



PLANNING COMMISSION STAFF REPORT

Originator Cary Teague Community Development Director	Meeting Date September 11, 2013	Agenda # VI.C.
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INFORMATION & BACKGROUND

Project Description

John Adams, on behalf of property owner Ted Warner is proposing to subdivide the property at 5 Merilane into three lots. (See property location on pages A1–A4.) The existing home is located in the middle of the property, and would remain as proposed. A new driveway would be constructed to serve the existing home, as the current driveway would be located on proposed Lot 3. The existing driveway would be used for access to a new home on Lot 3. (See applicant narrative and plans on pages A5–A13.) To accommodate the request the following is required:

1. Preliminary & Final Plat.

The proposal meets all minimum lot size requirements. Within this neighborhood, the median lot area is 48,249 square feet, median lot depth is 277 feet, and the median lot width is 192. (See attached median calculations on pages A7–A9.) All three lots would gain access off Merilane. (See page A13.)

Surrounding Land Uses

The lots on all sides of the subject properties are single-family homes, zoned and guided low-density residential.

Existing Site Features

The existing site is located on the curved portion of Merilane. The site is 3.48 acres in size, and contains a single family home. The site contains some gradual slopes and mature trees. (See pages A3, A4 and A13.)

Planning

Guide Plan designation: Single-dwelling residential
Zoning: R-1, Single-dwelling district

Lot Dimensions

	Area	Lot Width	Depth
REQUIRED	48,249 s.f.	192 feet	277 feet
Lot 1	50,863 s.f.	281 feet	337 feet
Lot 2	50,511 s.f.	202 feet	373 feet
Lot 3	50,455 s.f.	268 feet	334 feet

The proposed subdivision meets all lot dimension requirements.

Grading/Drainage and Utilities

The city engineer has reviewed the proposed plans and found them generally acceptable. Adequate drainage and utility easements are proposed along all the lot lines. The detailed grading plans would be reviewed by the city engineer at the time of building permit application for each lot. A construction management plan will be required for the construction of the new homes. A Minnehaha Creek Watershed District permit would also be required.

Park Dedication

As with all subdivision proposals, park dedication is required. Edina City Code requires a park dedication fee of \$5,000 for each additional lot created. Therefore a park dedication fee of \$10,000 would be required.

Primary Issue

- **Is the proposed subdivision reasonable for the site?**

Yes. Staff believes that the proposed subdivision is reasonable for the following reasons:

1. The proposed subdivision meets all minimum zoning ordinance requirements. As such, the applicant is entitled to subdivide the property.

2. The applicant has located the driveways so as not to disturb the mature trees on the site. (See page A13.)
3. Building pad locations would meet all minimum setback requirements. (See pages A12–A13.) The front yard setback requirements are established by the average of the two homes on either side. With the existing home to remain, the front yard setbacks for Lots 1 & 3 are established by the average setback of the existing home on Lot 2 and the adjacent homes.

Staff Recommendation

Because the proposed subdivision meets all of Edina's Zoning Ordinance requirements, recommend that the City Council approve the proposed three lot subdivision of 5 Merilane.

Approval is based on the following findings:

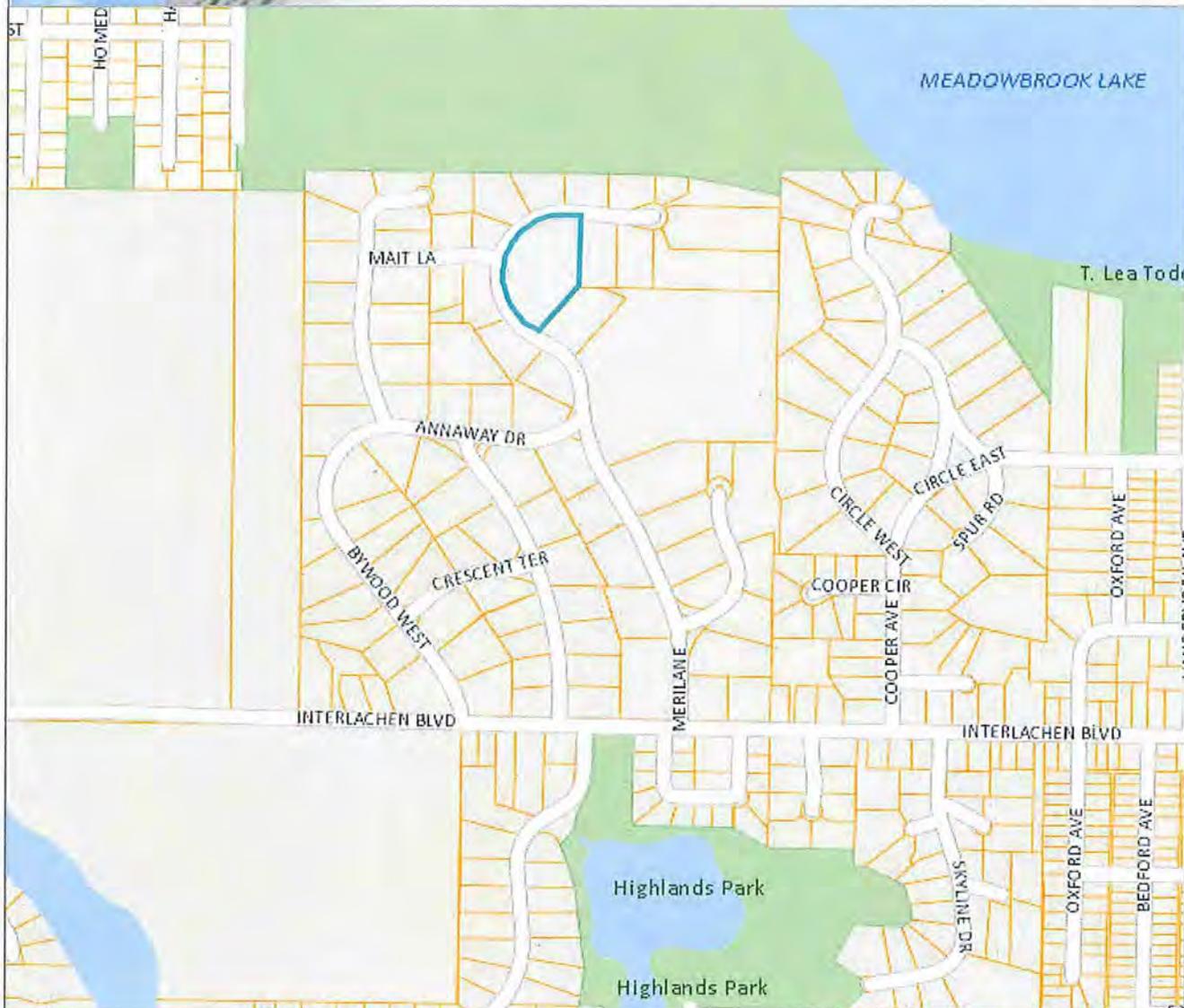
1. The proposal meets all the required standards and ordinances for a subdivision.
2. The applicant has located the driveways and home to minimize tree and slope disturbance.

Approval is subject to the following conditions:

1. The City must approve the final plat within one year of preliminary approval or receive a written application for a time extension or the preliminary approval will be void.
2. Park dedication fee of \$10,000 must be paid prior to release of the final plat.
3. Prior to issuance of a building permit, the following items must be submitted:
 - a. Submit evidence of a Minnehaha Creek Watershed District approval. The City may require revisions to the preliminary plat to meet the district's requirements.
 - b. Curb-cut permits must be obtained from the Edina engineering department. Driveway plans must be consistent with the proposed grading plan to preserve as many trees as possible.
 - c. A grading plan subject to review and approval of the city engineer.

- d. A construction management plan will be required for the construction of the new homes.
- e. Utility hook-ups are subject to review of the city engineer.

