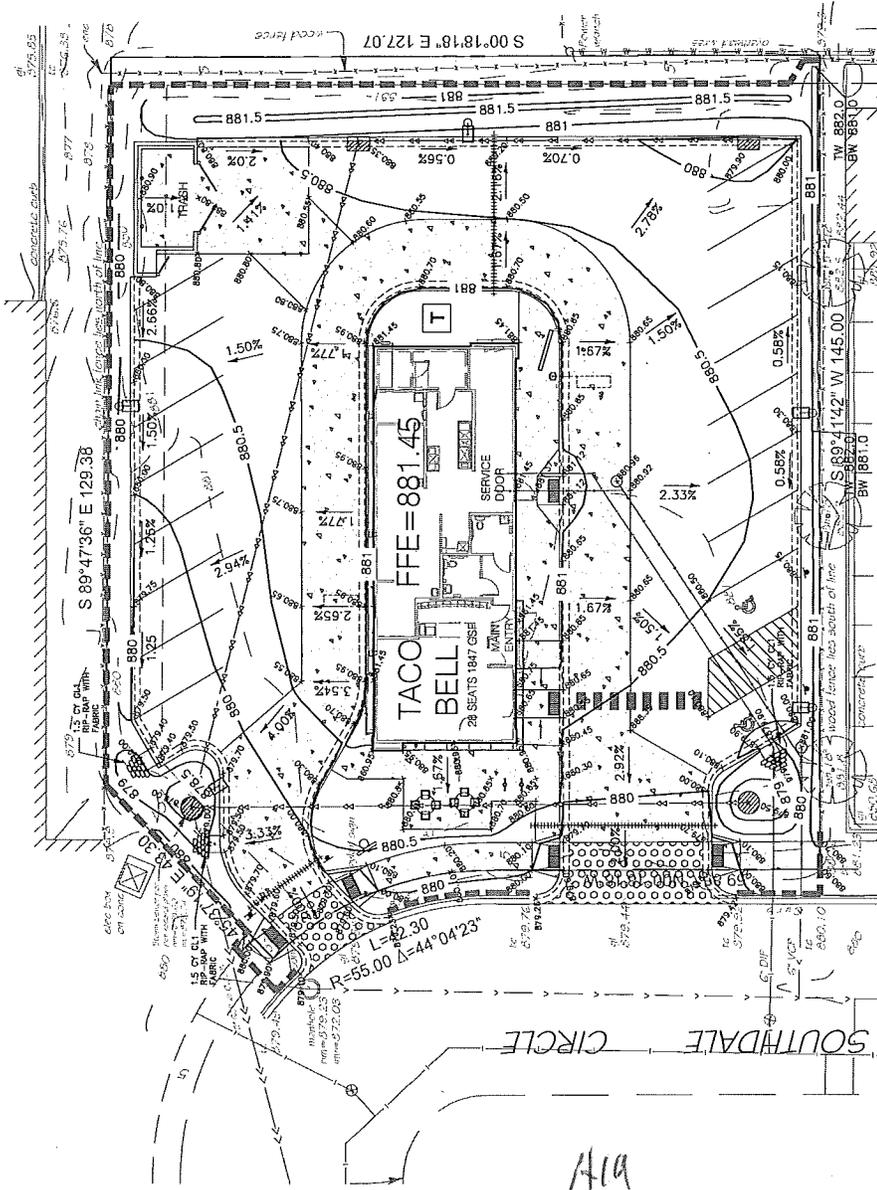
- GENERAL GRADING NOTES:**
1. Specifications appropriate for this project: Current standard specifications for Edina, Minnesota, shall apply to all work on this project.
  2. All work shall be in accordance with the current edition of the Minnesota Department of Transportation Standard Specifications for Highway Construction and all MNDOT requirements except where modified by these contract documents.
  3. The Contractor shall notify "Super State One Call" 48 hours prior to any excavation or utility work.
  4. The Grading Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction, and immediately notify the Engineer if any discrepancies are noted.
  5. Erosion Control shall be constructed, as applicable, as requested below:
    - a. Erosion Control
    - b. Rock Construction Entrance
    - c. Sedimentation Basin
    - d. Silt Fence
    - e. Silt and catch or pad (See notes on Landscape plan).
  6. Any erosion control items necessary to protect adjacent properties shall be constructed by the Grading Contractor.
  7. Any erosion control items necessary to protect adjacent properties shall be removed as per the Contract Documents or as directed by the Engineer, unless otherwise noted.
  8. The Contractor shall provide a site plan showing the location of all erosion control items.
  9. All proposed construction shall be in accordance with the current edition of the Minnesota Department of Transportation Standard Specifications for Highway Construction, and not exceeding the maximum of more than 10% slope for any embankment, and not exceeding the maximum of more than 10% slope for any excavation.
  10. All areas of disturbance shall be stabilized within 30 days of the completion of the work. The Contractor shall immediately notify the Engineer of these areas and provide the necessary information for the Engineer to determine the appropriate stabilization method.
  11. The Grading Contractor shall provide positive drainage on the site at all times.
  12. All areas of disturbance shall be stabilized within 30 days of the completion of the work.
  13. All proposed construction shall be in accordance with the current edition of the Minnesota Department of Transportation Standard Specifications for Highway Construction, and not exceeding the maximum of more than 10% slope for any embankment, and not exceeding the maximum of more than 10% slope for any excavation.
  14. All proposed construction shall be in accordance with the current edition of the Minnesota Department of Transportation Standard Specifications for Highway Construction, and not exceeding the maximum of more than 10% slope for any embankment, and not exceeding the maximum of more than 10% slope for any excavation.
  15. All areas of disturbance shall be stabilized within 30 days of the completion of the work.
  16. All areas of disturbance shall be stabilized within 30 days of the completion of the work.
  17. Any structures left on site must be stabilized other than by MPCA regulation.
  18. All areas of disturbance shall be stabilized within 30 days of the completion of the work.

