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**Date:** September 25, 2013

**To:** Planning Commission

**From:** Cary Teague, Community Development Director

**Re:** Sketch Plan Review – 3655 Hazelton Road

The Planning Commission is asked to consider a sketch plan proposal to redevelop the property at 3655 Hazelton Road. (See property location on pages A1–A2.) The proposal is to tear down the existing vacant restaurant and construct a two-story bank on the site. The applicant would seek a Site Plan review and potentially a variance to develop the site.

The applicant is proposing three alternatives for the Planning Commission to consider and provide feedback prior to an official application. Option B would not require any variances as proposed. Options A and C would both require building setback variances.

The compliance table below demonstrates how the proposed new building would comply with the current zoning of PCD-3:

	City Standard PCD-3	Option A	Option B	Option C
<b><u>Building Setbacks</u></b>				
North	50 feet	50 feet	95 feet	50 feet
South	50 feet	100+ feet	100+ feet	100+ feet
East	50 feet	75 feet	55 feet	75 feet
West	50 feet	<b>30 feet*</b>	60 feet	<b>30 feet*</b>
<b><u>Parking Lot/Drive Aisle Setbacks</u></b>				
North	20 feet	20 feet	20 feet	20 feet
South	10 feet	10 feet	10 feet	10 feet
East	10 feet	10 feet	10 feet	10 feet
West	10 feet	10 feet	10 feet	10 feet

\* Variance required



	City Standard PCD-3	Option A	Option B	Option C
Building Height	8 stories or 96 feet whichever is less	2 stories	2 stories	2 stories
Maximum Floor Area Ratio (FAR)	50%	15%	15%	15%
Parking Stalls	47	47	47	48
Parking Stall Size	9 x 18	9 x 20	9 x 20	9 x 20
Drive Aisle Width	24 feet	24 feet	24 feet	24 feet
Stacking Spaces	3	3+	3+	3+

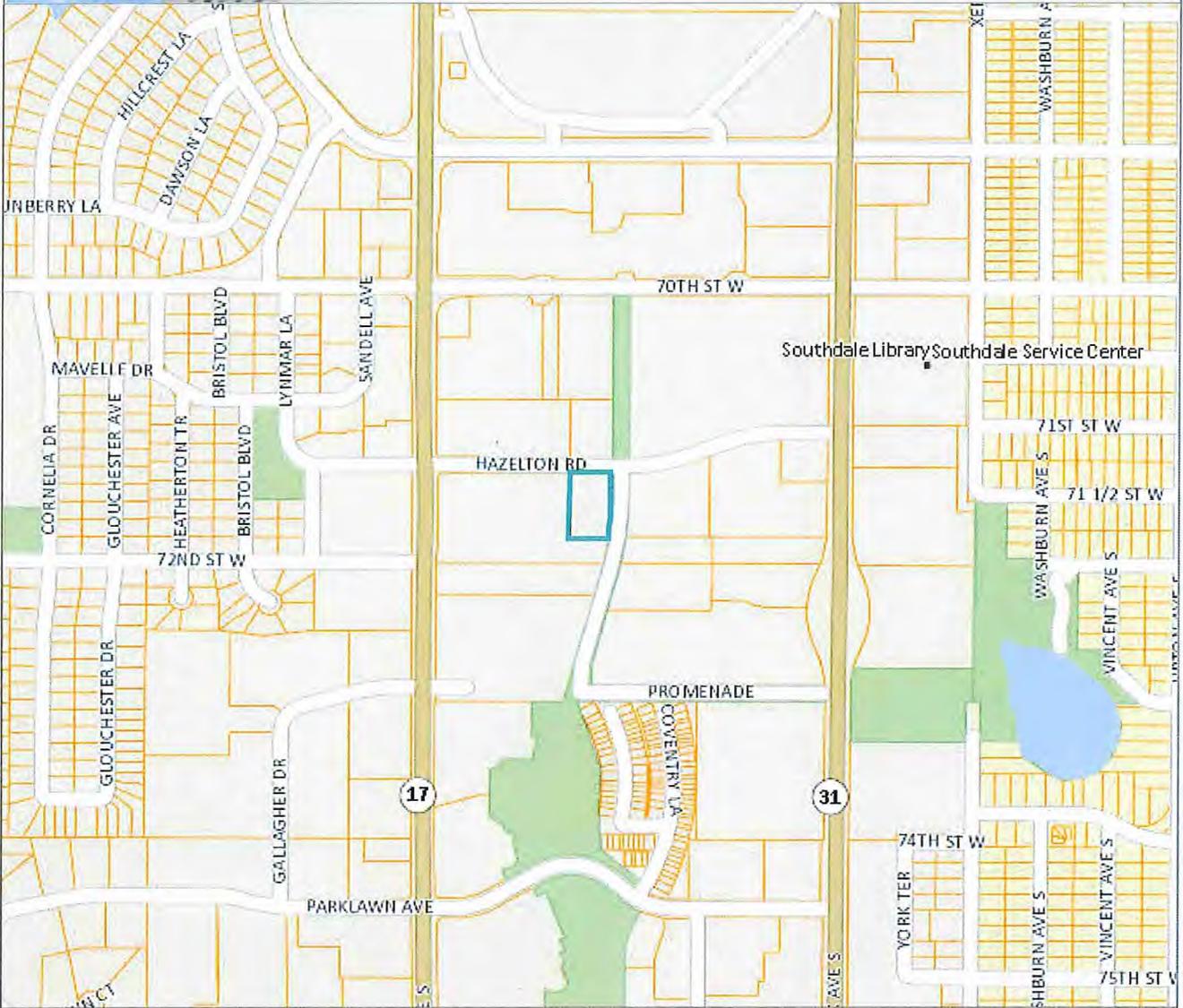
As demonstrated above, Option B is a code compliant site plan.