Deadline for a City Decision: November 4, 2013



Parcel ID: 29-117-21-12-0009

Owner Name: H David Warner Etal

Parcel Address: 5 Merilane Edina, MN 55436

Property Type: Residential

Home-stead: Homestead

Parcel Area: 3.48 acres
151,680 sq ft

Map Scale: 1" ≈ 800 ft.
Print Date: 9/5/2013

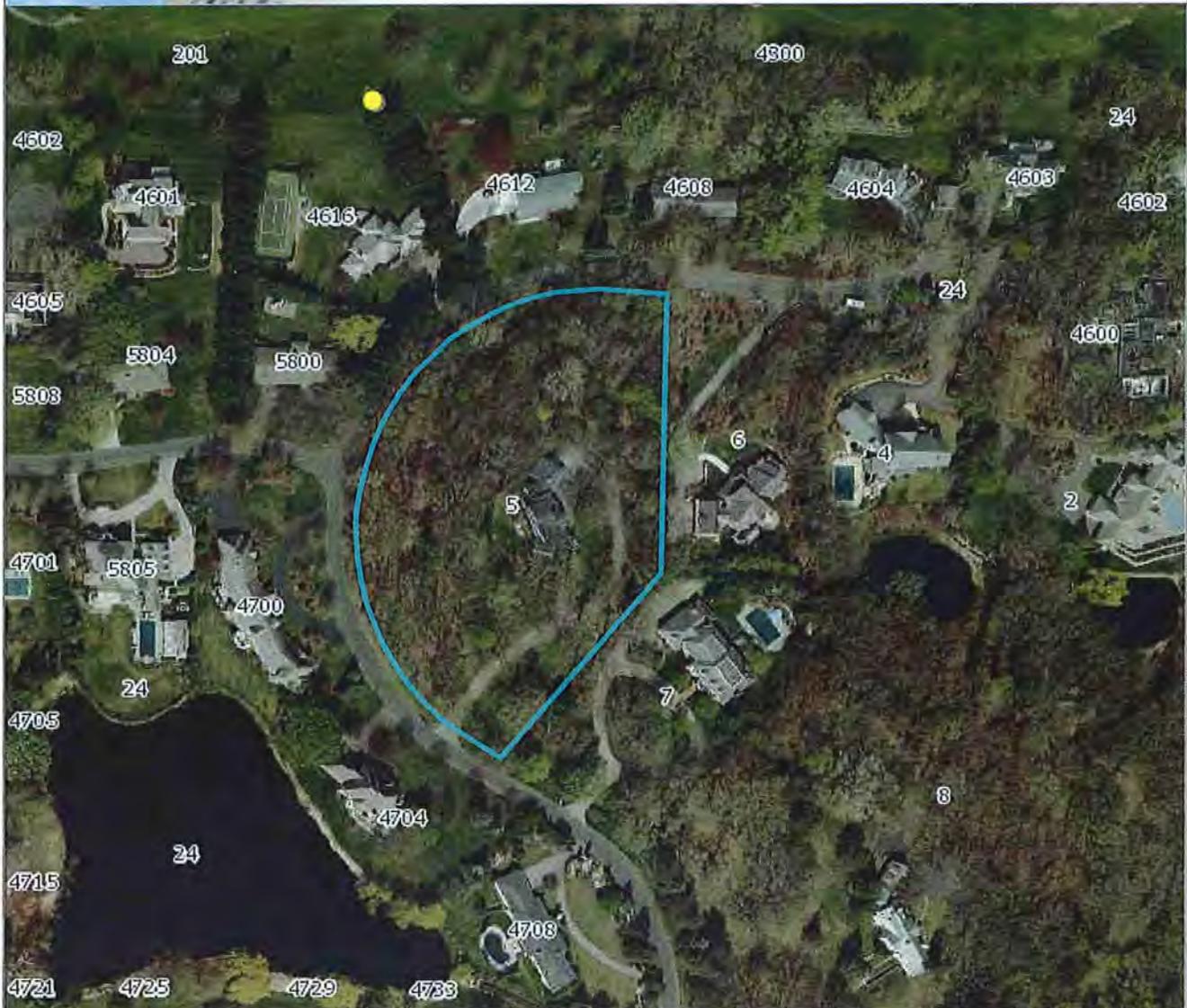


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M



Parcel ID: 29-117-21-12-0009

Owner Name: H David Warner Etal

Parcel Address: 5 Merilane
Edina, MN 55436

Property Type: Residential

Home-stead: Homestead

Parcel Area: 3.48 acres
151,680 sq ft

Map Scale: 1" ≈ 200 ft.

Print Date: 9/5/2013



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Parcel ID: 29-117-21-12-0009

Owner Name: H David Warner Etal

Parcel Address: 5 Merilane
Edina, MN 55436

Property Type: Residential

**Home-
stead:** Homestead

Parcel Area: 3.48 acres
151,680 sq ft

Map Scale: 1" ≈ 100 ft.

Print Date: 9/5/2013



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A4

APPLICANT
NARRATIVE

From: Ted E. Warner and John F. Adams | Coldwell Banker Burnet

To: Cary Teague
Community Development Director
City of Edina

Subject: Subdivision of 5 Merilane into 3 separate lots total (2 additional lots)

Date: August 8, 2013

My family, the Warner family, has owned this property for almost 50 years. We have watched Rolling Green undergo many changes, including numerous subdivisions and many new homes built in place of older homes being torn down. We currently have the second largest parcel in the neighborhood, almost 3.5 acres, other than the "Short Property" which is 15 acres.

It is our intention to subdivide the parcel into three separate lots, noted as Lot 1, Lot 2 and Lot 3 on the survey. Per the attached 500 foot area study, the subdivided lots will be above the mean lot size, width and depth of the lots in the neighborhood. We have executed contracts with John Kraemer & Sons, Inc. on Lots 1 and 2, contingent upon obtaining our subdivision approval. It is Gary Kraemer's (President of John Kraemer & Sons, Inc.) intention to leave the existing house on Lot 2 until he gets a client put in place that decides whether they want to remodel the existing house or tear it down and build a new single family home on Lot 2. Upon obtaining approval, Kraemer would also be building a single family home on Lot 1. The survey shows the building pads for both Lot 1, under contract with Kraemer and Lot 3 currently either being sold or possibly kept by a family member.