**SITE LEGEND:**

- x HHH Existing Spot Elevation
- Existing Curbs and Gutters
- Existing Storm Sides
- x HHH Proposed Spot Elevation
- Proposed Flow Direction and Slope
- Proposed Curbs and Gutters
- Proposed to be Cut
- Proposed Storm Sewer
- Proposed Storm Sewer Slope
- Proposed Water Surface
- Proposed Structure

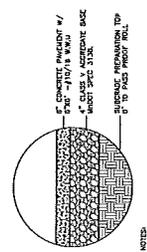
**INDEX OF CIVIL SITE DRAWINGS:**

- C1.0 SITE PLAN
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 REMEDIATION PLAN
- C4.0 GRADING AND DRAINAGE PLAN
- C5.0 UTILITIES PLAN
- C6.0 STORM WATER AND EROSION CONTROL PLAN
- C7.0 STANDARD DETAILS



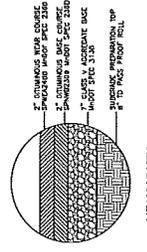
**CONCRETE SIDEWALK**

NOTES:  
1. CONCRETE SHALL CONFORM TO MNDOT SPEC. 241  
2. CONTRACTOR SHALL SPACE THE CONCRETE JOINTS AT 12'-0" O.C.  
3. ALL STRENGTHENING REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH MNDOT SPEC. 241



**CONCRETE PAVEMENT**

NOTES:  
1. CONCRETE SHALL CONFORM TO MNDOT SPEC. 241  
2. CONTRACTOR SHALL SPACE THE CONCRETE JOINTS AT 12'-0" O.C.  
3. ALL STRENGTHENING REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH MNDOT SPEC. 241



**HEAVY DUTY  
BITUMINOUS PAVEMENT**

NOTES:  
1. ALL STRENGTHENING REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH MNDOT SPEC. 241

**CONCRETE SIDEWALK**

NOTES:  
1. CONCRETE SHALL CONFORM TO MNDOT SPEC. 241  
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3. ALL STRENGTHENING REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH MNDOT SPEC. 241

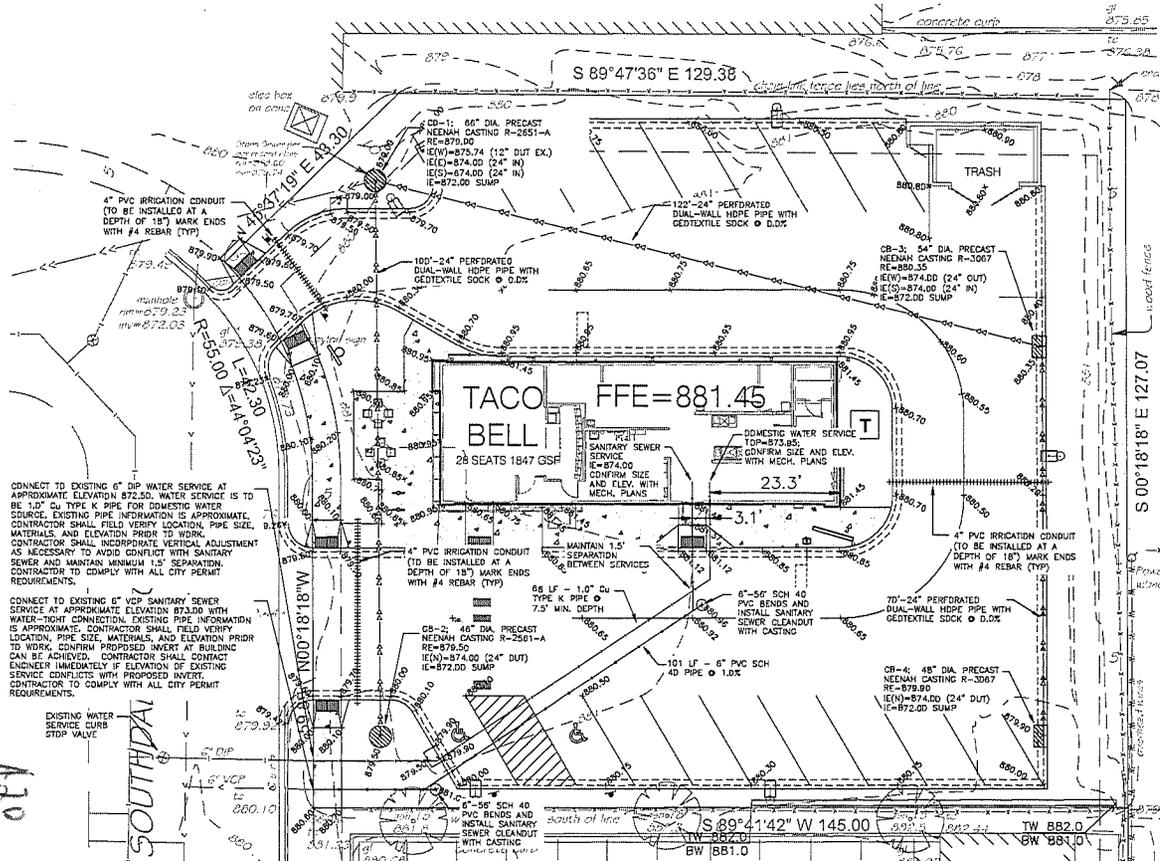
**CONCRETE PAVEMENT**

NOTES:  
1. CONCRETE SHALL CONFORM TO MNDOT SPEC. 241  
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3. ALL STRENGTHENING REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH MNDOT SPEC. 241

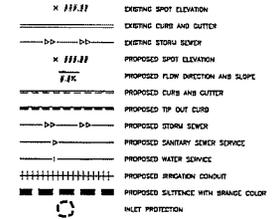
**HEAVY DUTY  
BITUMINOUS PAVEMENT**

NOTES:  
1. ALL STRENGTHENING REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH MNDOT SPEC. 241

HAIC



**SITE LEGEND:**



SITE PLAN BASED ON SURVEY INFORMATION DATED SEPTEMBER 19, 2012 PROVIDED BY LOT SURVEYS COMPANY, INC.

**BENCHMARK:**

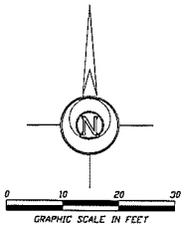
Top nut of hydrant located on Southdale Circle at 62 feet southeast of southeast property corner. Elevation = 823.40 feet

**LEGAL DESCRIPTION:**

Tract C, Registered Land Survey No. 1357, Hennepin County, Minnesota.