**TRAFFIC/SITE ACCESS**

A traffic study would be required to determine the impacts on adjacent roadways. Access would be obtained from the access road provided as part of the adjacent redevelopment of the Byerly’s site.

**PEDESTRIAN CONNECTIONS**

Staff has encouraged the applicant to design the site with emphasis on pedestrian connections to Hazelton Road, the Promenade and the new Byerly’s site development. While sidewalk connection would be provided to each; however, connections to the north, south and east to the Promenade, would require crossing an automobile drive-aisle or parking lot.



**Parcel ID:** 32-028-24-22-0008

**Owner Name:** Fremajane Wolfson Et Al

**Parcel Address:** 3655 Hazelton Rd  
Edina, MN 55435

**Property Type:** Commercial-Preferred

**Home-stead:** Non-Homestead

**Parcel Area:** 1.4 acres  
60,974 sq ft

**Sale Code:**

Map Scale: 1" ≈ 800 ft.  
Print Date: 9/17/2013



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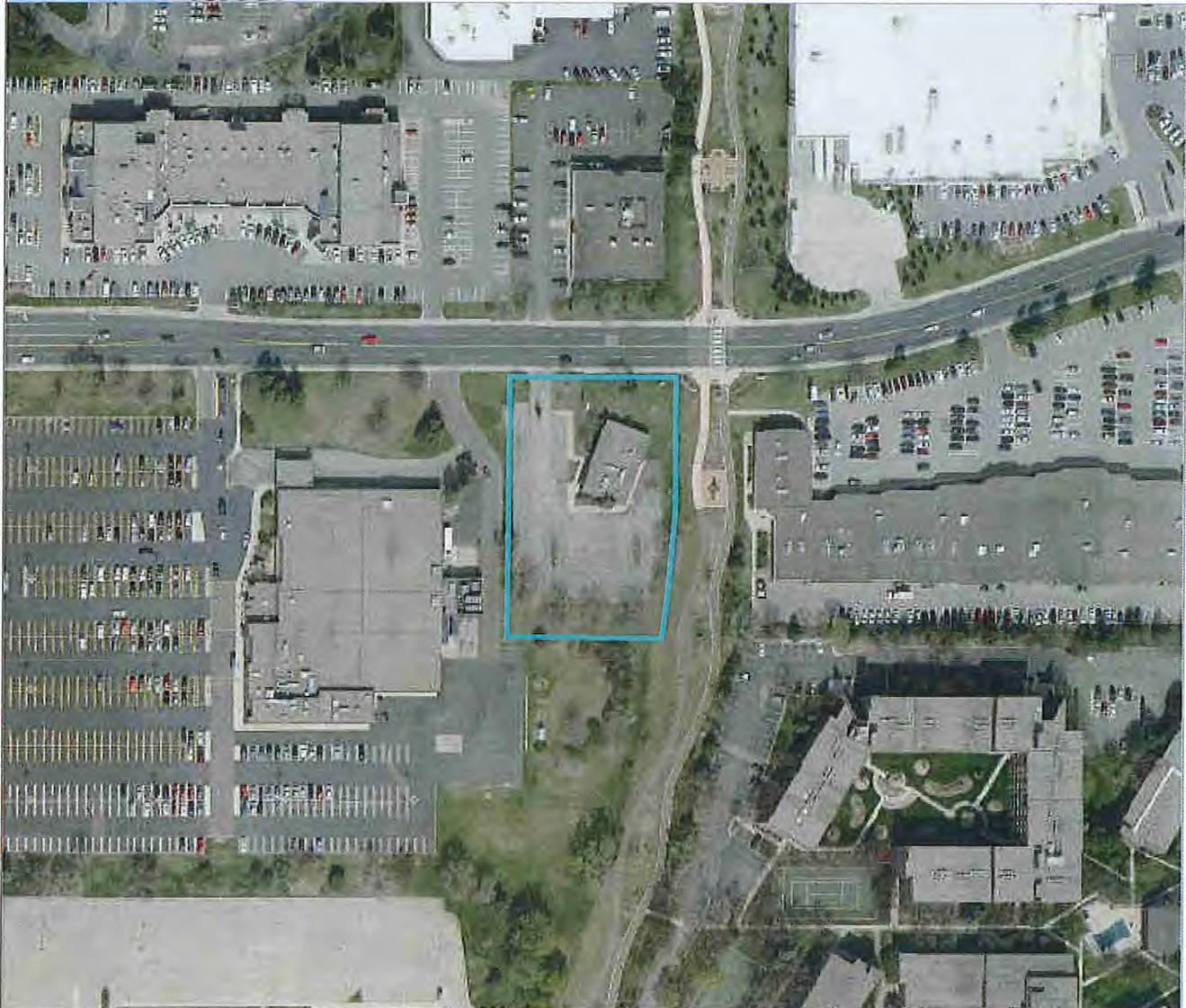
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# Property Map



**Parcel ID:** 32-028-24-22-0008

**Owner Name:** Fremajane Wolfson Et Al

**Parcel Address:** 3655 Hazelton Rd  
Edina, MN 55435

**Property Type:** Commercial-Preferred

**Home-stead:** Non-Homestead

**Parcel Area:** 1.4 acres  
60,974 sq ft

**Sale Code:**

Map Scale: 1" ~ 200 ft.

Print Date: 9/18/2013



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13 September 2013

City of Edina  
Community Development  
Attn.: Cary Teague – Community Development Director  
4801 West 50<sup>th</sup> Street  
Edina, MN 55424  
Ph. (952) 826-0389

**Re:** Think Mutual Bank  
Proposed Edina Branch Facility  
3655 Hazelton Road  
Edina, Minnesota

**Subject:** Sketch Plan Review Submittal

Below is a brief summary of the proposed building design, image, and material selection.