Our proposed subdivision complies with all of the City's ordinances and we are not seeking any variances.

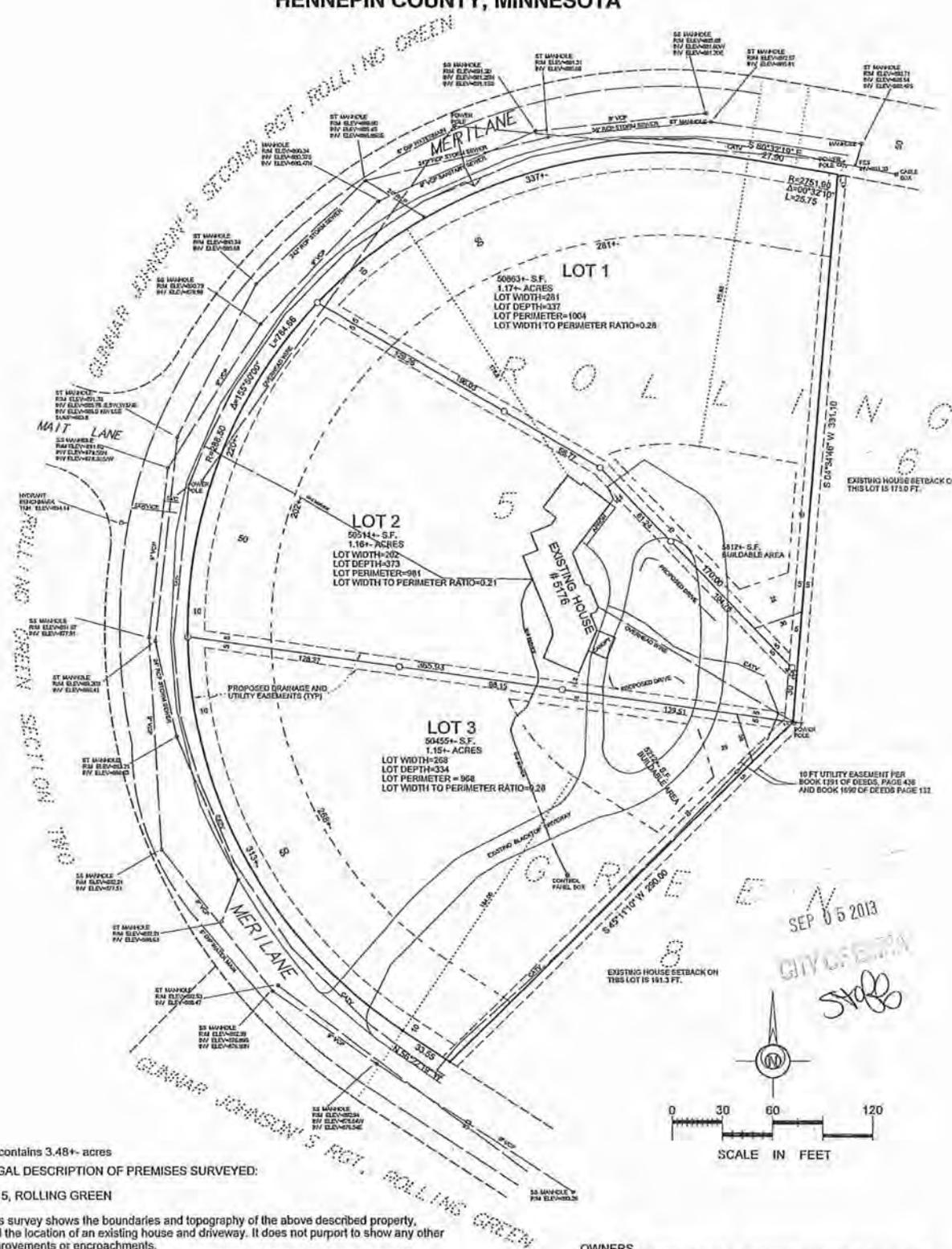
If you have any questions about this application, please contact John F. Adams at 612.720.4827 or JAdams@cbburnet.com.