**GENERAL UTILITY NOTES:**

1. Specifications applicable for this project: Current standard specifications for the City of Edina, MN and all Minnesota Department of Health and MPCA requirements except where modified by these contract documents.
2. OSHA requirements shall be followed for all work on the project.
3. The Contractor shall notify "opher State One Call" 48 hours prior to any excavation (651-434-0002 or 1-800-292-1168 out of state).
4. The Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction (sewer, sanitary sewer, water, natural gas, telephone, electric, etc.), and immediately notify the Engineer of any conflicts.
5. The Contractor shall protect all existing utilities and facilities to allow proper functioning during and after construction. Any required supporting structure shall be supplied by the Contractor as work incidental to the contract.
6. The contractor shall immediately notify the Engineer of any conflicts between existing utilities, and the proposed construction. The Engineer will coordinate with the Utility Company in question to determine the need for relocation of the existing utility.
7. Existing conditions such as sand in manholes or valve boxes shall be identified by the Contractor and these shall be reported to the Engineer prior to excavation by the Contractor. Once construction has begun, all damage to underground utilities will be assumed to have been caused by the Contractor, any repairs necessary shall be performed by the Contractor at the Contractor's expense.
8. Final Plot shall govern for assessments and lot lines.
9. The Contractor shall coordinate with the local jurisdiction to obtain permits and meter for water source. All associated costs shall be incidental to the Contractor, including disposal of test water into City's sanitary sewer system. The Contractor shall not operate gate valves or hydrants on the City's water supply system.
10. The Contractor shall notify the City Engineer, and the Project Engineer 48 hours prior to starting work or as required by the local jurisdiction or be subject to being shut down.
11. The Contractor shall keep access roads clear of soil or other debris, and perform daily street cleaning as required by the NPOCS permit or as required by the City. Positive drainage, controlled with erosion control and erosion prevention measures as required by the NPOCS permit shall be performed. Inlet protection shall be installed within 48 hours after final construction. Unless specified on the plans or as a bid item on the Bid Form, any temporary curbs, ditches, silt fences, etc., necessary to accomplish this shall be performed as incidental to the Contract.
12. The Contractor shall preserve and protect the markers and monuments set for the subdivision of the land.
13. The Contractor shall schedule the soil engineer to facilitate certification of all controlled fill in a timely fashion. Density tests shall meet the following:
  - A. Density tests shall be taken on all trenches at locations as determined by the Engineer or his representative.
  - B. Within the upper 3' of streets, private drives and parking lots, Contractor shall utilize approved soils that are within 1% optimum moisture content as defined by the Standard Proctor Test-ASTM D-1558 with 100% Standard Proctor Density and not exceeding compaction by more than 1%. Below the upper 3', compaction shall meet 95%. Grains (sandstone) shall be D1.
14. The Owner shall pay for all testing of soils composition. Any areas which fail to meet the above standards shall be corrected and re-tested by the Owner's testing agent at the Contractor's expense.
15. Water service shall be installed with a minimum of 7.5 feet of cover.
16. Contractor shall provide temporary traffic control in compliance with MN/DOT Temporary Traffic Control Zone Layouts "Field Manual" dated 2011 for construction adjacent to travel ways.
17. Contractor shall schedule the soil engineer to facilitate certification of all controlled fill on the plan prior to the ordering of any fittings, structures, castings, etc. Engineer and the Owner shall not be responsible for any discrepancies found on depth are estimated.
18. City inspection is required for the sanitary sewer and water service connections.
19. Contractor to comply with all regulatory agency permit conditions for permits obtained by owner and for permits obtained by general contractor.
20. All work performed and materials used for construction of utilities must conform to the City of Richfield Standard Specifications and Details.
21. Contractor may utilize SDR 35 as an equivalent material for sanitary sewer service.
22. Confirm proposed sanitary service and water main service locations and elevations with mechanical plans.
23. Refer to electrical and lighting plans for conduit size and location for menu board and light pipe.



**Taco Bell**  
3210 SOUTHDALE CIRCLE  
EDINA, MN 55435

**PRELIMINARY NOT FOR CONSTRUCTION**

Designed by:  
**Border Foods**  
305 DeCatur Ave North  
Golden Valley MN 55427  
Now Address as of April 4, 2014  
5425 Boone Ave N.  
New Hope, MN 55428

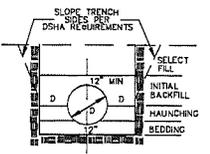
Contractor  
**SITE ENGINEERING**  
118 Oak Square St.  
Hennepin, MN 55428  
Phone: 760-241-9999  
www.borderfoods.com

I hereby certify that the site specifications or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Minnesota.  
Printed Name: **SCOTT DAHLE**  
Signature: *[Signature]*  
Date: 03/07/14 License #: 24303

Print History  
Site Plan Review 03.07.2014

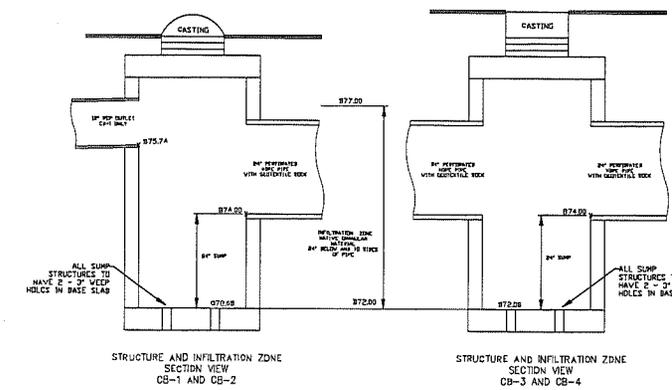
Now Building  
NI-28, 28 Seats, 1,847 SF  
UTILITIES PLAN

Project: 2013.06.08  
Drawn: SB  
Checked: CD  
CDD: Pages: 02/25  
**C5.0**  
TACO BELL, EDINA, MN



1. BEDDING SHALL BE NATIVE SOILS MATERIALS MEETING SELECT GRANULAR BORROW MANDOT SPEC. 314.28
2. COMPACT TO 95% STANDARD PROCTOR.
3. SELECT FILL PLACEMENT SHALL BE FREE OF LARGE ROCKS (3"+) AND SHALL BE PLACED IN 8" MAX. LOOSE LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.