**General.**

Think Mutual Bank is proposing to construct a new partial two-story facility located at 3655 Hazelton Road.

The existing property is currently zoned PCD-3 Planned Commercial District 3. A financial institution is allowed under this zoning. The existing property is currently contains a vacant restaurant building, which will be demolished.

The proposed 9,400 square foot building will consist of an approximately 5,800 square feet main level and an approximately 3,600 square foot upper level. The main level will contain the Bank’s retail banking space (which includes offices, teller areas, conference room, waiting, etc.). The partial upper level will contain a community room/training room, storage, restrooms, employee lounge and a rooftop patio.

Both site ingress/egress is from one curb cut onto an Access Road (via Hazelton Road). This access road currently does not exist, but will be constructed as the result of the new Bylery’s Development ongoing to the west of this property.

**Site Plan Layouts**

There are (3) site plan layouts that have been submitted for consideration.

**Option A**

The proposed building is located in the northwest corner on the site with customer parking on the east side of the building. The main building entry is in the northeast corner of the proposed building (faces east). Think Mutual Bank is proposing a four-lane drive-up; located on the south side of the building. Each drive-up lane provides the required 3-car stacking. Employee parking is located on the south side of the drive-up.

The building does not meet building setback requirements at the north & west property lines. However, this option pushes the building as close to Hazelton as possible.

A total of 47 parking stalls are shown on the site. Based on the size of the building; 47 parking stalls are required.

**Option B**

The proposed building is centered on the site with customer parking on the north side of the building. The main building entry is in the northeast corner of the proposed building (faces east). Think Mutual Bank is proposing a four-lane drive-up; located on the south side of the building. Each drive-up lane provides the required 3-car stacking. Employee parking is located on the south side of the drive-up.

The building in this option does conform to the building setbacks.

A total of 35 parking stalls are shown on the site. Based on the size of the building; 47 parking will be required. We realize that at this time, we do not meet the parking requirements.

*Plan revised to meet Code 9/16/13*

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**Option C**

The proposed building is located in the northwest corner on the site with customer parking on the east side of the building. The main building entry is in the northeast corner of the proposed building (faces east). Think Mutual Bank is proposing a four-lane drive-up; located on the south side of the building. Each drive-up lane provides the required 3-car stacking. Employee parking is located on the east side of the drive-up. This option is very similar to Option A except that the drive-up in Option C is a 'head-on' type layout. This allows us to simplify and clean up the site circulation.

The building does not meet building setback requirements at the north & west property lines. However, this option pushes the building as close to Hazelton as possible.

A total of 48 parking stalls are shown on the site. Based on the size of the building, 47 parking stalls are required.

**Signage.**

A proposed pylon sign is shown in the northwest corner of the site (see site plan). The pylon sign design is meant to compliment the proposed building design. The sign structure is, at this time, clad in the same metal materials as the building. The Think Mutual Bank logo sign is individually backlit letters applied to blue composite metal panels. The size of the sign is yet to be determined- but will be sized to meet City Code.

Two backlit signs are proposed to be installed on the building; one on each side of Think's blue slab wall. One sign shall be on the east side of the wall; the second sign will be on the west side of the wall. A third wall sign shall be located on the west side of the building (in the southwest corner). Sizes shall meet City Code.

Sign permits will be applied for by the Owner's signage vendor at a later date.

**Image.**

The design of the proposed building provides an image that is consumer friendly, warm, and elegant. The exterior materials reflect Think Mutual Bank's corporate branding standards and are similar to their established prototype. The main entry is marked by the blue accent wall in the northeast corner of the building.

The exterior design uses three materials: prefinished composite metal wall panels, glass/spandrel glass, and clay tile. The colors used are: blue composite panels, silver metallic composite panels, and a salmon color clay tile. Aluminum frames are clear anodized (silver) with the glass having a slight gray tint.

The mechanical equipment will be located on the roof and be screened by the building parapet.