A5

PLANNING DEPARTMENT
AUG 09 2013
CITY OF EDINA

WARNER ESTATES

PRELIMINARY PLAT FOR THE H. D. WARNER ESTATE OF LOT 5, ROLLING GREEN HENNEPIN COUNTY, MINNESOTA



Lot contains 3.48+ acres
LEGAL DESCRIPTION OF PREMISES SURVEYED:
 Lot 5, ROLLING GREEN

This survey shows the boundaries and topography of the above described property, and the location of an existing house and driveway. It does not purport to show any other improvements or encroachments.
 NOTE: The land surveyed covers the entire parcel and there are no gaps or overlaps with adjoining parcels.
 • : Iron marker found
 ◦ : Iron marker set
 - : Existing contour (City of Edina datum)
 Bearings shown are based upon an assumed datum
 Trees shown are in the areas of the proposed drives and houses and 8" diameter and larger.
 P 1 D : 29-117-21-12-0009
 CURRENT ZONING : R-1

OWNERS
 JOAN A. WARNER, DAVID A. WARNER AND TED E. WARNER
 C/O JOHN ADAMS, AGENT
 COLDWELL BANKER BURNET
 201 E. LAKE STREET
 WAYZATA, MN 55391
 612-720-4827
 jadams@cbburnet.com

AG

REVISIONS		DESIGNED	DRAWN	CHECKED	DATE	BY
7-31-13						
8-7-13	TREES, UTILITIES ADDED					
8-4-13	PROPOSED D & U EASEMENTS ADDED					

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Michael J. Gronberg

DATE: 9-4-13 MINN. LICENSE NUMBER: 127255

SEP 05 2013
 CITY OF EDINA
 STAFF

SCALE IN FEET
 0 30 60 120

GRONBERG & ASSOCIATES, INC.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS
 445 N. WILLOW DRIVE LONG LAKE, MN 55358
 PHONE: 952-473-4141 FAX: 952-473-4435

GRONBERG & ASSOCIATES, INC.

SURVEYING, ENGINEERING AND LAND PLANNING

445 N. WILLOW DRIVE

LONG LAKE, MINNESOTA 55356

952-473-4141

FAX: 952-473-4435

5 MERILANE
 H. D. WARNER ESTATE
 MEDIAN LOT AREA WITHIN 500'
 JULY 31, 2013

ADDRESS	LOT AREA* S.F. ±	RANK
8 Merilane	657,865	1
7 Merilane	68,206	5
6 Merilane	56,087	7
4 Merilane	51,305	10
2 Merilane	120,550	3
4600 Merilane	112,227	4
4602 Merilane	47,933	15
4603 Merilane	18,649	28
4604 Merilane	36,258	21
4608 Merilane	34,273	23
4612 Merilane	37,479	20
4616 Merilane	51,057	12
4700 Merilane	48,249	14 Median
4704 Merilane	48,435	13
4708 Merilane	43,958	17
4733 Annaway Dr.	51,227	11
4729 Annaway Dr.	45,696	16
4725 Annaway Dr.	41,138	18
4715 Annaway Dr.	52,805	9
4705 Annaway Dr.	57,352	6
4701 Annaway Dr.	52,969	8
4605 Annaway Dr.	30,014	25
4602 Annaway Dr.	28,737	26
4601 Annaway Dr.	38,799	19
5808 Mait La.	30,779	24
5805 Mait La.°	131,677	2
5804 Mait La.	35,640	22
5800 Mait La.	24,817	27

* From Hennepin County property records

° 5805 Mait La. is in 3 parcels.

NOTE: 14 & 15 are tied for the median. We used the higher number 14 to be conservative.

A7

PLANNING DEPARTMENT
 AUG 08 2013
 CITY OF EDINA

GRONBERG & ASSOCIATES, INC.

SURVEYING, ENGINEERING AND LAND PLANNING

445 N. WILLOW DRIVE

LONG LAKE, MINNESOTA 55356

952-473-4141

FAX: 952-473-4435

5 MERILANE
H. D. WARNER ESTATE
MEDIAN WIDTH WITHIN 500'
JUNE 31, 2013

<u>ADDRESS</u>	<u>LOT WIDTH* FT ±</u>	<u>RANK</u>
8 Merilane	580	1
7 Merilane	202	9
6 Merilane	178	18
4 Merilane	176	19
2 Merilane	60	27
4600 Merilane	180	17
4602 Merilane	30	28
4603 Merilane	94	26
4604 Merilane	228	6
4608 Merilane	212	8
4612 Merilane	192	14 Median
4616 Merilane	139	23
4700 Merilane	140	22
4704 Merilane	260	5
4708 Merilane	282	3
4733 Annaway Dr.	290	2
4729 Annaway Dr.	200	11
4725 Annaway Dr.	201	10
4715 Annaway Dr.	195	13
4705 Annaway Dr.	191	15
4701 Annaway Dr.	187	16
4605 Annaway Dr.	110	25
4602 Annaway Dr.	281	4
4601 Annaway Dr.	213	7
5808 Mait La.	112	24
5805 Mait La.°	162	20
5804 Mait La.	196	12
5800 Mait La.	141	21

* Distance scaled from Hennepin County maps

° 5805 Mait La. is in 3 parcels.