BEDDING DETAIL

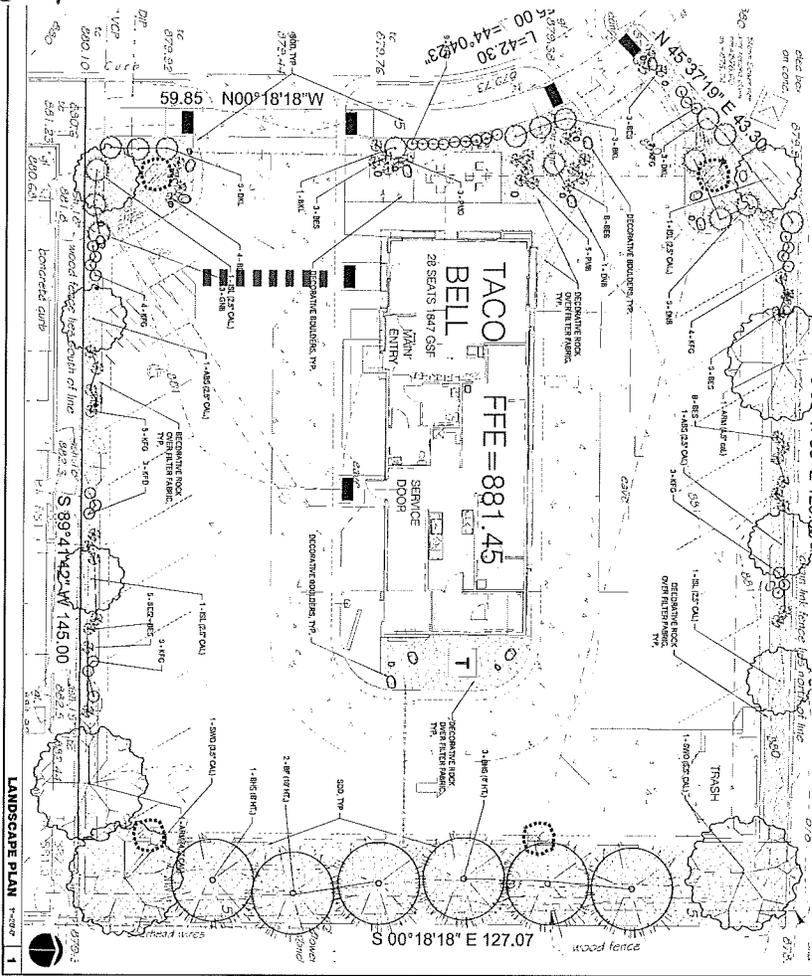
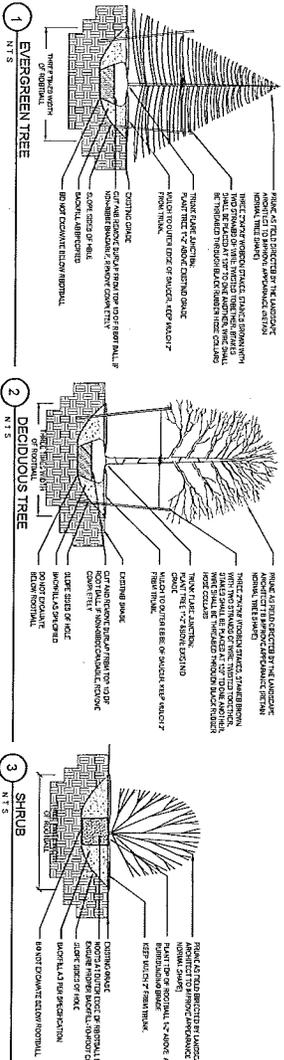


STRUCTURE AND INFILTRATION ZONE SECTION VIEW CB-1 AND CB-2

STRUCTURE AND INFILTRATION ZONE SECTION VIEW CB-3 AND CB-4



422



**LANDSCAPE REQUIREMENTS**

Zoning: RCD 3

Landscaping Calculation

RESULTS: 544 / 48 = 11.33 (11)

TREE	REQUIREMENTS	CONCRETE	AS PLANTING SPACING	REQUIRED	ROUNDED UP
MINIMUM	7' OR GREATER	5%	50'	50	50
COMPLEMENTARY	2'7\"/>				
MINIMUM	4' OR GREATER	20%	20'	20	20
MINIMUM	5' OR GREATER	20%	20'	20	20
MINIMUM	5' OR GREATER	20%	20'	20	20
TOTAL REQUIRED				11	11

- LANDSCAPE NOTES**
1. WHERE SHOWN, SHEDS SHALL BE LOCATED WITH A 10% MINIMUM INFLUENCE ON THE BUILDING FOOTPRINT OR 4' OR GREATER FROM THE EXTERIOR WALLS. OWNERS TO PROVIDE ROCK DRAINAGE FROM THE BUILDING TO THE VULNERABLE VULNERABLE FROM THE BUILDING.
  2. PLANTING SHALL BE DONE WITH THE AMERICAN ASSOCIATION OF PROFESSIONAL LANDSCAPERS AND SHALL BE OF HIGH QUALITY. PLANTING SHALL BE DONE WITH THE AMERICAN ASSOCIATION OF PROFESSIONAL LANDSCAPERS AND SHALL BE OF HIGH QUALITY.
  3. PLANTING SHALL BE DONE WITH THE AMERICAN ASSOCIATION OF PROFESSIONAL LANDSCAPERS AND SHALL BE OF HIGH QUALITY.
  4. PLANTING SHALL BE DONE WITH THE AMERICAN ASSOCIATION OF PROFESSIONAL LANDSCAPERS AND SHALL BE OF HIGH QUALITY.
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  11. PLANTING SHALL BE DONE WITH THE AMERICAN ASSOCIATION OF PROFESSIONAL LANDSCAPERS AND SHALL BE OF HIGH QUALITY.