**Materials.**

Building Entry Walls	Prefinished composite metal panels (blue)
Building Façade	Glass curtain wall and terra-cotta / clay tile
Roof/canopy overhangs	Prefinished composite metal panels (silver)
Roof	EPDM Roofing
Roof Structure	Steel decking on bar joists
Floor Structure	Concrete slab-on-grade
Wall Structure	Metal/steel stud framing with steel columns/beams

The use will not be injurious to the use and enjoyment of the other properties. The establishment of the conditional use will not impede the normal and orderly development of the surrounding properties. Adequate utilities, access roads, drainage, etc. will be provided for this proposed building. The commercial use of this building is not in conflict with the city's comprehensive plan of this site.

The preliminary schedule is for construction to begin in April of 2014 with an anticipated completion date in the December of 2014.

We feel the proposed Think Mutual Bank project will be and remain a tremendous asset to the neighborhood.

Enclosed you will find the architectural site plan, preliminary exterior 3d renderings, and photos of Think's past prototype building projects.

Please call me with any questions.

Sincerely,

Russ Schramm  
Project Manager  
HTG ARCHITECTS 9300 Hennepin Town Road Minneapolis MN 55347 (952) 278-8880 www.htg-architects.com

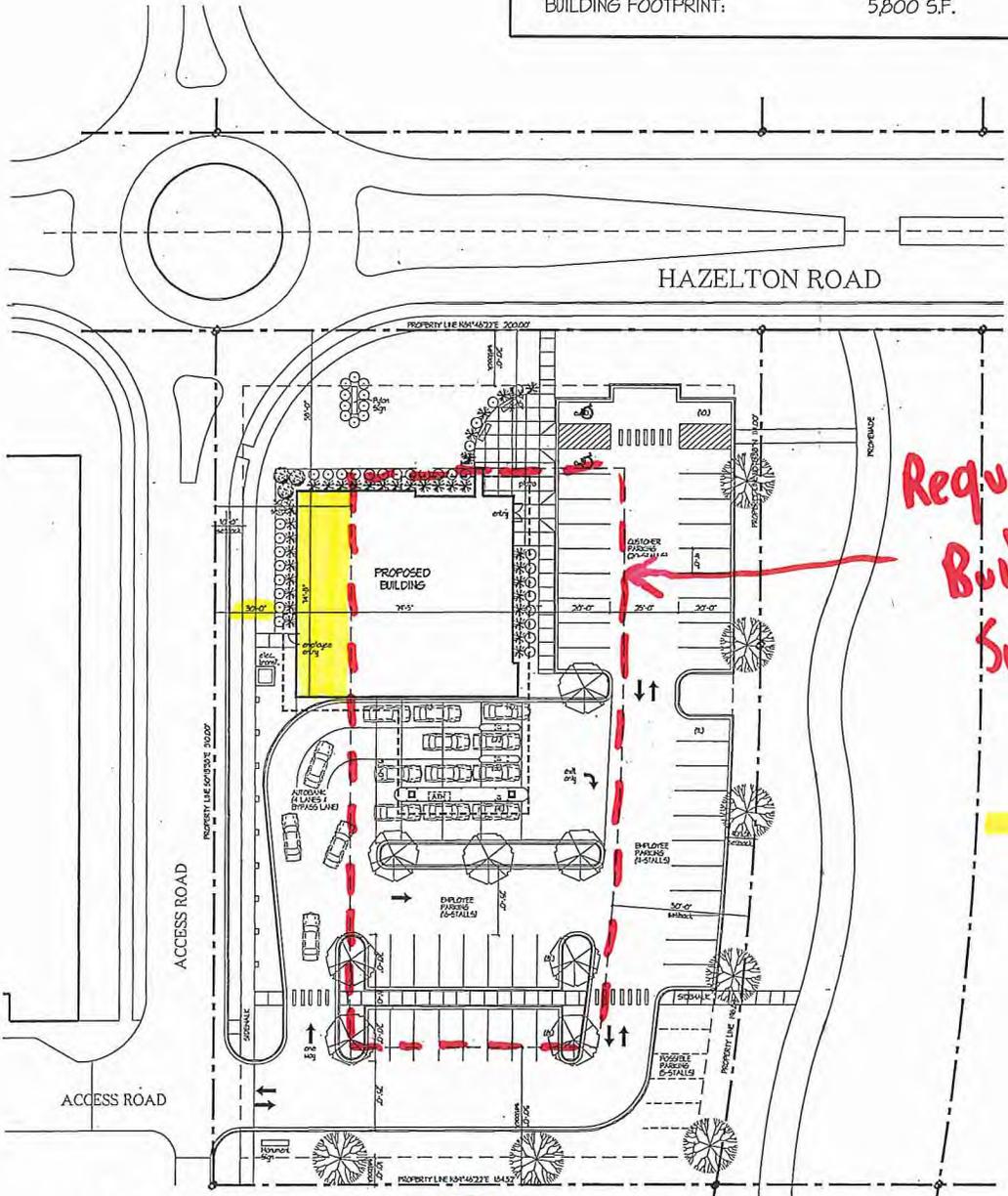
MINNEAPOLIS

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A3

SITE PLAN NOTES:	
TOTAL BUILDING SQ. FT.:	
MAIN LEVEL:	5,800 S.F.
UPPER LEVEL:	3,600 S.F.
TOTAL:	9,400 S.F.
PARKING:	
1:200	
REQUIRED:	47 STALLS
SHOWN:	47 STALLS
TOTAL LOT AREA :	
BUILDING FOOTPRINT:	5,800 S.F.