NOTE: 14 & 15 are tied for the median. We used the higher number 14 to be conservative.

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PLANNING DEPARTMENT
AUG 08 2013
CITY OF EDINA

GRONBERG & ASSOCIATES, INC.

SURVEYING, ENGINEERING AND LAND PLANNING

445 N. WILLOW DRIVE

LONG LAKE, MINNESOTA 55356

952-473-4141

FAX: 952-473-4435

5 MERILANE
H. D. WARNER ESTATE
MEDIAN LOT DEPTH WITHIN 500'
JULY 31, 2013

<u>ADDRESS</u>	<u>LOT DEPTH* FT ±</u>	<u>RANK</u>
8 Merilane	922	1
7 Merilane	340	6
6 Merilane	321	7
4 Merilane	293	10
2 Merilane	612	2
4600 Merilane	537	5
4602 Merilane	558	4
4603 Merilane	148	27
4604 Merilane	168	24
4608 Merilane	165	25
4612 Merilane	173	22
4616 Merilane	271	16
4700 Merilane	318	8
4704 Merilane	172	23
4708 Merilane	265	17
4733 Annaway Dr.	290	11
4729 Annaway Dr.	230	18
4725 Annaway Dr.	205	19
4715 Annaway Dr.	280	13
4705 Annaway Dr.	300	9
4701 Annaway Dr.	286	12
4605 Annaway Dr.	275	15
4602 Annaway Dr.	118	28
4601 Annaway Dr.	188	20
5808 Mait La.	277	14 Median
5805 Mait La.°	588	3
5804 Mait La.	183	21
5800 Mait La.	154	26

* scaled from Hennepin County half section maps

° 5805 Mait La. is in 3 parcels.

NOTE: 14 & 15 are tied for the median. We used the higher number 14 to be conservative.

A9

PLANNING DEPARTMENT
AUG 08 2013
CITY OF EDINA
file

GRONBERG & ASSOCIATES, INC.

SURVEYING, ENGINEERING AND LAND PLANNING

445 N. WILLOW DRIVE

LONG LAKE, MINNESOTA 55356

952-473-4141

FAX: 952-473-4435

5 MERILANE
H. D. WARNER ESTATE
JULY 31, 2013
MEAN LOT AREA, DEPTH & WIDTH
OF LOTS WITHIN 500'

1. Mean lot area
Total of 28 parcels = $2,054,181 \div 28 = 73,364$ S.F.
2. Mean lot depth
Total of 28 parcels = $8637 \div 28 = 308$ Ft.
3. Mean lot width
Total of 28 parcels = $5432 \div 28 = 194$ Ft.

A10

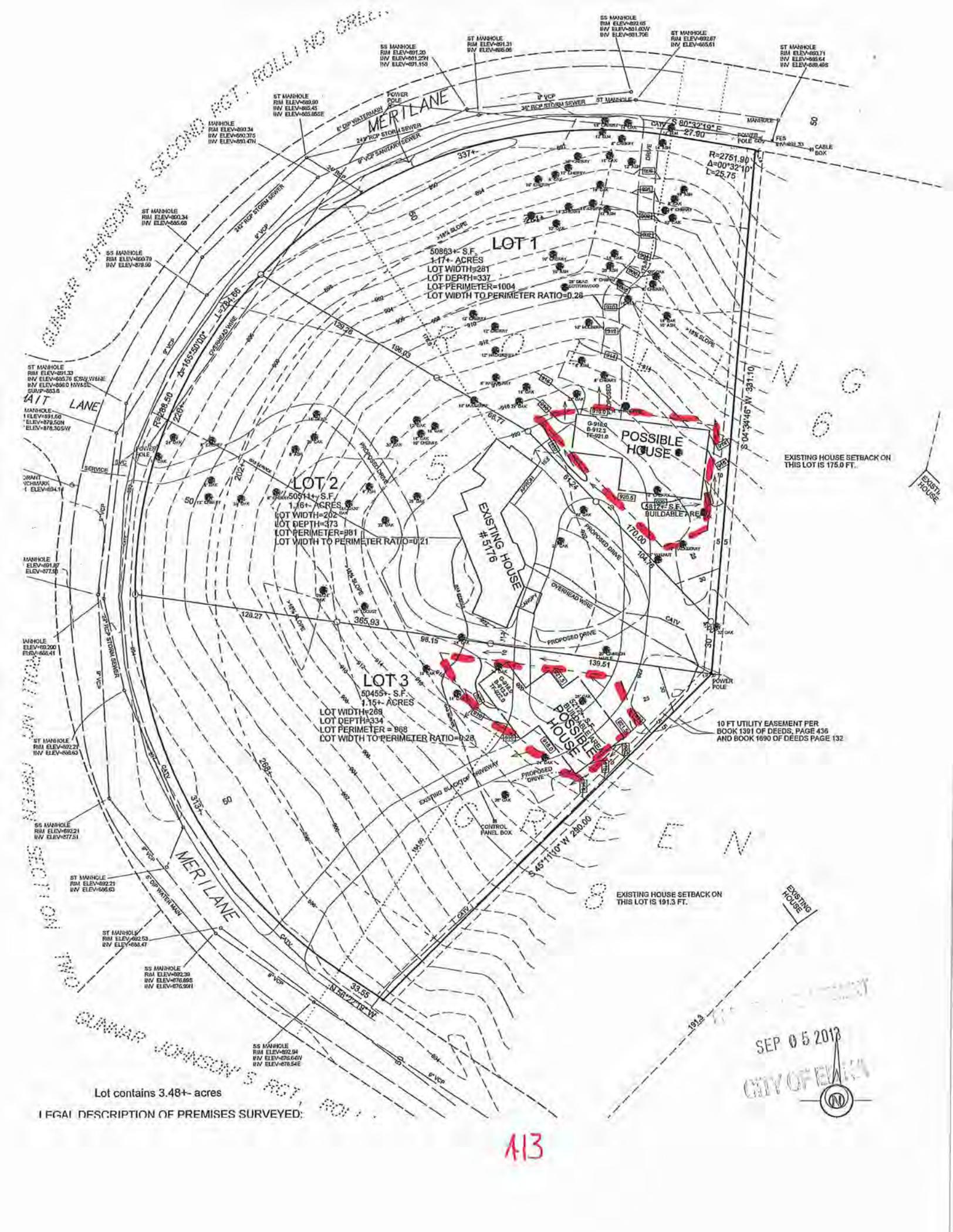
fic
PLANNING DEPARTMENT
AUG 08 2013
CITY OF EDINA