Developed by:  
**Border Foods**  
 965 DePaul Ave North  
 Golden Valley MN 55427  
 New Address as of April 4, 2014  
 8225 Brown Ave N  
 Golden Valley MN 55428

Project: 1502142201010M  
 Sheet: 010  
 Date: 01/11/14

TACO BELL EDINA, MN

**WCL**  
 Association, Inc.

Asst. Landscape Architect  
 4011 Valley Street  
 St. Louis, MO 63116  
 Phone: 314.488.1200  
 Fax: 314.488.1201  
 www.wcl.com

**Taco Bell**  
 3210 Southdale Circle  
 EDINA, MN 55425

**PRELIMINARY NOT FOR CONSTRUCTION**

**LANDSCAPE PLAN**

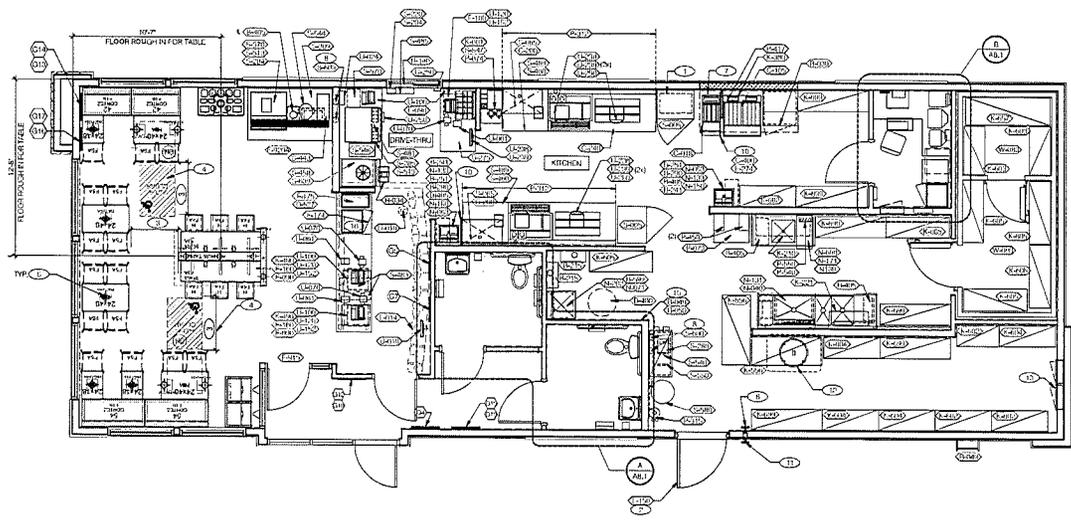
Scale: 1" = 10'-0"

North Arrow

Legend:  
 - - - - - LIMIT OF ROCK  
 - - - - - PAVED DRIVE  
 - - - - - PROPOSED SHRUBS - SEE WALKS - SEE SCHEDULE  
 - - - - - EXISTING SHRUBS - SEE WALKS - SEE SCHEDULE



A24



NOTE: SEE DECOR  
DOCUMENTS FOR  
ADDITIONAL INFORMATION.

- All equipment, including millwork cabinets, must be mounted on casters, six-inch legs, or seated in a solid masonry base. Enclosed, unfilled bases are not permitted.
- Provide properly installed sheets of stainless steel on the wall behind the grease producing equipment from the bottom of the hood to the top of the floor base case.
- A licensed plumber shall install all plumbing according to the Minnesota Plumbing Code. In addition, plumbing plans must be submitted to the Minnesota Department of Labor and Industry, Plumbing and Engineering Unit, 443 Lafayette Road North, St. Paul, MN 55155-4343 or a municipality with the designated plumbing inspection program for review and approval prior to installation.
- Provide an adequate number of floor drains that are easily accessible for cleaning. Floor sinks are shown on the plan in several locations. Floor sinks should only be used when required by large flows. Use floor drains instead.
- Check with the local municipality for their regulations regarding grease trap requirements. If a grease trap is installed, the lid should be mounted flush with the floor and it shall be accessible for cleaning.
- Handinks, preparation sinks, and three-compartment sinks must be directly washed. Please refer to the MN Plumbing Code. This plan appears to show the prep sink and the three-compartment sink indirectly washed into floor sinks.
- Employee hand washing sink must be conveniently located in all food preparation, food dispensing, and utensil washing areas.
- Either adequate space (12 inches) or a shield must be provided between the preparation hand sink and a preparation table to preclude contamination by splash.
- Ensure a sign directing employees to wash hands, hand cleaner, single-use towels, and a lint-free brush is provided at all hand wash sinks located in food service, food preparation, and warewashing areas.
- Provide hooks or hanging brackets of the utility sink for the storage of mops and brooms.
- Provide an area for storage of employees personal belongings that is separate from food, clean equipment, and single service supplies. Employee lockers must be well maintained or on-the-inch legs.
- The food storage shelving used in the walk-in refrigerators must be NSF approved stainless steel, factory pre-coated epoxy or Melmac for example. Chrome or zinc-plated shelving without an approved factory applied hard-baked protective coating is not approved for this purpose.
- The walls and ceilings in the food preparation, utensil washing and toilet room areas must be smooth, durable, non-absorbent, and easily cleanable such as stainless steel, ceramic tile, or fiberglass reinforced panels (FRP). In areas where paint is permissible, the finish shall be light in color, smooth, durable, and easily cleanable (e.g. high glass enamel).
- Perforated or fibreglass drop lay-in ceiling panels are not acceptable. Provide durable, washable ceiling panels, such as vinyl-fused panels.
- Outside garbage and refuse containers, including composters, must be stored on a smooth and non-absorbent surface.
- Install a sufficient number of light fixtures in the food preparation and warewashing areas to provide a minimum of 10 foot-candles of light at 30 inches off the floor. Provide at least 30 foot-candles of light in storage rooms. Lights over exposed food storage, food preparation, food display facilities, and utensil cleaning and storage areas must be shielded or shatter-resistant.

**WCL**  
Association, Inc.  
An Affiliated  
Firm of  
4031 West 25th Street  
Suite 200  
St. Louis Park, Minnesota  
55425  
7.622.541.9955  
7.622.541.4054  
www.wcl.com

**Taco Bell**  
3210 Southdale Circle  
EDINA, MN 55435

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Developed by:  
**Border Foods**  
955 Decatur Ave North  
Golden Valley MN 55427  
New Address as of April  
4, 2014  
5425 Boone Ave N.  
New Hope, MN 55428

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Architect:  
Name: Steve Clark  
Registration: LA 883  
Firm Name: WCL  
Phone Number: 612.541.9955  
Site Plan Review Date: 03.07.2014

New Building  
NI-28, 28 Seats; 1,847 SF  
**EQUIPMENT  
AND  
SETTING  
PLAN**

Print: 3/13/18  
Draw: GSA  
Checked: BC  
**A2.0**  
TACO BELL EDINA, MN

QTY.	ITEM	REMARKS
1	NUTRITION POSTER *	SEE A&P FOR LOCATION
1	"FASTE EXPLODANT" (24" W X 24" H)	SEE A&P FOR LOCATION
1	"VOLCANO TARGET" (24" W X 24" H)	SEE A&P FOR LOCATION
1	"NYC TACO TAZ" (24" W X 24" H)	SEE A&P FOR LOCATION
1	"WEST COAST EXHIBITATION" (24" W X 24" H)	SEE A&P FOR LOCATION
1	TACO NIGHT TIME	SEE A&P FOR LOCATION
1	"FACED BEACH BALL" (24" W X 24" H)	SEE A&P FOR LOCATION
1	"FLAM MEXICO" (24" W X 24" H)	SEE A&P FOR LOCATION
1	"TAMPA ATTITUDE" (24" W X 24" H)	SEE A&P FOR LOCATION