Required Building Setback

Variance Required

1 SITE PLAN - OPTION A  
A1.1 1" = 40'-0"

A4

SHEET:  
A1.a

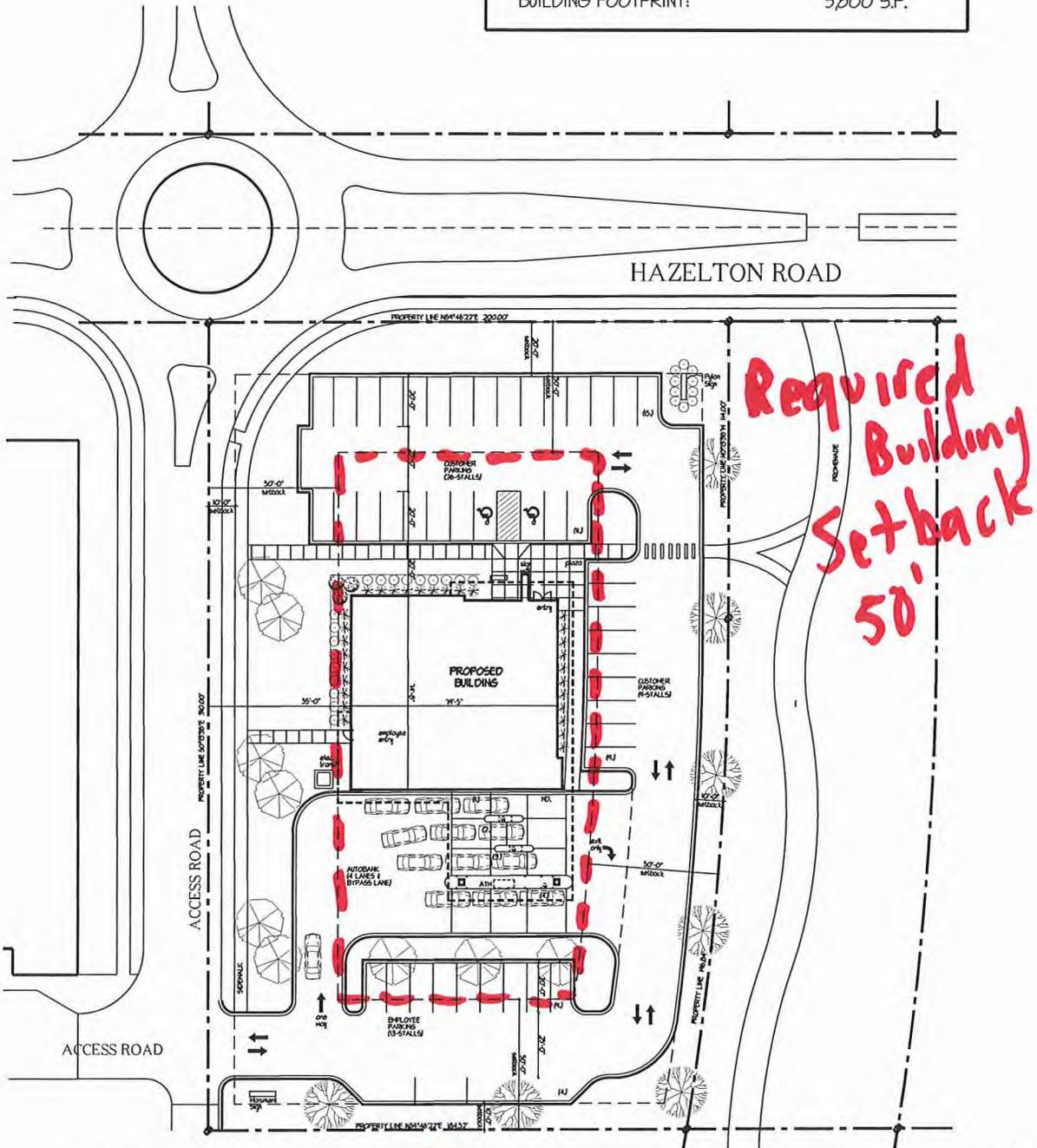
PROJECT #: 131145  
DATE: 9-13-13

THINK MUTUAL BANK  
PROPOSED NEW BUILDING  
EDINA, MINNESOTA

9300 Hennepin Town Road  
Minneapolis, MN. 55347  
Tel: 952.278.8880  
Fax: 952.278.8822

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SITE PLAN NOTES:	
TOTAL BUILDING SQ. FT.:	
MAIN LEVEL:	5,800 S.F.
UPPER LEVEL:	3,600 S.F.
TOTAL:	9,400 S.F.
PARKING:	
1:200	
REQUIRED:	47 STALLS
SHOWN:	47 STALLS
TOTAL LOT AREA :	60,990 S.F.
BUILDING FOOTPRINT:	5,800 S.F.



SITE PLAN - OPTION 'B'

1"=40'-0"