PROPERTY OWNERS ADDRESSES, NAMES & LEGAL DESCRIPTIONS
 WITHIN 500 FEET OF 5 MERILANE (FROM HENN. CO. PROPERTY TAX RECORDS)
 H. D. WARNER ESTATE
 JULY 31, 2013

Handwritten signature
 AUG 8 2013
 HENNING COUNTY, MISSISSIPPI

<u>ADDRESS</u>	<u>NAME</u>	<u>LEGAL DESCRIPTION</u>
8 Merilane	Marion Short	Part of Lot 8, Rolling Green
7 Merilane	Mary Ingebrand-Pohlad	Part of Lot 8, Rolling Green
6 Merilane	Michael & Sandra Genau	West ½ of Lot 6, Rolling Green
4 Merilane	David & Lynn Evinger	Lot 1, Bl. 1, Replat of Part Of Lot 6, Rolling Green
2 Merilane	George & Linda Sherman	Part of Lot 7, Rolling Green
4600 Merilane	Laurene Meger	Lot 3, Bl. 1, Wallings Add. 1 st Replat
4602 Merilane	Charlotte Ketcham	Lot 2, Bl. 1, Wallings Add. 1 st Replat
4603 Merilane	William Riley	Lot 1, Bl. 1, Wallings Add. 1 st Replat
4604 Merilane	Mark & Hedwig Holmberg	Lot 12, Bl. 1, Gunnar Johnsons 2 nd Rgt Rolling Green
4608 Merilane	Robert Perry	Lot 11, Bl. 1, Gunnar Johnsons 2 nd Rgt Rolling Green
4612 Merilane	John Raskind & Katherine Kendall	Lot 10, Bl. 1, Gunnar Johnsons 2 nd Rgt Rolling Green
4616 Merilane	Jane Hulbert	Lot 9, Bl. 1, Gunnar Johnsons 2 nd Rgt Rolling Green
4700 Merilane	Scott & Tiffany Stuart	Part of Lot 60 & 60A, Rolling Green Sec. 2 & Lot 1, Bl. 1 Gunnar Johnsons Rgt Rolling Green
4704 Merilane	James & Katheryn Ganley	Part of Lot 60A, Rolling Green Sec. 2 & Lot 1, Bl. 1, Gunnar Johnsons Rgt Rolling Green
4708 Merilane	James Lopesio	Lot 2, Bl. 1, Gunnar Johnsons Rgt Rolling Green
4733 Annaway Dr.	David & Ann Wichmann	Lot 3, Bl. 1, Gunnar Johnsons Rgt Rolling Green
4729 Annaway Dr.	Frank Gougeon	Lot 4, Bl. 1, Gunnar Johnsons Rgt Rolling Green
4725 Annaway Dr.	Scott & Jennifer Gill	Lot 5, Bl. 1, Gunnar Johnsons Rgt Rolling Green
4715 Annaway Dr.	Sheila Walsh	Lot 52, Rolling Green Sec. 2
4705 Annaway Dr.	Octavio & Jody Portu Jr.	Lot 53, Rolling Green Sec. 2
4701 Annaway Dr.	David & Patricia Murphy	Lot 54, Rolling Green Sec. 2
4605 Annaway Dr.	Larry & Terrie Rose	Lot 5, Bl. 1, Gunnar Johnsons 2 nd Rgt Rolling Green
4602 Annaway Dr.	John Otterlei	Part of Lot 3, Bl. 1, Gunnar Johnsons 2 nd Rgt Rolling Green
4601 Annaway Dr.	Stephen & Susann Stenbeck	Lot 4 & Part of Lot 3, Bl. 1, Gunnar Johnsons 2 nd Rgt Rolling Green
5808 Mait La.	Jeffrey & Olivia Hornig	Lot 6, Bl. 1, Gunnar Johnsons 2 nd Rgt Rolling Green
5805 Mait La.	R. J. Sheehy & A. Kmetz-Sheehy	Lot 59, Rolling Gunnar Johnsons 2 nd Rgt Rolling Green
5804 Mait La.	Patricia Maloney	Lot 7, Bl. 1, Gunnar Johnson 2 nd Rgt Rolling Green
5800 Mait La.	Howell & Carrie McCullough	Lot 8, Bl. 1, Gunnar Johnsons 2 nd Rgt Rolling Green