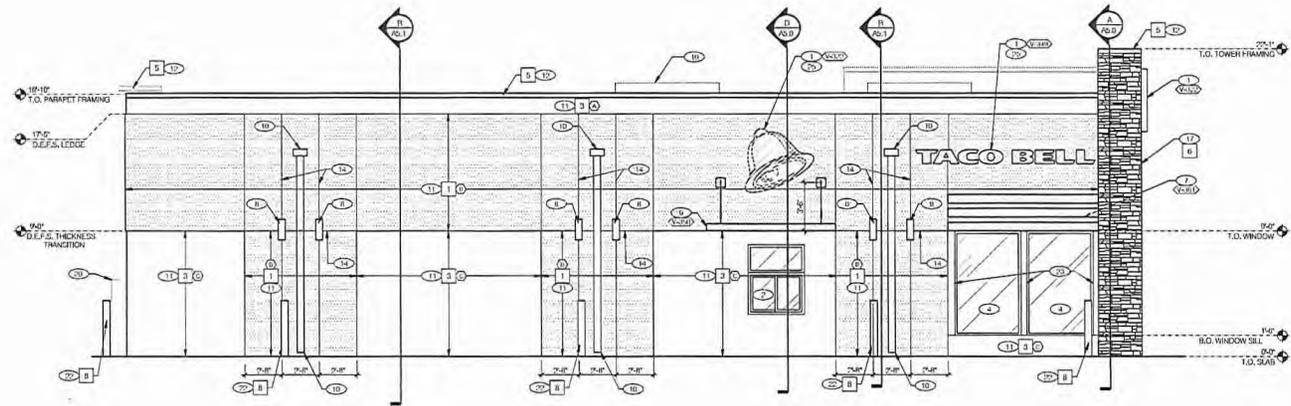
\* THE NUTRITION MATERIALS PACKAGING HOLDER, NUTRITION POSTER AND BRAND NUTRITION BRICKS ARE A PART OF A NEW RESTAURANT TO GO AND DRIVING KIT AND ARE PROVIDED BY THE SUPPLIER.

STORAGE TYPE	LINEAR FT.
DRY STORAGE	515
COLD STORAGE	19
HIDDEN STORAGE	15

1. HOOD FIRE SUPPRESSION SYSTEM (A&P, A, B, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
2. SERVICE DRAIN. SEE SHEET A-1.1. F&B SECURITY DODGE PACKAGE.
3. MAINTAIN 36" MIN CLEARANCE (EXPOSED PATH) TO DIRT DODGING.
4. 30" x 48" ACCESSIBLE CLEAR FLOOR SPACE.
5. NOT INDICATED CORE DRILL LOCATION. CORE DRILL LAYOUT TO BE PROVIDED BY OWNER. SEE THE DRAWING AND CLEARANCE REQUIREMENTS. SEE KEYNOTES 3.4. THE SHEET AND PROJECT'S P&E DRAWING AND MAP SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (UNIVERSITY) EXPOSED PERMANENTLY APPLIED TO THE TABLE TOP OR TABLE EDGE.
6. LOCATION OF PANEL DIRECTION (D, 2P, A, F, F).
7. GAS LINE DOWN TO EQUIPMENT.
8. COORDINATE LOCATION OF HUBBZ PVC DRIP CHASE. SEE DECOR A-1.
9. NON-FIRED, 48" HIGH WALKER HEATER PLATFORM (BY OWNER).
10. SPLASH GUARD, SEE DETAIL 99A.5.
11. CORE HILL POINT.
12. DRAINAGE INTERCEPTOR, SEE PLUMBING DRAWING.
13. SWITCH-CLEAR/ELECTRIC PANELS.
14. NOT USED.
15. ROOF LANDFILL.
16. ACCESSIBLE COUNTER AT 36" A.F.F., MAINTAIN 36" CLEAR OF OBSTRUCTIONS.

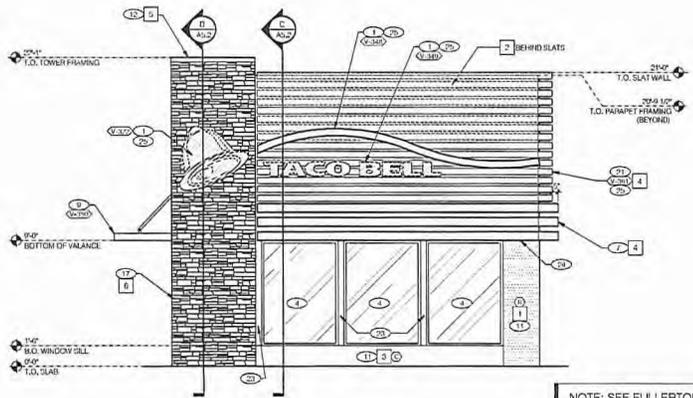


A310



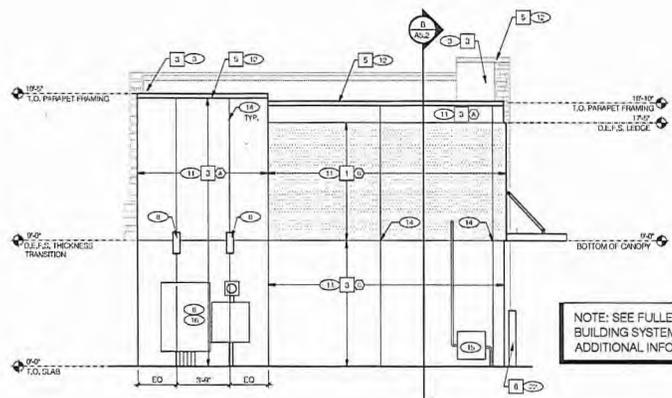
NOTE: SEE FULLERTON BUILDING SYSTEMS FOR ADDITIONAL INFORMATION.