A5

SHEET:  
**A1.6**

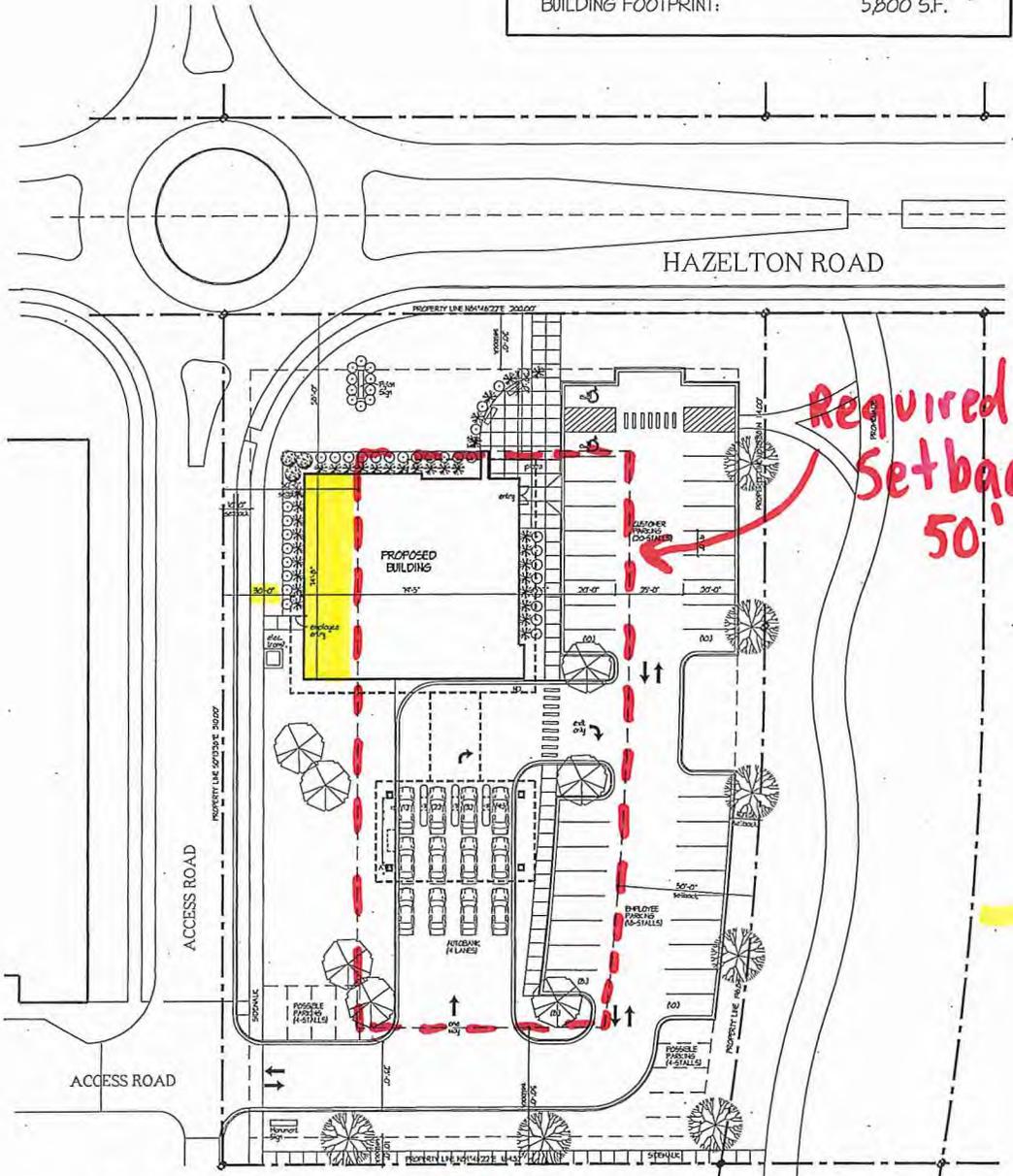
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*THINK MUTUAL BANK*  
**PROPOSED NEW BUILDING**  
EDINA, MINNESOTA

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SITE PLAN NOTES:	
TOTAL BUILDING SQ. FT.:	
MAIN LEVEL:	5,800 S.F.
UPPER LEVEL:	3,600 S.F.
TOTAL:	9,400 S.F.
PARKING:	
1:200 REQUIRED:	47 STALLS
SHOWN:	48 STALLS
TOTAL LOT AREA :	
BUILDING FOOTPRINT:	60,990 S.F.
	5,800 S.F.



Required Building Setback 50'

Variance Required

1 SITE PLAN - OPTION C  
A.I.I. 1"=40'-0"

A6

SHEET: A1.c

PROJECT #: 131145  
DATE: 9-13-13

THINK MUTUAL BANK  
PROPOSED NEW BUILDING  
EDINA, MINNESOTA

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A8

| PERSPECTIVES - OPTION A

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PERSPECTIVES - OPTION A

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PERSPECTIVES - OPTION A

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A11

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A12

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A13



PERSPECTIVES - OPTION B

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A14

PERSPECTIVES - OPTION B

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