AM



SS MANHOLE
RIM ELEV=891.20
INV ELEV=891.25H
INV ELEV=891.150

ST MANHOLE
RIM ELEV=891.31
INV ELEV=895.06

SS MANHOLE
RIM ELEV=892.05
INV ELEV=891.00W
INV ELEV=891.175

ST MANHOLE
RIM ELEV=892.67
INV ELEV=895.51

ST MANHOLE
RIM ELEV=893.71
INV ELEV=895.64
INV ELEV=899.465

ST MANHOLE
RIM ELEV=893.90
INV ELEV=895.45
INV ELEV=895.65E

MANHOLE
RIM ELEV=893.34
INV ELEV=893.375
INV ELEV=891.47H

ST MANHOLE
RIM ELEV=890.34
INV ELEV=895.69

SS MANHOLE
RIM ELEV=890.79
INV ELEV=879.50

ST MANHOLE
RIM ELEV=891.33
INV ELEV=895.76 S/SU W/HAIR
INV ELEV=895.0 N/V/S/E
SUBP=893.8

MANHOLE
RIM ELEV=891.50
ELEV=879.50N
ELEV=878.30SW

30" DIA
VOR MARK
1 ELEV=894.1

MANHOLE
ELEV=891.87
ELEV=877.50

WHOLE
ELEV=892.00
ELEV=892.44

ST MANHOLE
RIM ELEV=892.21
INV ELEV=896.63

SS MANHOLE
RIM ELEV=892.21
INV ELEV=877.51

ST MANHOLE
RIM ELEV=892.21
INV ELEV=896.63

ST MANHOLE
RIM ELEV=892.53
INV ELEV=893.47

SS MANHOLE
RIM ELEV=892.29
INV ELEV=876.895
INV ELEV=876.96H

SS MANHOLE
RIM ELEV=892.94
INV ELEV=876.64V
INV ELEV=876.54E

LOT 1
50863+ S.F.
1.17+ ACRES
LOT WIDTH=281
LOT DEPTH=337
LOT PERIMETER=1004
LOT WIDTH TO PERIMETER RATIO=0.28

LOT 2
50914+ S.F.
1.16+ ACRES
LOT WIDTH=202
LOT DEPTH=373
LOT PERIMETER=981
LOT WIDTH TO PERIMETER RATIO=0.21

LOT 3
50455+ S.F.
1.15+ ACRES
LOT WIDTH=288
LOT DEPTH=334
LOT PERIMETER = 988
LOT WIDTH TO PERIMETER RATIO=0.28

POSSIBLE HOUSE

EXISTING HOUSE #5176

POSSIBLE HOUSE

EXISTING HOUSE SETBACK ON THIS LOT IS 176.0 FT.

10 FT UTILITY EASEMENT PER BOOK 1391 OF DEEDS, PAGE 436 AND BOOK 1690 OF DEEDS PAGE 132

EXISTING HOUSE SETBACK ON THIS LOT IS 191.3 FT.

Lot contains 3.48+ acres

LEGAL DESCRIPTION OF PREMISES SURVEYED:

A13

SEP 05 2013
CITY OF ELK
N