NORTH ELEVATION (DRIVE THRU) 1/4" = 1'-0" A



NOTE: SEE FULLERTON BUILDING SYSTEMS FOR ADDITIONAL INFORMATION.

WEST ELEVATION (FRONT) 1/4" = 1'-0" C



NOTE: SEE FULLERTON BUILDING SYSTEMS FOR ADDITIONAL INFORMATION.

EAST ELEVATION (REAR) 1/4" = 1'-0" B

WCL Associates, Inc.

4031 West 52nd Street  
Suite 200  
St. Louis Park, Minnesota 55416  
T. 952.541.9939  
F. 952.541.9934  
www.wcl.com



Taco Bell  
3210 Southdale Circle  
EDINA, MN 55435

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Developed by:  
**Border Foods**  
965 Decatur Ave North  
Golden Valley MN 55427  
New Address as of April  
4, 2014  
5425 Boone Ave N.  
New Hope, MN 55428

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature:	_____	Date:	_____
Name:	_____	Registration:	14,803
Project Contact:	_____	Phone Number:	952.541.9939
Print History:	_____	Date:	03.27.2014
DATE PLAN REVIEW:	_____		
A	_____		
B	_____		
C	_____		

New Building  
N1-28, 28 Seats: 1,647 SF  
EXTERIOR ELEVATIONS

Project: 2013.06.08  
Drawn: DSM  
Checked: DC

A4.1

TACO BELL EDINA, MN

Dwg File: G:\2013\06\_Border Foods\3210 Southdale Circle\3210 Southdale Circle\3210 Southdale Circle.dwg  
 Plot File: G:\2013\06\_Border Foods\3210 Southdale Circle\3210 Southdale Circle\3210 Southdale Circle.dwg  
 Plot Date: 03/27/2014 1:45:39 PM

Engineering Department • Phone 952-826-0371  
Fax 952-826-0392 • www.CityofEdina.com



**Date:** April 2, 2014  
**To:** Cary Teague – Community Development Director  
**From:** Chad Millner – Director of Engineering  
**Re:** 3210 Southdale Circle – Taco Bell Re-Development  
Plans Dated March 7, 2014

Engineering has reviewed the above stated proposed plan and offer the following comments:

- A Nine Mile Creek Watershed permit will be required; along with potential other agency permits such as MNDH, MPCA, and MCES.
- The City will consider the water and sanitary sewer pipes private utilities and the responsibility of the property owner for future maintenance and repair. The private water service begins at the gate value and the private sanitary sewer service begins at the sanitary sewer trunk pipe, both located in Southdale Circle.
- A set of as-built plans will be required with the final C.O.
- Details are needed on the infiltration system such as expected infiltration rates. This would be part of the watershed permitting process.
- Indicate on plans what utilities are private versus public by noting that on the pipes.
- Construct utilities per City of Edina Standard Details.
- Watertight sanitary sewer castings are required on all sanitary sewer manholes / cleanouts.

Staff will require a more detail review of the Civil Plans if this project is approved by the City Council. Please contact me if you have any questions regarding this review.

A27

G:\PW\ADMIN\COMM\EXTERNAL\GENERAL CORR BY STREETS\3210 Southdale Circle - Taco Bell\201403xx CM-Edina Review 3210 Southdale Cir.doc

City Hall • Phone 952-833-9520  
Fax 952-826-0390 • www.CityofEdina.com



**Date:** March 27, 2014  
**To:** Cary Teague, Community Development Director  
**cc:** Tom Schmitz, Fire Chief  
**From:** David Fisher – Chief Building Official  
**Re:** 3210 Southdale Circle – Taco Bell – Demo & rebuild Draft Plans Dated March 7, 2014

The Building Department has reviewed the above proposed project with following comments:

- Provide a complete building code analysis when the construction plans are submitted to the city for building permits.
- Verify the number of occupants is less than 49 or the State Building Code requires the building to have a NFPA 13 fire sprinkler system.
- Provide adequate fire department access to the buildings.
- Verify there is a grease trap that meets the MN State Plumbing Code.
- Retaining walls over 4 feet require engineering and a building permit.
- Recommend this project has a pre-construction meeting with the design professionals, contractor, the project manager and the city building and fire department staff.

A271

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## **A. Sketch Plan – Taco Bell 3210 Southdale Circle**

### **Planner Presentation**

Planner Teague informed the Commission they are being asked to consider a sketch plan proposal to tear down the existing Taco Bell building and rebuild a new slightly smaller building at 3210 Southdale Circle.

Teague reported that the applicant would proceed with Site Plan review and variance approval to redevelop the site.

### **Appearing for the Applicant**

Barbara Schneider, for Border Foods Companies

### **Comments/Questions**

Commissioner Grabiell asked if the houses directly to the east of the subject property are in Edina. Planner Teague responded in the affirmative.

Commissioner Forrest noted a discrepancy in parking spaces referenced and depicted on the plans and asked the applicant to be clear on that figure when they bring their application forward. Forrest asked where setback is established. Teague responded setback is established from the property lines.

Commissioner Scherer commented that she wondered if the audio box/menu board could be located on the new building in a location similar to McDonald's audio box/menu board south side. Planner Teague responded that it appears the proposed plans depict a five vehicle stacking queue, adding the applicant would need to answer that question.

### **Applicant Presentation**

Ms. Schneider addressed the Commission and explained Border Foods is proposing to tear down and rebuild the existing Taco Bell restaurant. Taco Bell has been operating at the Edina location since 1986, adding the proposed rebuilt is 27 GSF smaller than the existing building; however, it is 23'5" longer. Schneider explained the circulation on the site in one way and the same is proposed with the new structure.

Schneider acknowledged that the request requires variance; however, she believes the increase in landscaping and turning radius in the one-way circulation pattern provides a better more efficient and safe site. Schneider also noted this layout allows for better placement of the audio box/menu board.

### Comments/Questions

Chair Staunton asked Ms. Schneider if Border is concerned about their long range plans. Staunton pointed out the property adjacent to the north is available and wondered if any interest was given to speak with those property owners.

Ms. Schneider responded they approached the property owners to the north (best Buy) and inquired if they had any desire to purchase the Taco Bell site and incorporate it into their site; however, to date there has been no movement from the owners of the Best Buy site one way or another

Commissioner Grabel asked if building design was controlled by the corporate office. Schneider responded in the affirmative. She said Taco Bell sites are managed very carefully. Continuing, Grabel said he finds the Southdale Circle properties to be a bit unusual, noting it's unusual in Edina to have R-1 residential properties abutting commercial. Planner Teague agreed, adding he would do some research on this development.

Commissioner Schroeder commented that he understands Ordinance stacking requirements; however, wonders if it would be a good idea to allow some leniency when a project is redeveloped that opens up to the street providing a more pedestrian feel and creating a better pedestrian experience. Planner Teague responded that could be looked into pointing out the Commission continually discusses the Ordinance. Ms. Schneider interjected that Taco Bell has a stacking formula of 5 vehicles from the audio box/menu board. Schroeder noted if the building is allowed to be pulled closer to the street it may provide the right number of stacking spaces to relocate the audio box/menu board. Ms. Schneider responded that they will look into that suggestion; however, one item they need to keep in mind is the location of the transformer.

Chair Staunton asked if the site is buffered on the east. Ms. Schneider responded that presently there is a fence to the east. Schneider said with the buildings rearrangement they hope to be able to add Spruce trees; which is her opinion would provide better screening for the residential properties. Schneider also added that deciduous trees are planted on the neighbors' side of the fence.

Commissioner Forrest said she has a concern with the potential for cars idling as they wait for pickup, adding she wants everything done to minimize wait time creating a better environment for the residential property owners to the east.

Commissioner Platteter questioned if this would be a good area to construct sidewalks (if there aren't any), pointing out there is a big push for sidewalks in the area especially if redevelopment occurs on both the Best Buy and Wickes site. Continuing, Platteter asked if any patio seating is planned. Ms. Schneider responded that the site is very tight and no outdoor seating is anticipated.

Commissioner Halva questioned if there could be two boards one on the north and one on the south. Ms. Schneider responded the south location could be difficult because a certain radius needs to be provided so the building isn't hit by vehicles.

Chair Staunton said anything that can be done to minimize impact from the audio box/menu board would be appreciated.

The discussion ensued on the following points; possible tweaking of the audio board/menu board and parking. It was again noted the discrepancy in parking stalls; however, the Commission acknowledged if doable they would rather see landscaping and screening instead of concrete. Continuing, the Commission stressed the importance of "being a good neighbor" and reiterated the importance of doing everything possible to reduce the impact of this establishment from the residential properties to the east.

It was further discussed and acknowledged that in many instances the Ordinance tends to over park sites; however, in this instance they want assurances parking would be adequate. Commissioners questioned if the majority of the traffic at this location is drive-through traffic. Ms. Schneider responded in the affirmative. The Commission asked Ms. Schneider when formal application is submitted to prove that parking will be adequate.

Planner Teague reported that he in reviewing Google earth he found there are sidewalks along the east side of York Avenue and the sidewalk continues on the Richfield side of Xerxes Avenue.

Commissioner Fischer asked out of curiosity what the "down time" is on a tear down/rebuild of this nature. Ms. Schneider responded that tear down and rebuild can be accomplished within 90-days barring unforeseen obstacles.

Chair Staunton thanked Ms. Schneider for presenting the sketch plan, reiterating the importance of providing screening for the residential properties to the east.

## **B. Tree Ordinance**

### **Planner Presentation**

Minutes/Edina City Council/January 21, 2014

made a motion, seconded by Member Sprague, accepting the Edina Rotary Foundation donation of an heirloom clock for Centennial Lakes Park.

Ayes: Bennett, Brindle, Sprague, Swenson, Hovland  
Motion carried.

**VIII.C. RESOLUTION NO. 2014-11 ADOPTED – ACCEPTING VARIOUS DONATIONS**

Mayor Hovland explained that in order to comply with State Statutes; all donations to the City must be adopted by Resolution and approved by four favorable votes of the Council accepting the donations. **Member Swenson introduced and moved adoption of Resolution No. 2014-11 accepting various donations.** Member Bennett seconded the motion.

Rollcall:  
Ayes: Bennett, Brindle, Sprague, Swenson, Hovland  
Motion carried.

**VIII.D. SKETCH PLAN REVIEWED – 3210 SOUTHDALE CIRCLE (TACO BELL)**

Community Development Director Presentation

Community Development Director Teague presented the sketch plan for a new Taco Bell at 3210 Southdale Circle that would require several variances including a four-foot parking variance. He described proposed and requested setbacks, building elements, and exterior materials. Mr. Teague advised that the size of the restaurant had been reduced so the parking stall requirement would be met. He then presented comments of the Planning Commission, noting the menu board would be reoriented to lessen impact to the residential area.

Proponent Presentation

Barbara Schneider, Border Foods, 965 Decatur Avenue N., Golden Valley, described the site plan changes made in response to concerns expressed by the Planning Commission. She answered questions raised by the Council and agreed this site was not ideal as it was somewhat undersized when compared to newer sites. Ms. Schneider reviewed the variances that would be requested for building setback, parking lot drive aisles, and menu board location.

Following review and discussion of the Taco Bell sketch plan, the Council offered the following direction: inclusion of a bicycle rack and outdoor seating (if feasible); additional vegetation within green spaces (comparable to Centennial Lakes Starbucks); permeable surfaces to accommodate stormwater; menu board orientation toward Southdale Circle; incorporation of design relief; and, review of parking counts to determine whether it would be an option to provide proof-of-parking to allow space for enhanced landscaping.

**VIII.E. SOUTHDALE MEDICAL BUILDING, 6525 FRANCE AVENUE – AMEND CONDITIONS OF APPROVAL TO BUILD THE PROOF-OF-PARKING PLAN – REMOVED FROM THE AGENDA**

This item was removed from the agenda at the request of the proponent.

**IX. CORRESPONDENCE AND PETITIONS**

**IX.A. CORRESPONDENCE**

Mayor Hovland acknowledged the Council's receipt of various correspondence.

**IX.B. MINUTES:**

1. ENERGY & ENVIRONMENT COMMISSION, DECEMBER 12, 2013
2. HERITAGE PRESERVATION BOARD, DECEMBER 9, 2013
3. PARK BOARD, NOVEMBER 12, 2013
4. PLANNING COMMISSION, DECEMBER 11, 2013
5. ARTS & CULTURE COMMISSION, OCTOBER 24, 2013
6. HUMAN RIGHTS & RELATIONS COMMISSION, OCTOBER 22, 2013

Informational; no action required.